

CDB - PROJECT NUMBER: 805-030-017

RENOVATE RESIDENCE HALLS

ILLINOIS MATH AND SCIENCE ACADEMY

AURORA (KANE COUNTY), ILLINOIS

STATE BUILDING INVENTORY NO.-CPD 01, CPD 02

CPD 03, CPD 04, CPD 05, CPD 06, CPD 07

FOR:

STATE OF ILLINOIS

CAPITAL DEVELOPMENT BOARD

USING AGENCY:

ILLINOIS BOARD OF HIGHER EDUCATION

BY:

STR PARTNERS LLC

350 W Ontario Suite 200

Chicago, 60654

312.464.1444

HENNEMAN ENGINEERING INC.

200 South Wacker Drive

Chicago, IL 60606

312.583.1400



STATE LOCATION PLAN

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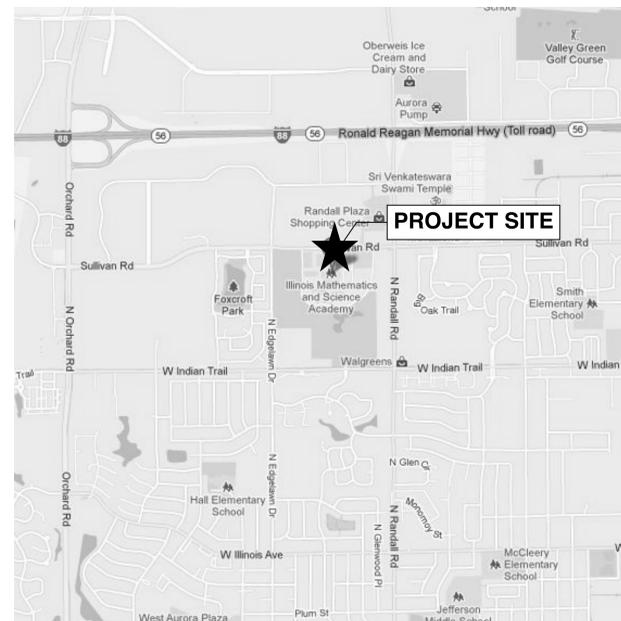
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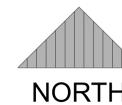
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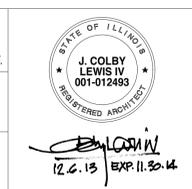
AREA LOCATION PLAN



PROJECT RENDERING

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

REVISIONS			DRAWN	PREPARED
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200 South Wacker Drive  
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State of Illinois  
**Pat Quinn, Governor**  
Illinois Capital Development Board

TITLE SHEET AND LOCATION PLANS	
RENOVATE RESIDENCE HALLS Illinois Math and Science Academy	
1500 Sullivan Road, Aurora, Illinois, 60506,	

PROJECT NO. 805-030-017
DATE 11/15/13
SHEET NO. G1.0
1 OF 27 SHEETS

**CONSTRUCTION PHASING GENERAL NOTES**

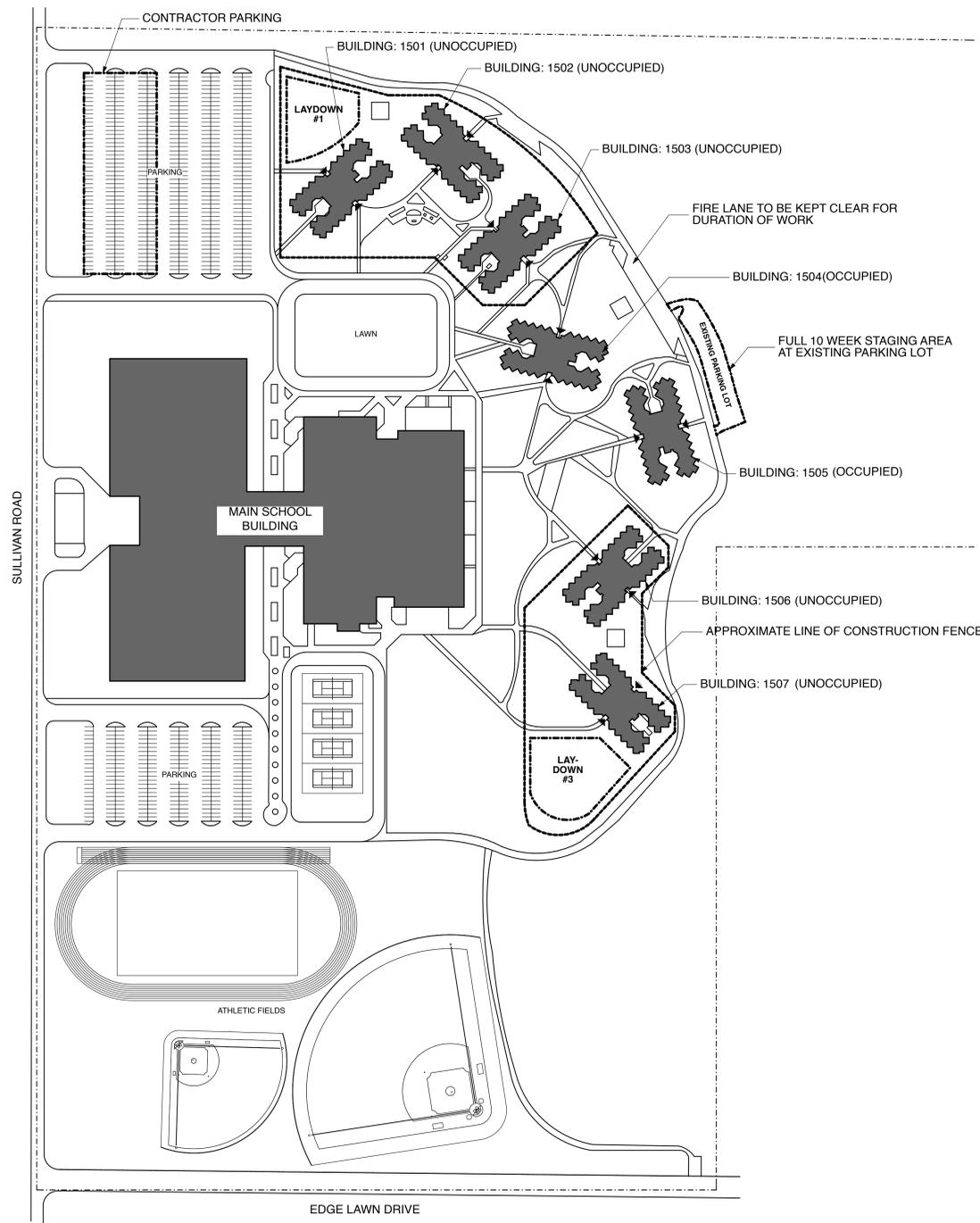
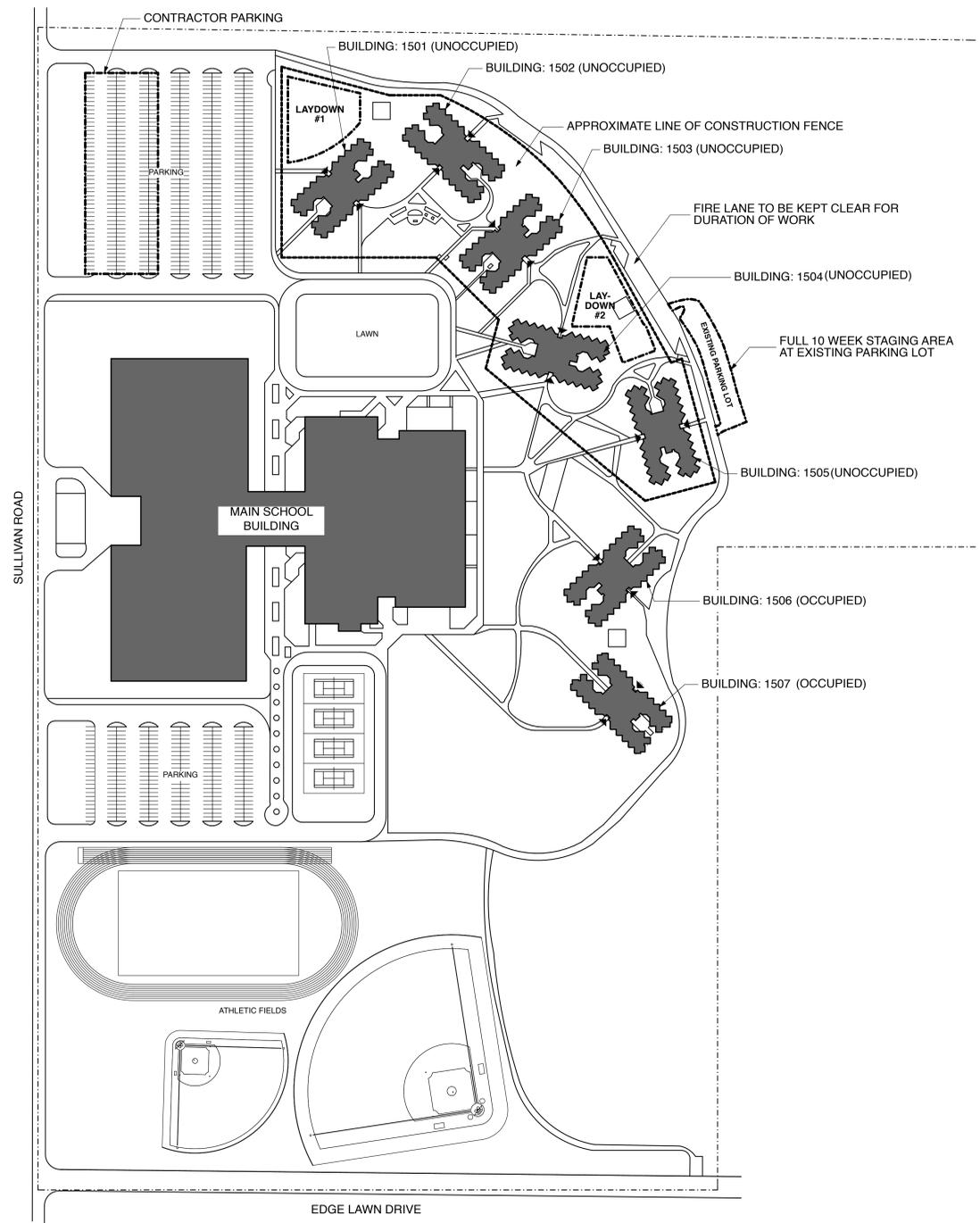
1. FOR BUILDINGS NOTED AS OCCUPIED, PROVIDE UNOBSTRUCTED AND SAFE PASSAGE TO AND FROM THE ENTIRE BUILDING PERIMETER.
2. FOR BUILDINGS NOTED AS OCCUPIED, NO WORK CAN OCCUR AROUND ENTIRE BUILDING PERIMETER DURING PERIOD OF WORK OF UNOCCUPIED BUILDINGS.

**CONSTRUCTION PHASING LEGEND**

-  EXISTING BUILDING
-  APPROXIMATE LINE OF CONSTRUCTION FENCING

**WEEKS 1-5:**  
 -BUILDINGS 1501,1502,1503, 1504, AND 1505 UNOCCUPIED AND AVAILABLE FOR CONSTRUCTION WORK  
 -BUILDINGS 1506 AND 1507 OCCUPIED AND NOT AVAILABLE FOR CONSTRUCTION WORK

**WEEKS 6-10:**  
 -BUILDINGS 1501,1502,1503, 1506, AND 1507 UNOCCUPIED AND AVAILABLE FOR CONSTRUCTION WORK  
 -BUILDINGS 1504 AND 1505 OCCUPIED AND NOT AVAILABLE FOR CONSTRUCTION WORK

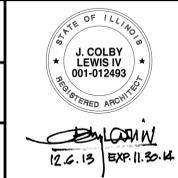


**1 CONSTRUCTION PHASING PLAN - WEEKS 1-5**  
 NOT TO SCALE

**2 CONSTRUCTION PHASING PLAN - WEEKS 6-10**  
 NOT TO SCALE

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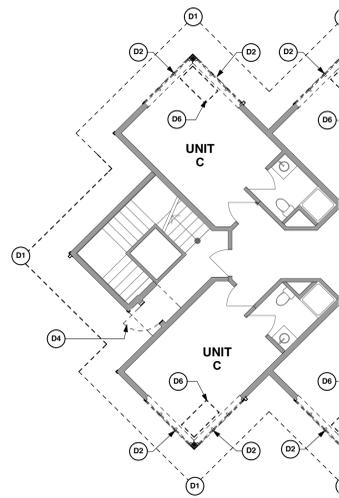
HENNEMAN ENGINEERING INC.  
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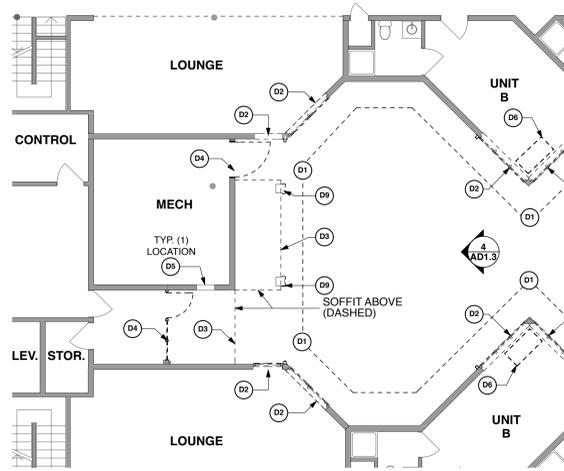


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 Illinois Capital Development Board

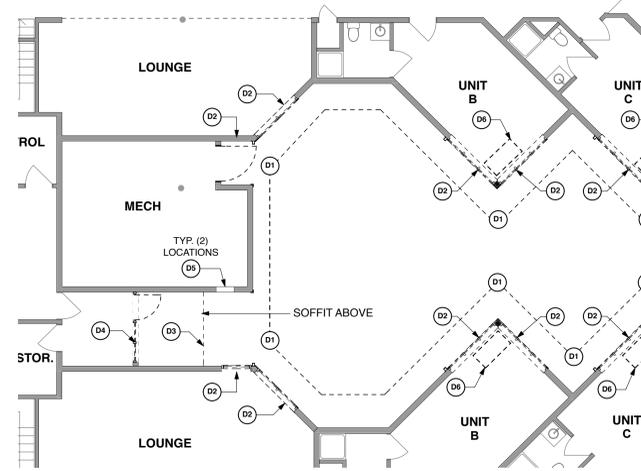
**CONSTRUCTION PHASING PLANS**  
 RENOVATE RESIDENCE HALLS  
 Illinois Math and Science Academy  
 1500 Sullivan Road, Aurora, Illinois, 60506,  
 PROJECT NO. 805-030-017  
 DATE 11/15/13  
 SHEET NO. G2.0  
 2 OF 27 SHEETS



(TYPICAL CONDITION AT 4 STAIRS)  
**BUILDINGS 1502, 1504-1507**  
**DEMOLITION FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

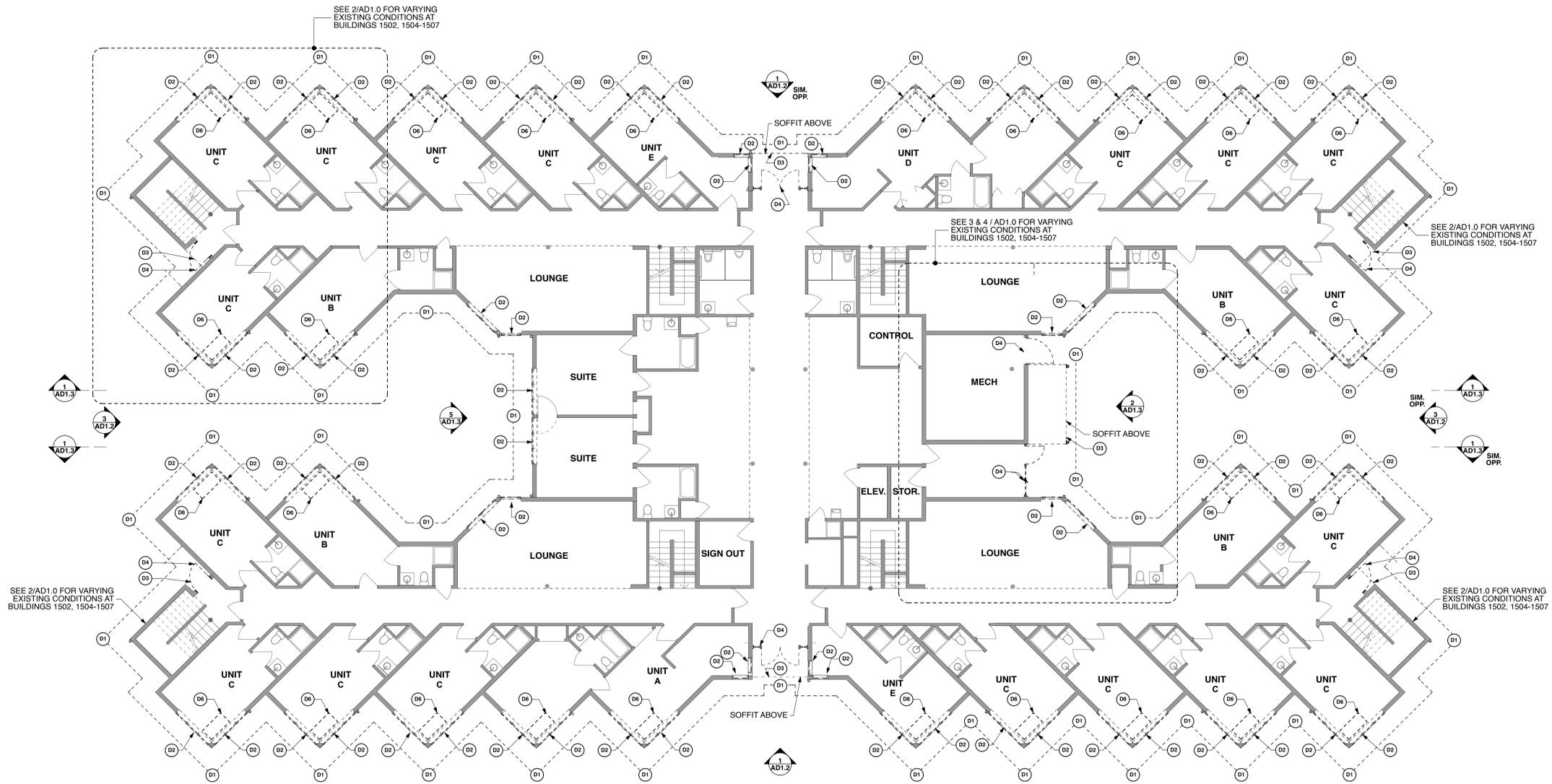


**BUILDING 1502, 1504, 1505**  
**DEMOLITION FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**BUILDING 1506, 1507**  
**DEMOLITION FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

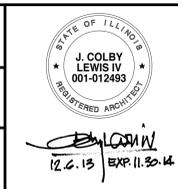
- DEMOLITION GENERAL NOTES**
- SEE MEP DRAWINGS FOR ALL ELECTRICAL DEVICES, ACCESSORIES, AND COMPONENTS TO BE REMOVED. REMAIN OR TEMPORARILY REMOVED AND REPLACED.
  - PROTECT ALL MATERIALS AND FINISHES TO REMAIN THAT ARE ADJACENT TO DEMOLITION WORK.
  - MAINTAIN AND PROTECT ALL ELECTRICAL, MECHANICAL AND PLUMBING ITEMS DURING THE REMOVAL OF THE WINDOWS, SIDING, FASCIAS AND TRIM.
- DEMOLITION KEY NOTES**
- (D1) REMOVE EXISTING VINYL SIDING, TRIM, GUTTERS, DOWNSPOUTS, FASCIAS AND RIGID INSULATION DOWN TO STUDS.
  - (D2) REMOVE EXISTING WINDOWS, BLINDS AND INTERIOR LAMINATE SILLS.
  - (D3) REMOVE EXISTING FACIA AND SOFFIT.
  - (D4) REMOVE EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE, CAP ELECTRICAL AND LOW VOLTAGE SUPPLY FOR FUTURE USE.
  - (D5) REMOVE EXISTING MECHANICAL LOUVER, WALL SLEEVE AND TRIM.
  - (D6) REMOVE EXISTING PTAC UNIT IN ITS ENTIRETY, CAP ELECTRICAL AND PLUMBING SUPPLIES FOR FUTURE REUSE.
  - (D7) REMOVE ROUND LOUVER.
  - (D8) NOT USED.
  - (D9) REMOVE DOWNSPOUT ENCLOSURE IN ENTIRETY.
  - (D10) EXISTING MECHANICAL LOUVER TO REMAIN SEE ELEVATIONS FOR ADDITIONAL INFORMATION.
  - (D11) REMOVE FULL EXTENT OF WALL COVERING, DRYWALL AND WALL BASE.
- DEMOLITION PLAN LEGEND**
- EXISTING CONSTRUCTION TO REMAIN
  - - - - EXISTING CONSTRUCTION TO DEMOLISH
  - DS DOWNSPOUT TO DEMOLISH
- ALTERNATE KEYED NOTES**
- (G-1) SEE A10.0 FOR DESCRIPTION OF DEMOLITION SCOPE AT THE ALTERNATE WINDOW DESIGNS



**BUILDINGS 1501 & 1503 - DEMOLITION FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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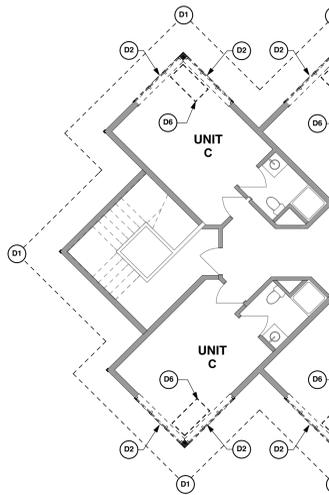
**1ST FLOOR DEMOLITION PLAN**  
 RENOVATE RESIDENCE HALLS  
 Illinois Math and Science Academy  
 1500 Sullivan Road, Aurora, Illinois, 60506,

PROJECT NO.  
805-030-017

DATE  
11/15/13

SHEET NO.  
**AD1.0**

3 OF 27 SHEETS

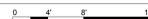


(TYPICAL CONDITION AT 4 STAIRS)

**BUILDINGS 1502, 1504-1507**  
**DEMOLITION 2ND FLOOR PLAN**

**2**

SCALE: 1/8" = 1'-0"



**DEMOLITION GENERAL NOTES**

- SEE MEP DRAWINGS FOR ALL ELECTRICAL DEVICES, ACCESSORIES, AND COMPONENTS TO BE REMOVED. REMAIN OR TEMPORARILY REMOVED AND REPLACED.
- PROTECT ALL MATERIALS AND FINISHES TO REMAIN THAT ARE ADJACENT TO DEMOLITION WORK.
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**DEMOLITION KEY NOTES**

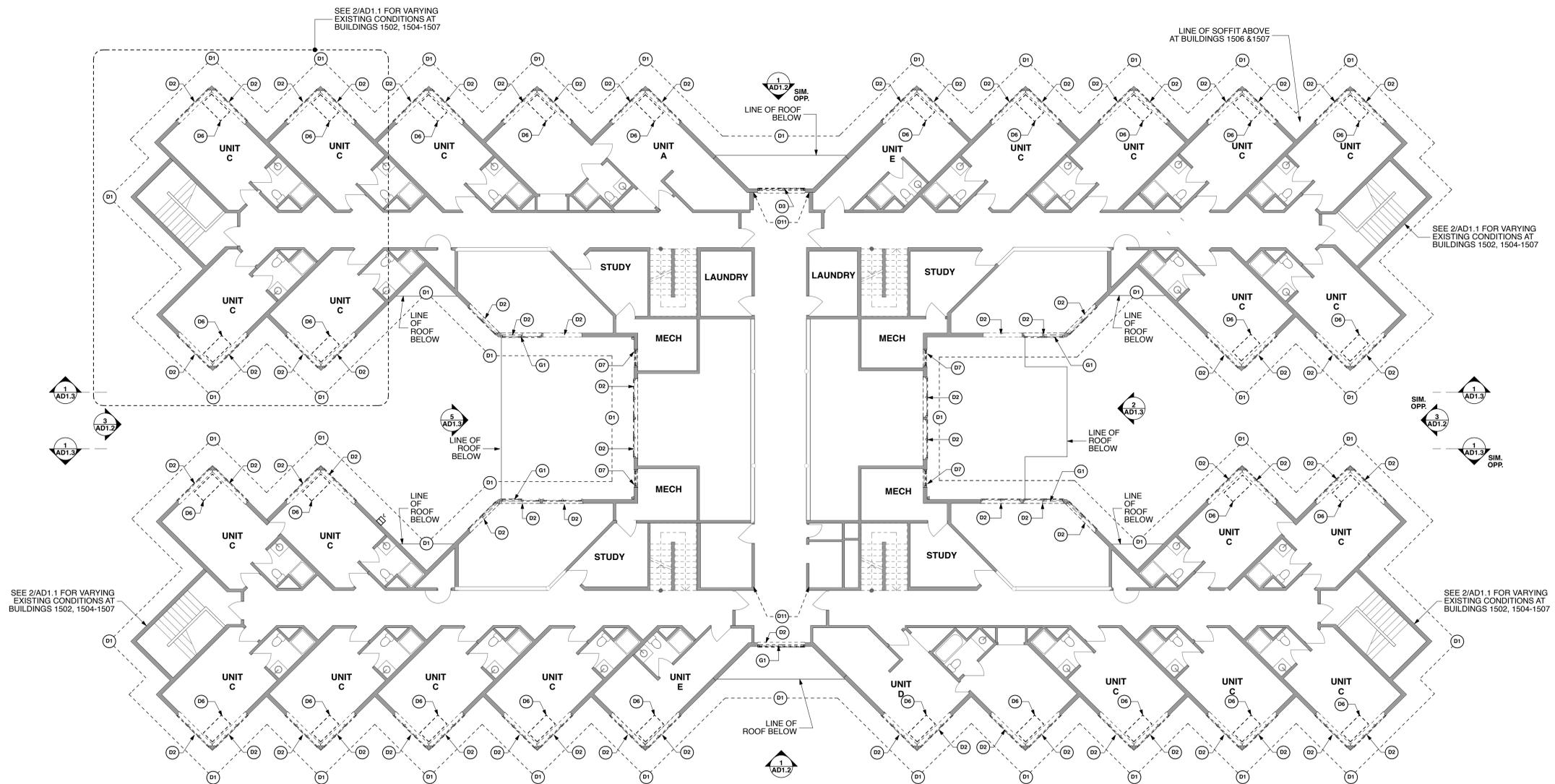
- (D1) REMOVE EXISTING VINYL SIDING, TRIM, GUTTERS, DOWNSPOUTS, FASCIAS AND RIGID INSULATION DOWN TO STUDS.
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- (D11) REMOVE FULL EXTENT OF WALL COVERING, DRYWALL AND WALL BASE.

**DEMOLITION PLAN LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO DEMOLISH
- DS** DOWNSPOUT TO DEMOLISH

**ALTERNATE KEYED NOTES**

- (G-1) SEE A10.0 FOR DESCRIPTION OF DEMOLITION SCOPE AT THE ALTERNATE WINDOW DESIGNS



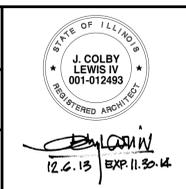
**1 BUILDINGS 1501 & 1503 DEMOLITION 2ND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



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**2ND FLOOR DEMOLITION PLAN**

RENOVATE RESIDENCE HALLS  
Illinois Math and Science Academy

1500 Sullivan Road, Aurora, Illinois, 60506,

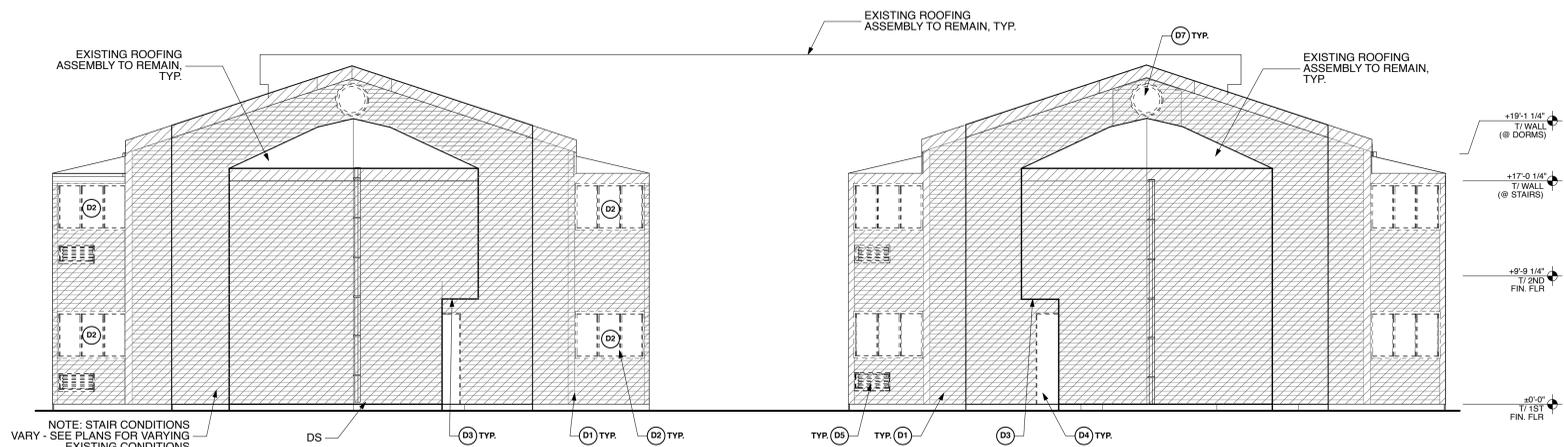
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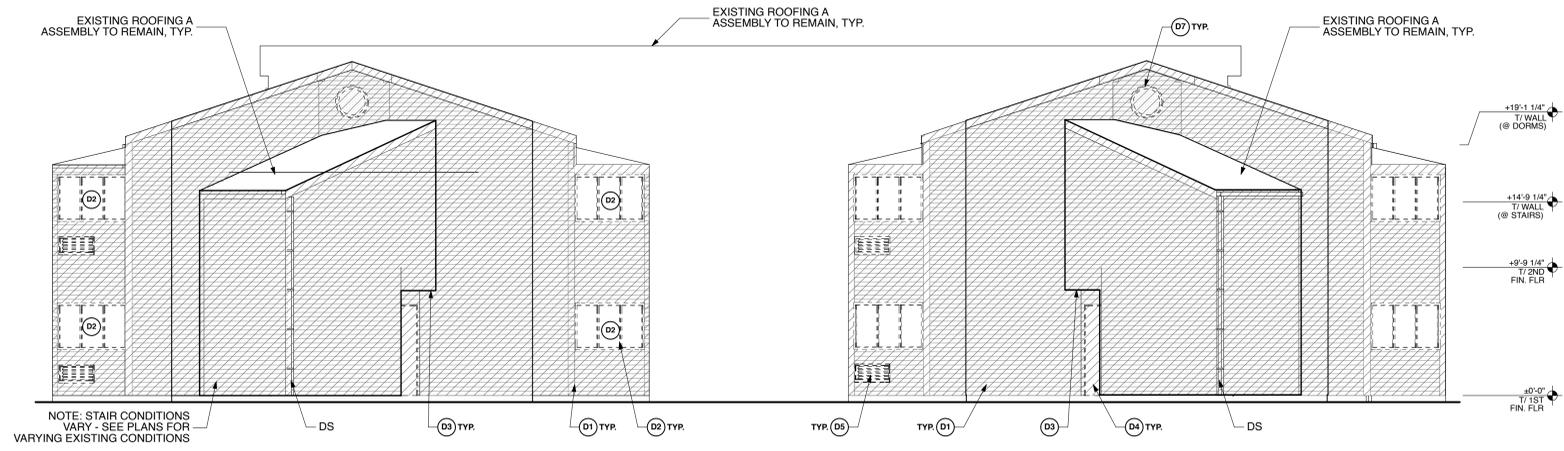
SHEET NO.  
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4 OF 27 SHEETS

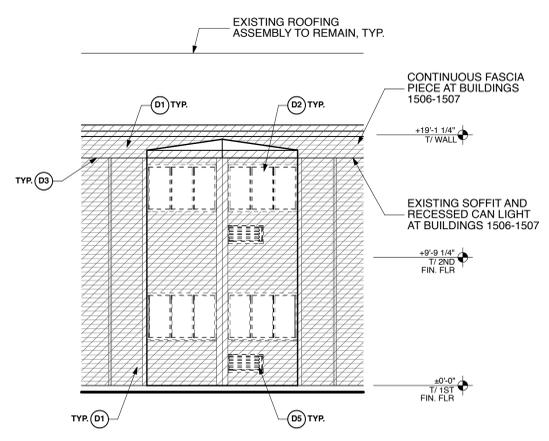
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- EXISTING CONSTRUCTION TO REMAIN
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- ALTERNATE KEYED NOTES**
- (G-1) SEE A10.0 FOR DESCRIPTION OF DEMOLITION SCOPE AT THE ALTERNATE WINDOW DESIGNS



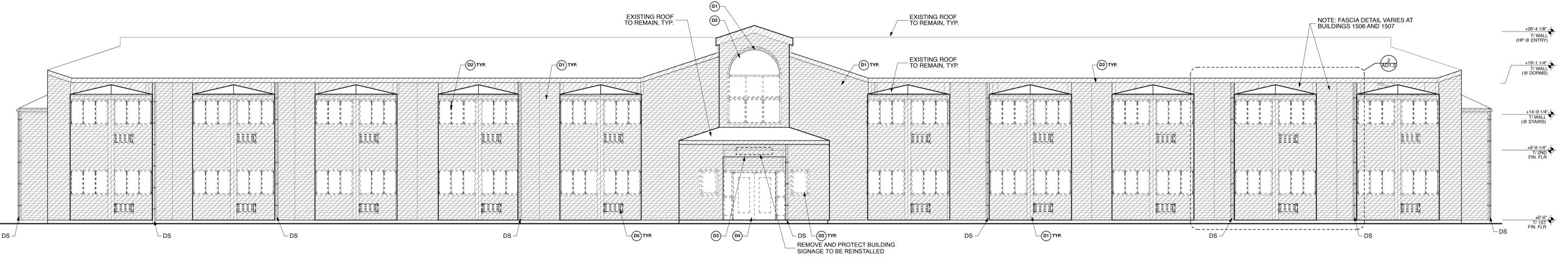
**4 DEMOLITION ELEVATION - SIDE - BUILDINGS 1502, 1504-1507**  
SCALE: 3/16" = 1'-0"



**3 DEMOLITION ELEVATION - SIDE - BUILDINGS 1501 & 1503**  
SCALE: 3/16" = 1'-0"



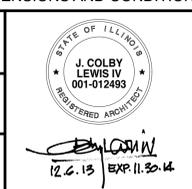
**2 DEMOLITION ELEVATION - FRONT 1506 & 1507**  
SCALE: 3/16" = 1'-0"



**1 DEMOLITION ELEVATION - FRONT - BUILDINGS 1501-1505**  
SCALE: 3/16" = 1'-0"

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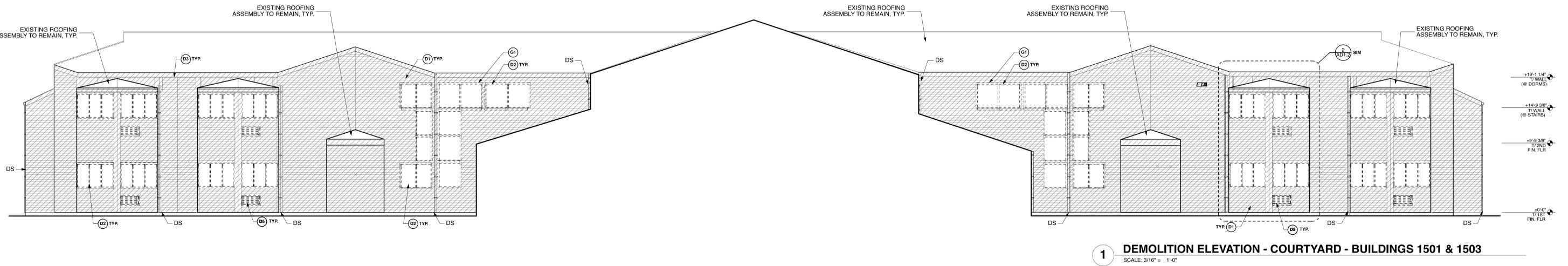
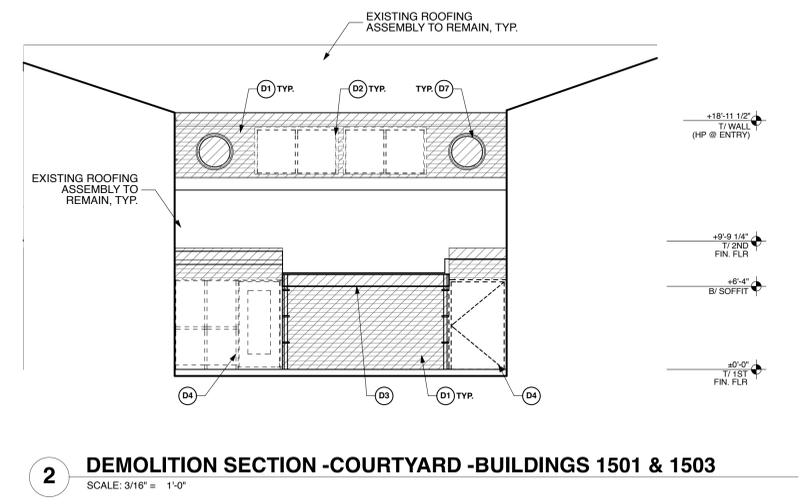
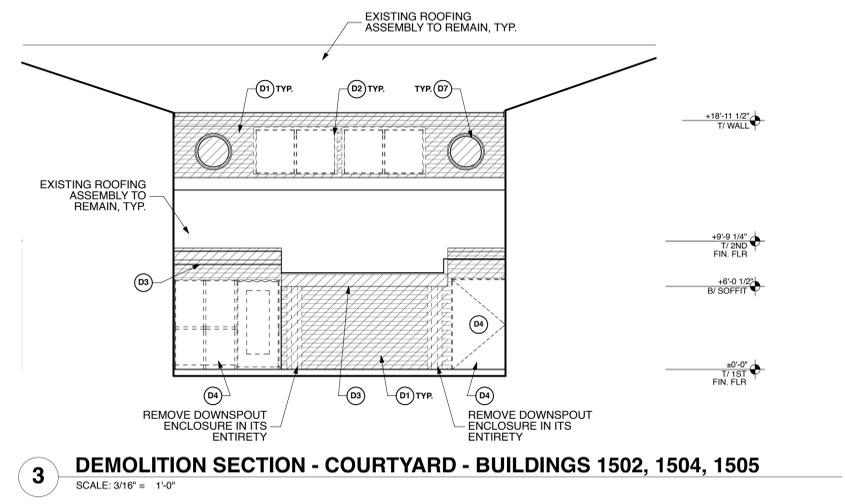
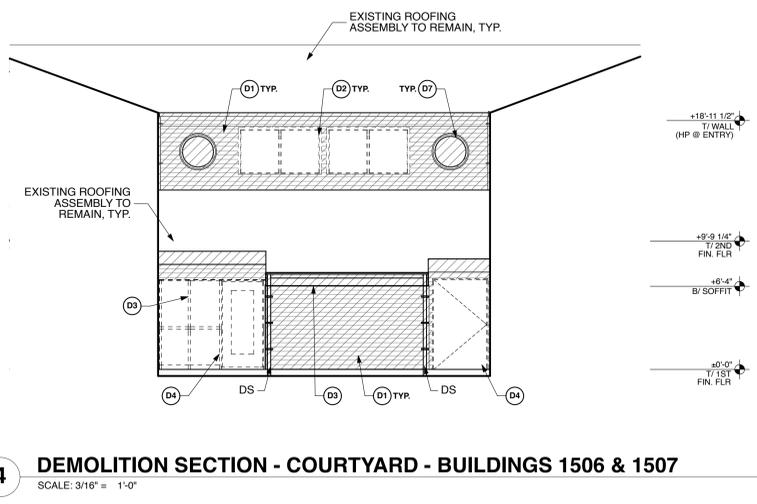
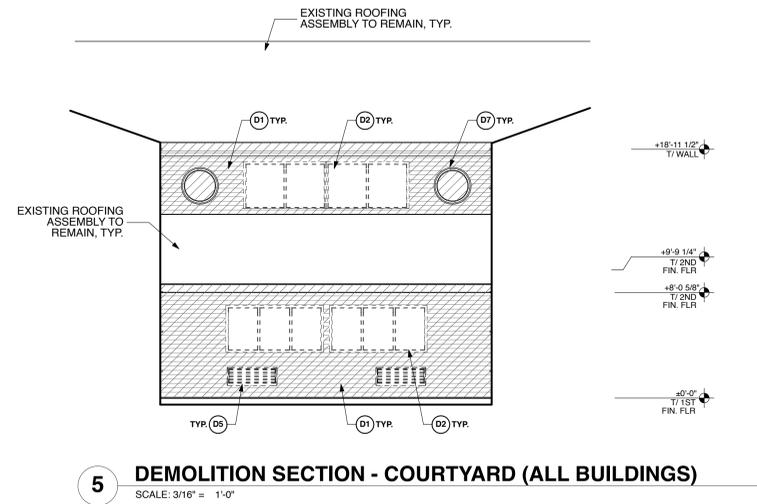
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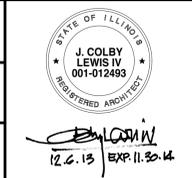
DEMOLITION ELEVATIONS		PROJECT NO.
RENOVATE RESIDENCE HALLS Illinois Math and Science Academy		805-030-017
1500 Sullivan Road, Aurora, Illinois, 60506,		DATE 11/15/13
		SHEET NO. AD1.2
		5 OF 27 SHEETS

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- DEMOLITION PLAN LEGEND**
- EXISTING CONSTRUCTION TO REMAIN
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  - DS DOWNSPOUT TO DEMOLISH
- ALTERNATE KEYED NOTES**
- (G-1) SEE A10.0 FOR DESCRIPTION OF DEMOLITION SCOPE AT THE ALTERNATE WINDOW DESIGNS



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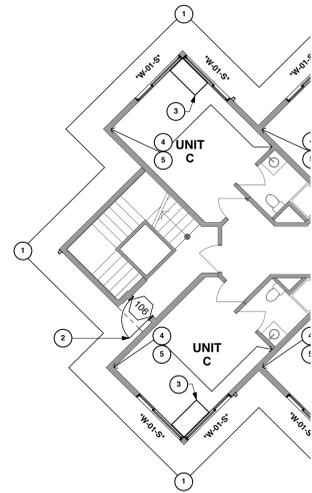
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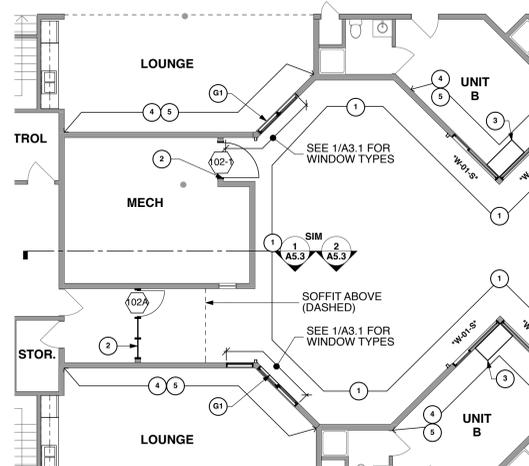
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**DEMOLITION ELEVATIONS**  
RENOVATE RESIDENCE HALLS  
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1500 Sullivan Road, Aurora, Illinois, 60506,

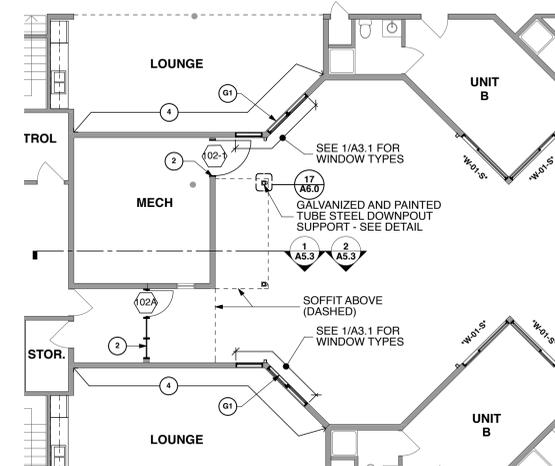
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6 OF 27 SHEETS



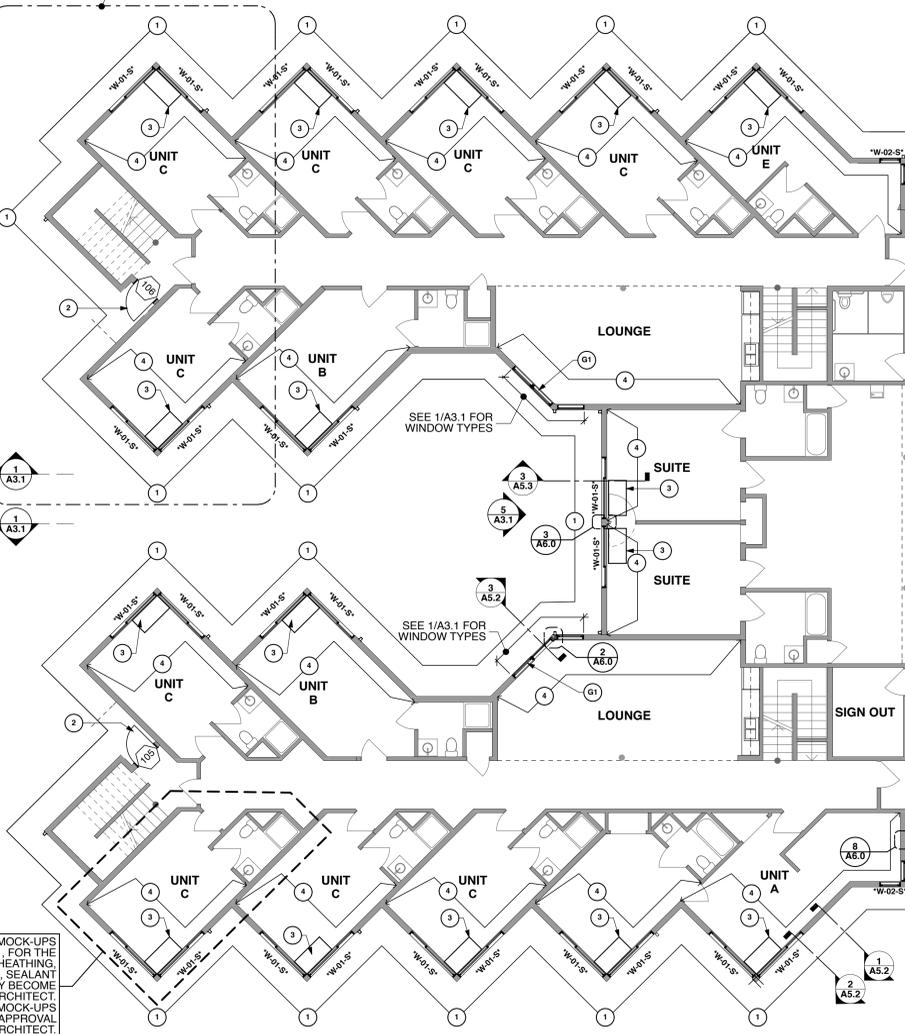
(TYPICAL CONDITION AT 4 STAIRS)  
**BUILDINGS 1502, 1504-1507**  
**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



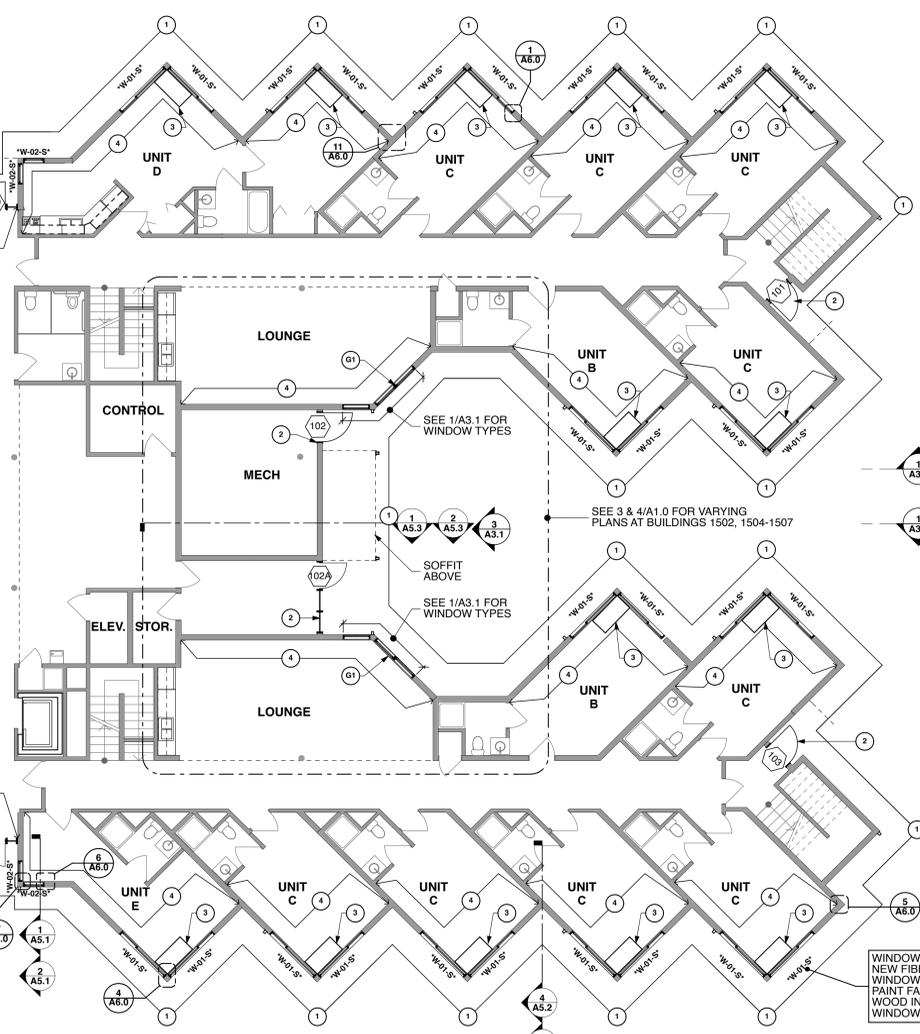
**BUILDINGS 1506 - 1507**  
**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**BUILDINGS 1502, 1504 - 1505**  
**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**BUILDINGS 1501 & 1503 FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



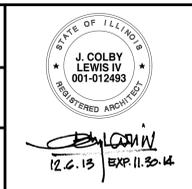
WINDOW TAG INDICATES NEW FIBERGLASS CLAD WINDOW, TYPICAL FINISH PAINT FACTORY PRIMED WOOD INTERIOR OF ALL WINDOWS, TYP.

**MOCK UP #1:** PROVIDE COMPLETE IN-PLACE MOCK-UPS AT THE LOCATION INDICATED, ON BUILDING 1501, FOR THE FOLLOWING SCOPE OF WORK: INSULATING SHEATHING, VINYL SIDING AND TRIM, WINDOWS AND GLAZING, SEALANT AND PTAC AND LOUVER. THE MOCK-UPS MAY BECOME PART OF THE FINAL WORK IF APPROVED BY THE ARCHITECT. DO NOT COMMENCE WORK FOR ANY OF THE MOCK-UPS LISTED ABOVE PRIOR TO RECEIVING WRITTEN APPROVAL FROM THE ARCHITECT.

- CONSTRUCTION GENERAL NOTES**
- SEE MEP DRAWINGS FOR ALL ELECTRICAL DEVICES, ACCESSORIES, AND COMPONENTS TO BE REMOVED, REMAIN OR TEMPORARILY REMOVED AND REPLACED.
  - REPAIR ALL MATERIALS AND FINISHES TO REMAIN THAT ARE DAMAGED BY ADJACENT DEMOLITION WORK WITH LIKE MATERIALS AND FINISHES TO MATCH EXISTING CONDITIONS.
  - MAINTAIN AND PROTECT ALL ELECTRICAL, MECHANICAL AND PLUMBING ITEMS DURING THE REMOVAL OF THE WINDOWS, SIDING, FASCIAS AND TRIM.
- CONSTRUCTION FLOOR PLAN LEGEND**
- EXISTING WALL
  - WOOD STUD FRAMED PARTITION
  - NEW DOOR
  - EXISTING DOOR
  - EXTERIOR LIGHT
  - \*W-01\* FIBERGLASS WINDOW TAG
  - \*S\* ALUMINUM BLINDS (SEE WINDOW TAGS)
  - \*CR\* CARD READER-INSTALL NEW CARD READER IN SAME LOCATION AND MOUNTING HEIGHT AS EXISTING CARD READER
- FLOOR PLAN GENERAL NOTES**
- REPAIR ADJACENT WALLS, CEILINGS AND FLOORS AT ALL DEMOLITION AREAS WITH LIKE MATERIALS AND FINISHES, MATCHING ADJACENT SURFACES, TYPICAL.
- FLOOR PLAN KEYED NOTES**
- NEW VINYL SIDING, TRIM, FASCIAS, GUTTERS, DOWNSPOUTS AND COMPOSITE INSULATING SHEATHING PANEL TO THE EXTENTS NOTED ON PLAN.
  - HOLLOW METAL DOOR, FRAME AND SIDELITES.
  - PTAC UNIT, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - PATCH AND REPAIR EXISTING WALL IN THE AREAS AS SHOWN. PAINT SCOPE TO INCLUDE FULL HEIGHT OF WALL. SEE A11.0 FOR PAINT SCHEDULE.
  - PAINT ENTIRE CEILING AND SOFFIT AT 2ND FLOOR DORM ROOMS. SEE A11.0 FOR PAINT SCHEDULE.
  - ARCHITECTURAL ALUMINUM LOUVER.
  - GYPSON WALL BOARD AND WALL BASE TO REPLACE REMOVED WALL COVERING AND DRYWALL. SEE A11.0 FOR PAINT SCHEDULE.
- ALTERNATE KEYED NOTES**
- G-1 SEE A10.0 FOR DRAWINGS OF ALTERNATE WINDOW DESIGN.

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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			CHECKED	APPROVED



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 200 South Wacker Drive  
 Chicago, IL 60606  
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 312.464.1444



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 Illinois Capital Development Board

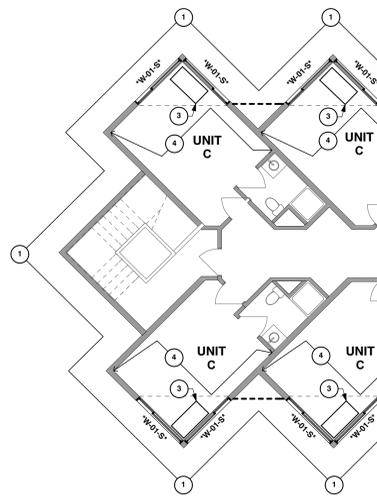
**FIRST FLOOR PLAN**  
 RENOVATE RESIDENCE HALLS  
 Illinois Math and Science Academy  
 1500 Sullivan Road, Aurora, Illinois, 60506,

PROJECT NO.  
805-030-017

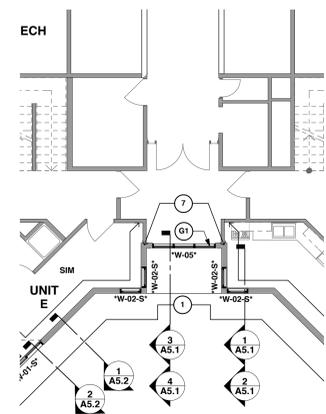
DATE  
11/15/13

SHEET NO.  
A1.0

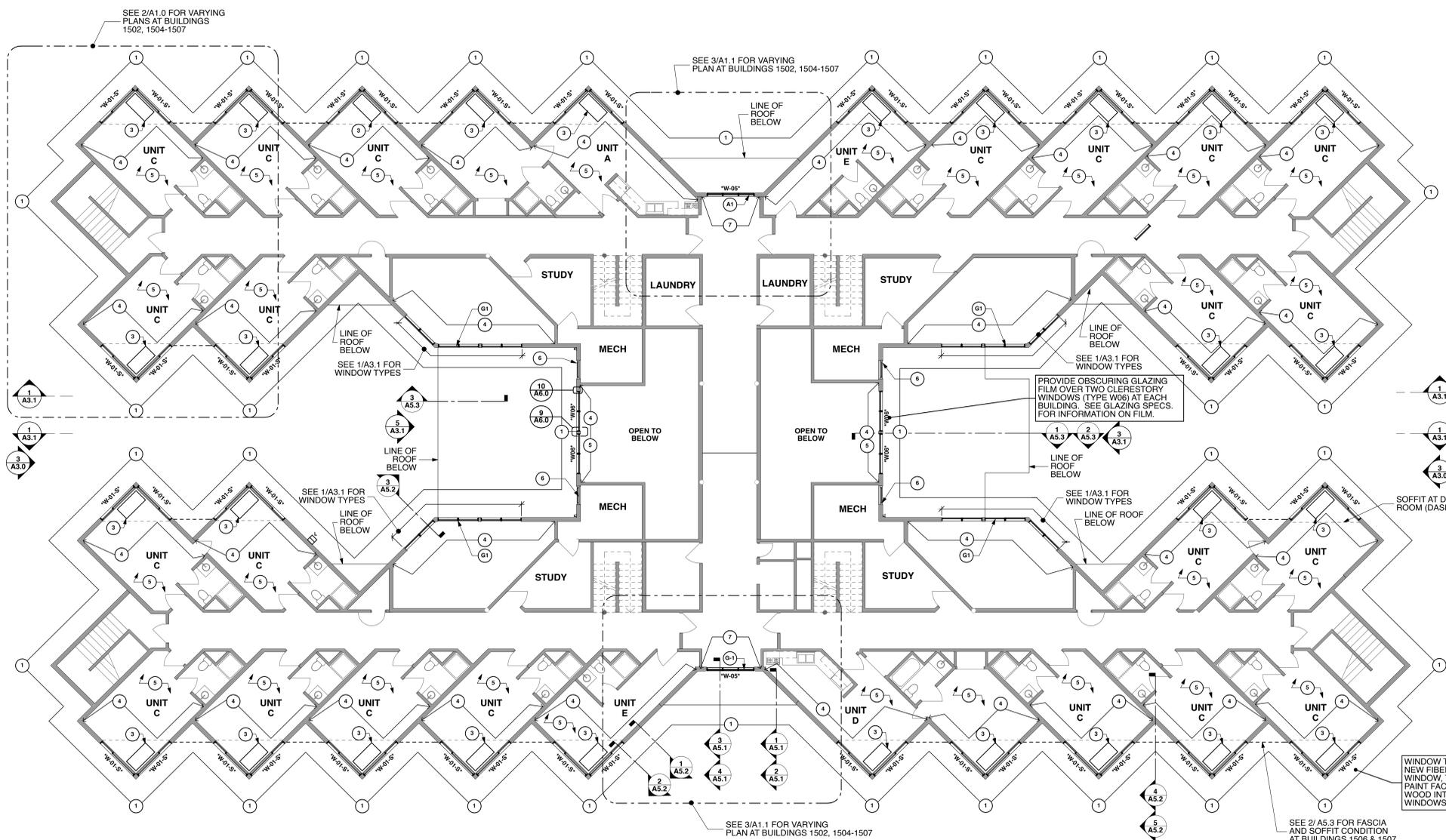
7 OF 27 SHEETS



**2 BUILDINGS 1502, 1504-1507 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**3 BUILDINGS 1502, 1504-1507 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

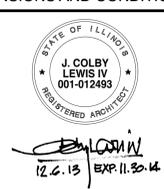


**1 BUILDINGS 1501 & 1503 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- CONSTRUCTION GENERAL NOTES**
- SEE MEP DRAWINGS FOR ALL ELECTRICAL DEVICES, ACCESSORIES, AND COMPONENTS TO BE REMOVED, REMAIN OR TEMPORARILY REMOVED AND REPLACED.
  - REPAIR ALL MATERIALS AND FINISHES TO REMAIN THAT ARE DAMAGED BY ADJACENT DEMOLITION WORK WITH LIKE MATERIALS AND FINISHES TO MATCH EXISTING CONDITIONS.
  - MAINTAIN AND PROTECT ALL ELECTRICAL, MECHANICAL AND PLUMBING ITEMS DURING THE REMOVAL OF THE WINDOWS, SIDING, FASCIAS AND TRIM.
- CONSTRUCTION FLOOR PLAN LEGEND**
- EXISTING WALL
  - WOOD STUD FRAMED PARTITION
  - NEW DOOR
  - EXISTING DOOR
  - EXTERIOR LIGHT
  - 'W-01' FIBERGLASS WINDOW TAG
  - 'S' ALUMINUM BLINDS (SEE WINDOW TAGS)
  - 'CR' CARD READER-INSTALL NEW CARD READER IN SAME LOCATION AND MOUNTING HEIGHT AS EXISTING CARD READER
- FLOOR PLAN GENERAL NOTES**
- REPAIR ADJACENT WALLS, CEILINGS AND FLOORS AT ALL DEMOLITION AREAS WITH LIKE MATERIALS AND FINISHES, MATCHING ADJACENT SURFACES, TYPICAL.
- FLOOR PLAN KEYED NOTES**
- NEW VINYL SIDING, TRIM, FASCIAS, GUTTERS, DOWNSPOUTS AND COMPOSITE INSULATING SHEATHING PANEL TO THE EXTENTS NOTED ON PLAN.
  - HOLLOW METAL DOOR, FRAME AND SIDELITES.
  - PTAC UNIT, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - PATCH AND REPAIR EXISTING WALL IN THE AREAS AS SHOWN. PAINT SCORE TO INCLUDE FULL HEIGHT OF WALL. SEE A11.0 FOR PAINT SCHEDULE.
  - PAINT ENTIRE CEILING AND SOFFIT AT 2ND FLOOR DORM ROOMS. SEE A11.0 FOR PAINT SCHEDULE.
  - ARCHITECTURAL ALUMINUM LOUVER.
  - GYPSUM WALL BOARD AND WALL BASE TO REPLACE REMOVED WALL COVERING AND DRYWALL. SEE A11.0 FOR PAINT SCHEDULE.
- ALTERNATE KEYED NOTES**
- SEE A10.0 FOR DRAWINGS OF ALTERNATE WINDOW DESIGN.

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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312.464.1444



State of Illinois  
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Illinois Capital Development Board

**SECOND FLOOR PLAN**  
RENOVATE RESIDENCE HALLS  
Illinois Math and Science Academy  
1500 Sullivan Road, Aurora, Illinois, 60506,

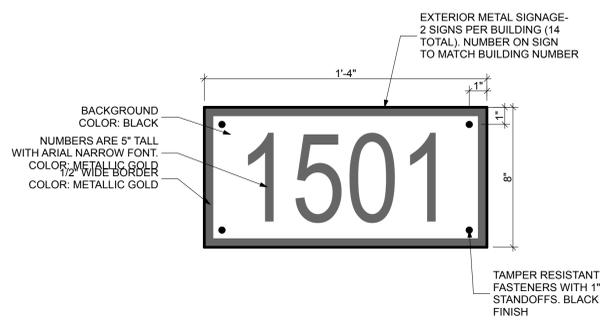
PROJECT NO.  
805-030-017  
DATE  
11/15/13  
SHEET NO.  
**A1.1**  
8 OF 27 SHEETS



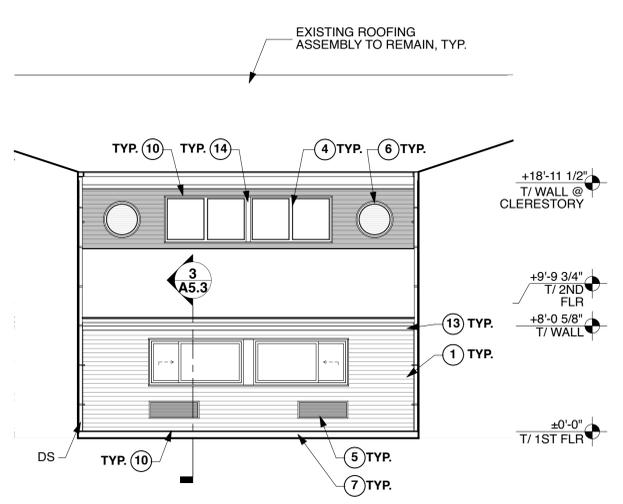
EXTERIOR ELEVATION LEGEND	
	S1 - VINYL SIDING, TRIM, FASCIAS, GUTTERS, DOWNSPOUTS AND COMPOSITE INSULATING SHEATHING PANEL. SEE SPECIFICATIONS FOR S1 COLOR.
	S2 - VINYL SIDING, TRIM, FASCIAS, GUTTERS, DOWNSPOUTS AND COMPOSITE INSULATING SHEATHING PANEL. SEE SPECIFICATIONS FOR S2 COLOR.
	DS - DOWNSPOUT- MATCH EXISTING LOCATIONS AND QUANTITIES
	EXTERIOR WALL-MOUNTED LIGHT FIXTURE-SEE ELECTRICAL DRAWINGS

- EXTERIOR ELEVATION GENERAL NOTES**
- SEE MEP DRAWINGS FOR ALL ELECTRICAL DEVICES, ACCESSORIES, AND COMPONENTS TO BE REMOVED, REMAIN OR TEMPORARILY REMOVED AND REPLACED.
  - REPAIR ALL MATERIALS AND FINISHES TO REMAIN THAT ARE DAMAGED BY ADJACENT DEMOLITION WORK WITH LIKE MATERIALS AND FINISHES TO MATCH EXISTING CONDITIONS.
  - MAINTAIN AND PROTECT ALL ELECTRICAL, MECHANICAL AND PLUMBING ITEMS DURING THE INSTALLATION OF THE WINDOWS, SIDING, FASCIAS AND TRIM.
  - THE LOCATION OF ALL GUTTERS AND DOWNSPOUTS ARE TO MATCH EXISTING. THE LOCATIONS OF DRAIN STUB UPS AT GRADE SHOULD NOT BE MOVED.

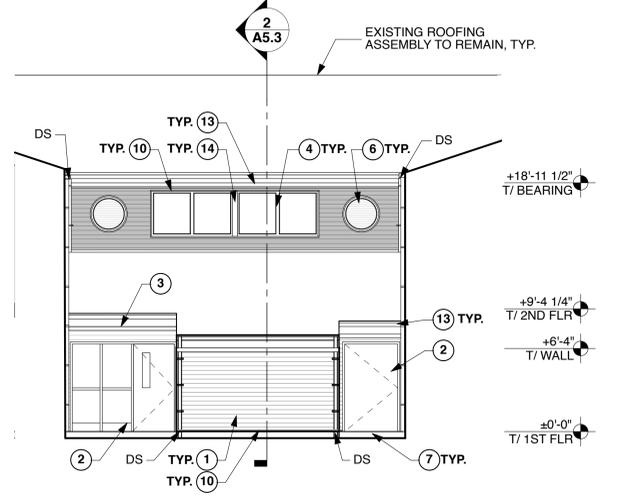
- EXTERIOR ELEVATION KEYED NOTES**
- VINYL SIDING, TRIM, FASCIAS, GUTTERS, DOWNSPOUTS AND COMPOSITE INSULATING SHEATHING PANEL.
  - HOLLOW METAL DOOR, FRAME AND SIDELITES.
  - PERFORATED VINYL SOFFIT
  - FIBERGLASS WINDOW PER 10 SERIES DRAWINGS.
  - EXTRUDED ALUMINUM LOUVER AND WALL SLEEVE AT PTAC UNITS. COLOR OF LOUVER AND WALL SLEEVE TO BE CUSTOM AND MATCH ADJACENT SIDING COLOR. SEE MECHANICAL DRAWINGS AND SPECIFICATIONS.
  - 30" DIA. ARCHITECTURAL LOUVER. COLOR OF LOUVER TO BE CUSTOM AND MATCH ADJACENT SIDING COLOR. VERIFY DIMENSION OF ROUGH OPENING IN FIELD.
  - POWER WASH AND CLEAN ALL EXPOSED FOUNDATION WALL SURFACES WITH CONCRETE CLEANER AS SPECIFIED.
  - EXISTING LOUVERS AT MECHANICAL ROOMS TO BE REMOVED, CLEANED, REFINISHED AND REINSTALLED. FINISH WITH A CORROSION RESISTANT PAINT. CUSTOM PAINT COLOR TO MATCH ADJACENT SIDING COLOR.
  - TUBE STEEL POST TO PROVIDE SUPPORT AND ATTACHMENT TO DOWNSPOUT
  - 1" J-CHANNEL TRIM
  - 3/8" CORNERPOST (CORNER POSTS AT S-2 SIDING TO MATCH COLOR OF S-2 SIDING)
  - INSIDE CORNERPOST
  - 3/4" LINEAL TRIM
  - PRE-FINISHED ALUMINUM TRIM



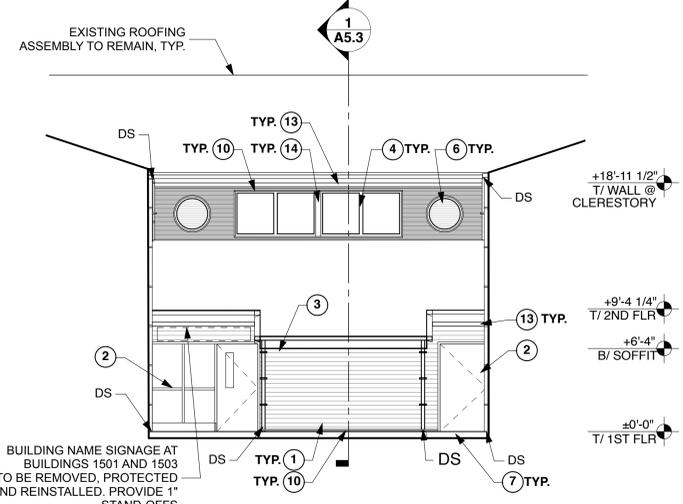
**6 BUILDING NUMBER SIGNAGE**  
SCALE: 3" = 1'-0"



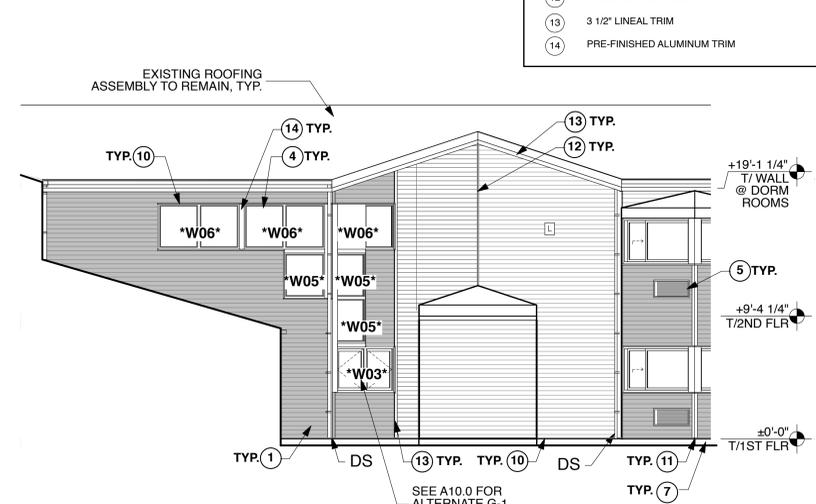
**5 ELEVATION - COURTYARD - (ALL BUILDINGS)**  
SCALE: 3/16" = 1'-0"



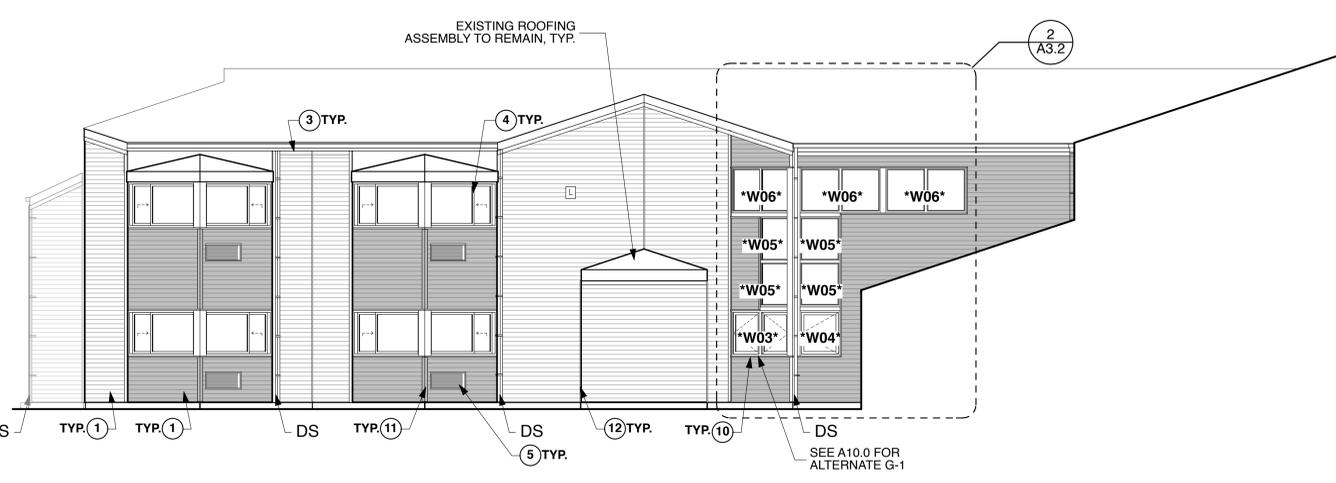
**4 ELEVATION - COURTYARD - BUILDINGS 1506 & 1507**  
SCALE: 3/16" = 1'-0"



**3 ELEVATION - COURTYARD - BUILDINGS 1501-1505**  
SCALE: 3/16" = 1'-0"



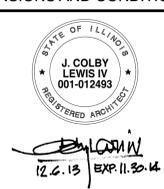
**2 ELEVATION - COURTYARD - BUILDINGS 1506-1507**  
SCALE: 3/16" = 1'-0"



**1 ELEVATION - COURTYARD - BUILDINGS 1501-1505**  
SCALE: 3/16" = 1'-0"

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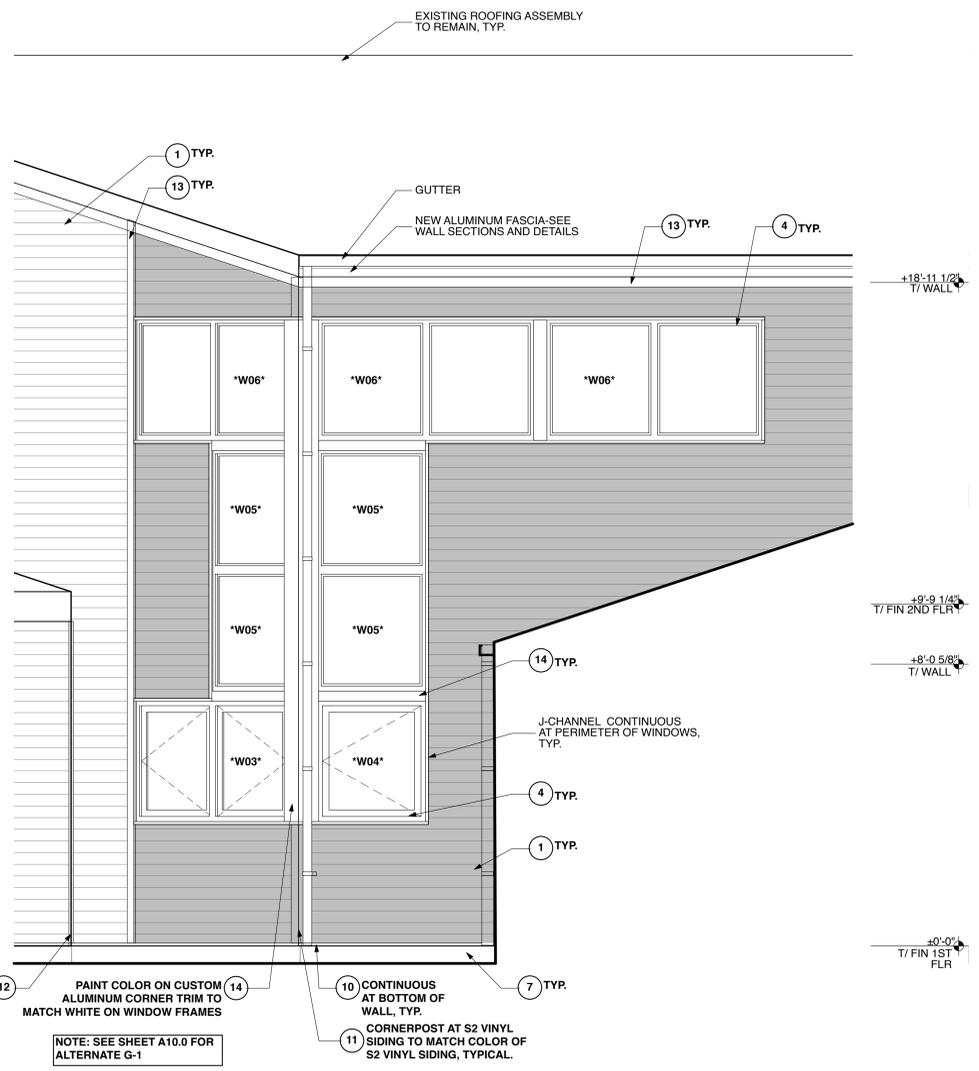
State of Illinois  
Pat Quinn, Governor  
Illinois Capital Development Board

EXTERIOR ELEVATIONS		PROJECT NO.
RENOVATE RESIDENCE HALLS Illinois Math and Science Academy		805-030-017
1500 Sullivan Road, Aurora, Illinois, 60506,		DATE 11/15/13
		SHEET NO. A3.1
		10 OF 27 SHEETS

EXTERIOR ELEVATION LEGEND	
	S1 - VINYL SIDING, TRIM, FASCIAS, GUTTERS, DOWNSPOUTS AND COMPOSITE INSULATING SHEATHING PANEL. SEE SPECIFICATIONS FOR S1 COLOR.
	S2 - VINYL SIDING, TRIM, FASCIAS, GUTTERS, DOWNSPOUTS AND COMPOSITE INSULATING SHEATHING PANEL. SEE SPECIFICATIONS FOR S2 COLOR.
	DOWNSPOUT- MATCH EXISTING LOCATIONS AND QUANTITIES
	EXTERIOR WALL-MOUNTED LIGHT FIXTURE-SEE ELECTRICAL DRAWINGS

- EXTERIOR ELEVATION GENERAL NOTES**
- SEE MEP DRAWINGS FOR ALL ELECTRICAL DEVICES, ACCESSORIES, AND COMPONENTS TO BE REMOVED, REMAIN OR TEMPORARILY REMOVED AND REPLACED.
  - REPAIR ALL MATERIALS AND FINISHES TO REMAIN THAT ARE DAMAGED BY ADJACENT DEMOLITION WORK WITH LIKE MATERIALS AND FINISHES TO MATCH EXISTING CONDITIONS.
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  - THE LOCATION OF ALL GUTTERS AND DOWNSPOUTS ARE TO MATCH EXISTING. THE LOCATIONS OF DRAIN STUB UPS AT GRADE SHOULD NOT BE MOVED.

- EXTERIOR ELEVATION KEYED NOTES**
- VINYL SIDING, TRIM, FASCIAS, GUTTERS, DOWNSPOUTS AND COMPOSITE INSULATING SHEATHING PANEL.
  - HOLLOW METAL DOOR, FRAME AND SIDELITES.
  - PERFORATED VINYL SOFFIT
  - FIBERGLASS WINDOW PER 10 SERIES DRAWINGS.
  - EXTRUDED ALUMINUM LOUVER AND WALL SLEEVE AT PTAC UNITS. COLOR OF LOUVER AND WALL SLEEVE TO BE CUSTOM AND MATCH ADJACENT SIDING COLOR. SEE MECHANICAL DRAWINGS AND SPECIFICATIONS.
  - 30" DIA. ARCHITECTURAL LOUVER. COLOR OF LOUVER TO BE CUSTOM AND MATCH ADJACENT SIDING COLOR. VERIFY DIMENSION OF ROUGH OPENING IN FIELD.
  - POWER WASH AND CLEAN ALL EXPOSED FOUNDATION WALL SURFACES WITH CONCRETE CLEANER AS SPECIFIED.
  - EXISTING LOUVERS AT MECHANICAL ROOMS TO BE REMOVED, CLEANED, REFINISHED AND REINSTALLED. FINISH WITH A CORROSION RESISTANT PAINT. CUSTOM PAINT COLOR TO MATCH ADJACENT SIDING COLOR.
  - TUBE STEEL POST TO PROVIDE SUPPORT AND ATTACHMENT TO DOWNSPOUT
  - 1" J-CHANNEL TRIM
  - 3 1/8" CORNERPOST (CORNER POSTS AT S-2 SIDING TO MATCH COLOR OF S-2 SIDING)
  - INSIDE CORNERPOST
  - 3 1/2" LINEAL TRIM
  - PRE-FINISHED ALUMINUM TRIM

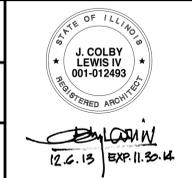


**2 ENLARGED EXTERIOR ELEVATION - BUILDINGS 1501-1507**  
SCALE: 1/2" = 1'-0"

**1 ENLARGED EXTERIOR ELEVATION - BUILDINGS 1501 - 1503**  
SCALE: 1/2" = 1'-0"

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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State of Illinois  
**Pat Quinn, Governor**  
Illinois Capital Development Board

ENLARGED EXTERIOR ELEVATIONS		PROJECT NO.
RENOVATE RESIDENCE HALLS Illinois Math and Science Academy		805-030-017
1500 Sullivan Road, Aurora, Illinois, 60506,		DATE 11/15/13
		SHEET NO. A3.2
		11 OF 27 SHEETS

# WALL DETAIL KEYED NOTES

## 06 WOOD AND PLASTIC

- 06-A1 WOOD BLOCKING
- 06-A3 EXISTING WOOD FRAME CONSTRUCTION TO REMAIN
- 06-A4 SOLID WOOD TRIM. PAINT TO MATCH ADJACENT INTERIOR WOOD FRAME OF WINDOWS.
- 06-A5 COMPOSITE INSULATING SHEATHING PANEL WITH INTEGRAL WATER AND AIR BARRIER.
- 06-A6 SELF ADHERING FLASHING TAPE
- 06-B1 PLASTIC LAMINATE WINDOW SILL. ALL EXPOSED SURFACES TO RECEIVE PLASTIC LAMINATE. CAULK ALL JOINTS BETWEEN SILL AND ADJACENT MATERIALS.

## 07 THERMAL AND MOISTURE PROTECTION

- 07-E3 EXISTING BATT INSULATION TO REMAIN
- 07-G1 20 GAUGE PREFINISHED ALUMINUM FLASHING WITH DRIP EDGE. PULL BACK EXISTING ROOF SHINGLES TO ALLOW FLASHING TO OVERLAP SHINGLES A MINIMUM OF 2". REATTACH ROOF SHINGLES AFTER COMPLETION OF FLASHING INSTALLATION.
- 07-G2 VINYL SIDING
- 07-G3 20 GAUGE PREFINISHED ALUMINUM FASCIA
- 07-G4 PERFORATED VINYL SOFFIT AND TRIM
- 07-G5 DOWNSPOUT / GUTTER
- 07-G6 1" POCKET J CHANNEL TRIM
- 07-G7 3 1/3" CORNER POST (COLOR OF CORNER POSTS AT S-2 SIDING TO MATCH COLOR OF S-2 SIDING)
- 07-G8 5" CORNER CAP
- 07-G9 5" LINEAL TRIM
- 07-G10 PREFINISHED ALUMINUM TRIM. SEAL TO ADJACENT CONSTRUCTION TO PROVIDE AN AIR AND WATER TIGHT INSTALLATION.
- 07-J1 20 GAUGE STAINLESS STEEL FLASHING WITH DRIP EDGE
- 07-J2 20 GAUGE STAINLESS STEEL FLASHING. PULL BACK EXISTING ROOF SHINGLES TO ALLOW FLASHING TO OVERLAP SHINGLES A MINIMUM OF 2". REATTACHED ROOF SHINGLES AFTER COMPLETION OF FLASHING INSTALLATION.
- 07-K1 SEALANT WITH BACKER ROD

## 08 DOORS, FRAMES AND WINDOWS

- 08-A1 HOLLOW METAL DOOR - SEE SCHEDULE AND DETAILS
- 08-A2 HOLLOW METAL DOOR FRAME
- 08-F1 FIBERGLASS WINDOW
- 08-L1 GLAZING
- 08-K1 EXTRUDED ALUMINUM LOUVER AND WALL SLEEVE AT PTAC UNIT. COLOR OF LOUVER AND SLEEVE TO BE A CUSTOM COLOR TO MATCH ADJACENT SIDING COLOR

## 09 FINISHES

- 09-A2 EXISTING 5/8" GYPSUM WALL BOARD
- 09-A3 5/8" GYPSUM WALL BOARD AROUND WINDOW OPENING. TAPE, MUD AND SAND JOINT BETWEEN NEW AND EXISTING GWB.
- 09-A4 5/8" GYPSUM WALL BOARD AT WALL AT FULL HEIGHT AND WIDTH OF WALL. TAPE, MUD AND SAND CORNER JOINTS TO EXISTING GWB.
- 09-A8 BEADED METAL J-TRIM AT END OF GWB. CAULK JOINT BETWEEN J-TRIM AND WINDOW FRAME. TYPICAL AT ALL SIDES OF OPENING.

## 12 FURNISHINGS

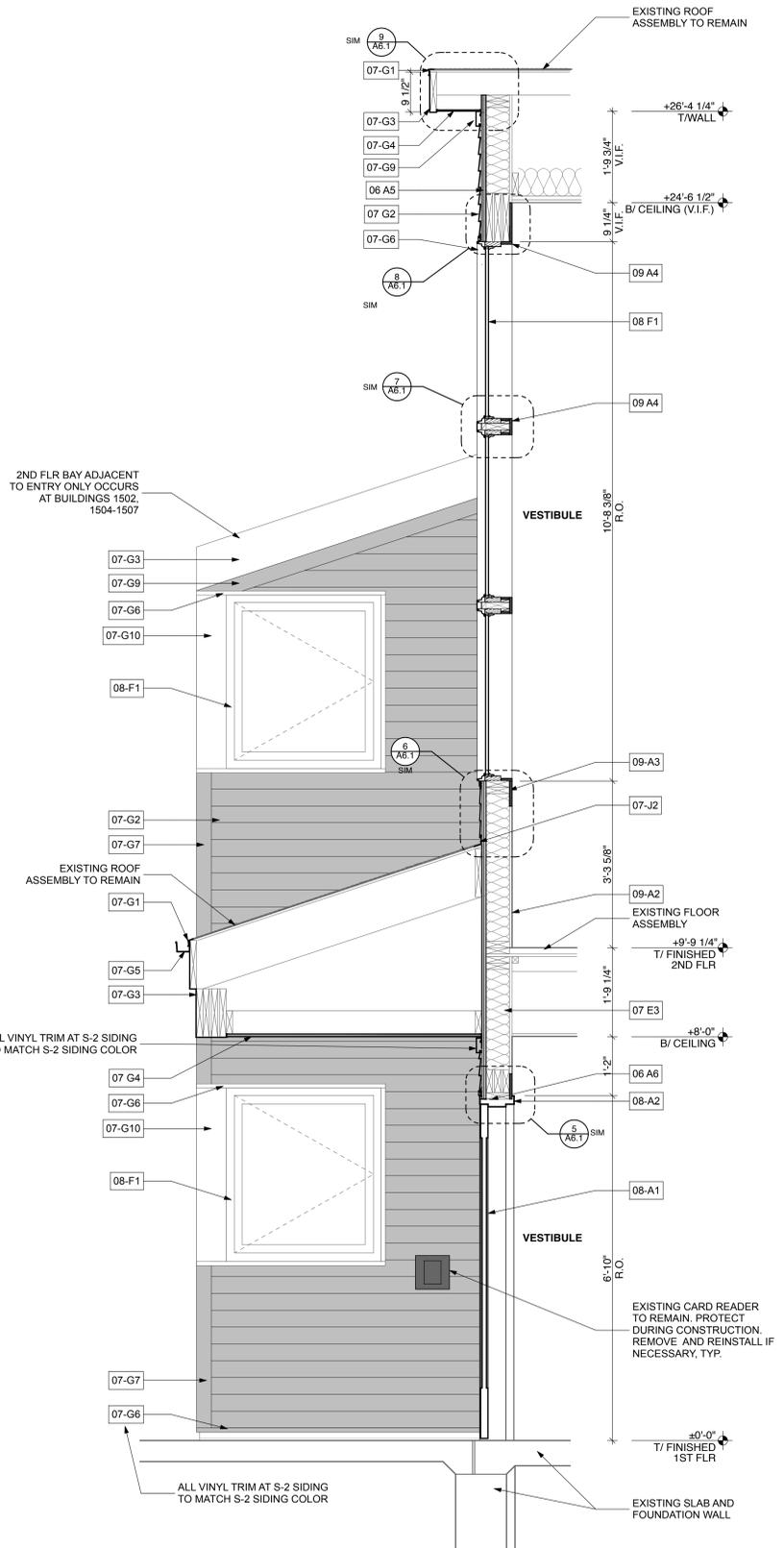
- 12-C1 WINDOW SHADE

## 23 HVAC EQUIPMENT

- 23 -A1 PTAC UNIT (PACKAGED TERMINAL AIR CONDITIONER)

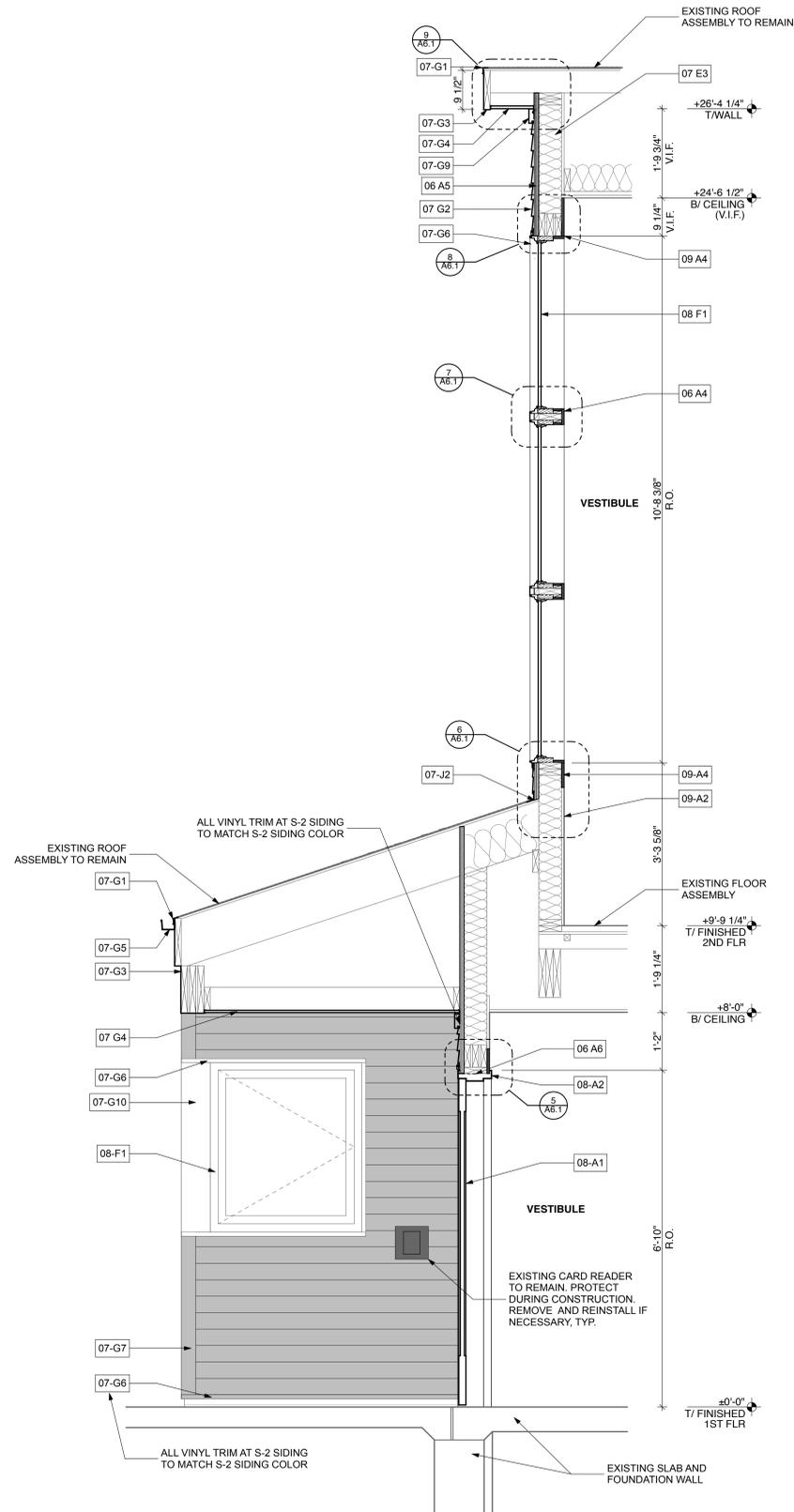
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NO.	DATE	REMARKS	OFF.	805-030-017							
1	11/15/13	ISSUE FOR BID	TRACED	APPROVED	 12.2.13 EXP. 11.30.14					DATE	
			CHECKED	APPROVED							11/15/13
											SHEET NO.
											A5.0
											12 OF 27 SHEETS



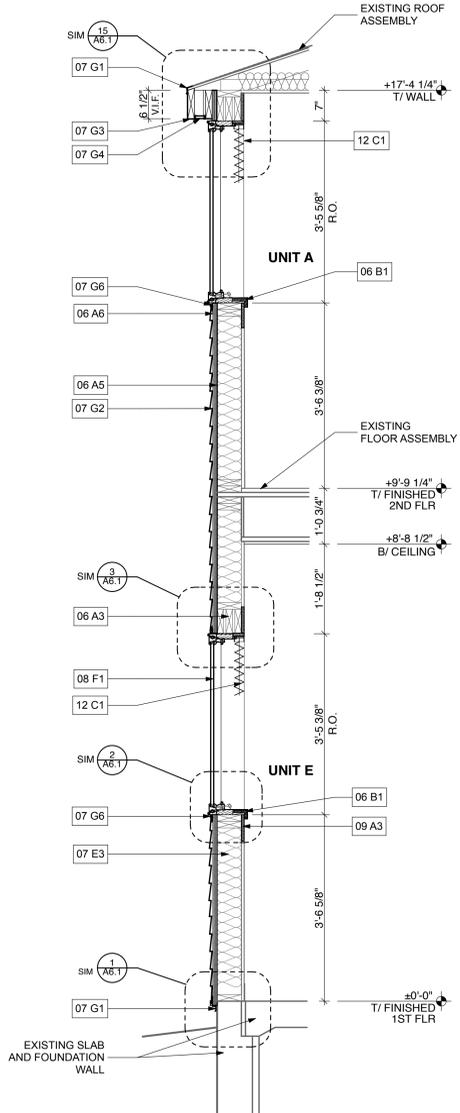
**BUILDINGS 1502, 1504-1507**  
**WALL SECTION**

4 SCALE: 3/4" = 1'-0"



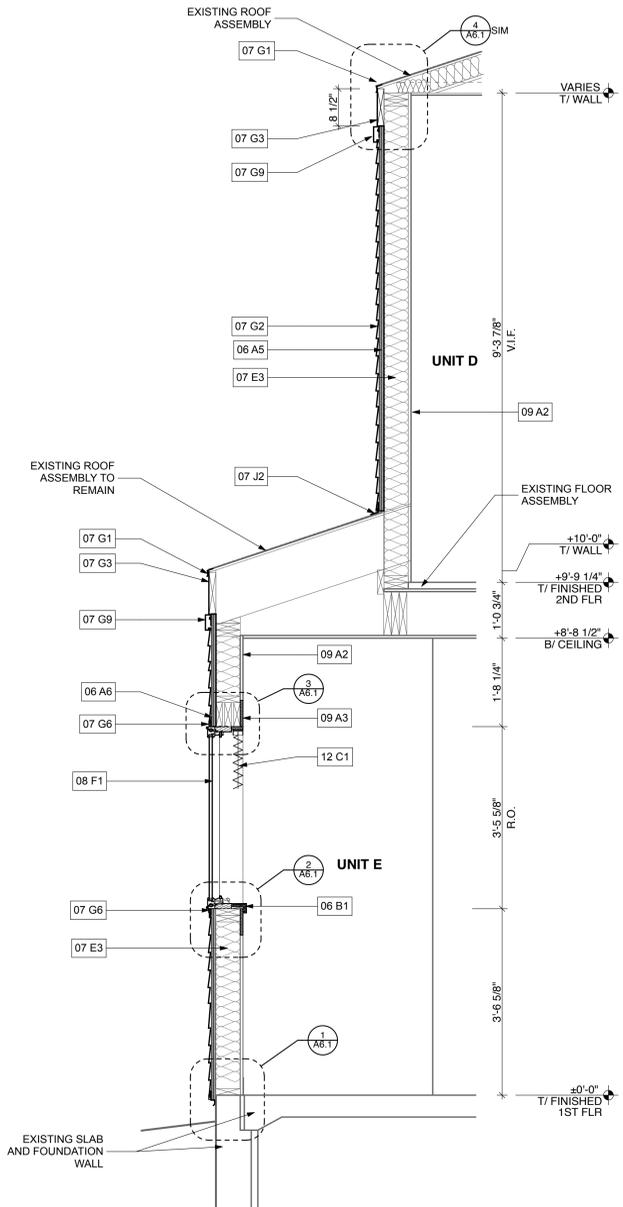
**BUILDINGS 1501 & 1503**  
**WALL SECTION**

3 SCALE: 3/4" = 1'-0"



**BUILDINGS 1502, 1504-1507**  
**WALL SECTION**

2 SCALE: 3/4" = 1'-0"

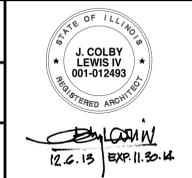


**BUILDINGS 1501 & 1503**  
**WALL SECTION**

1 SCALE: 3/4" = 1'-0"

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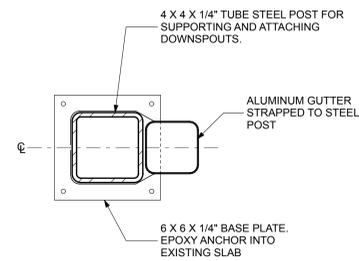
State of Illinois  
**Pat Quinn, Governor**  
Illinois Capital Development Board

**WALL SECTIONS**  
RENOVATE RESIDENCE HALLS  
Illinois Math and Science Academy  
1500 Sullivan Road, Aurora, Illinois, 60506,

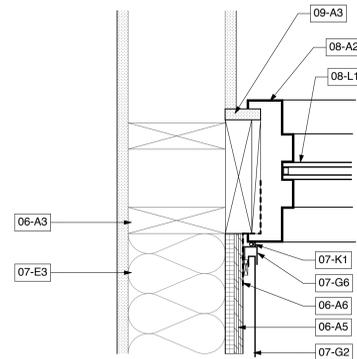
PROJECT NO.  
805-030-017  
DATE  
11/15/13  
SHEET NO.  
A5.1  
13 OF 27 SHEETS



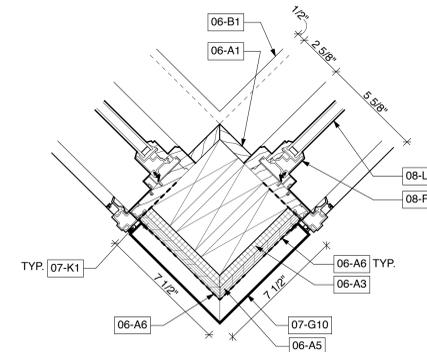




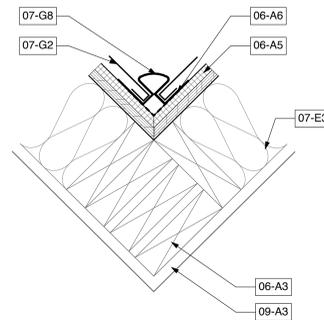
**17 BUILDINGS 1506-1507 PLAN DETAIL**  
SCALE: 3" = 1'-0"



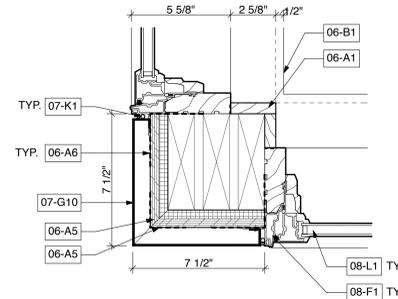
**8 PLAN DETAIL**  
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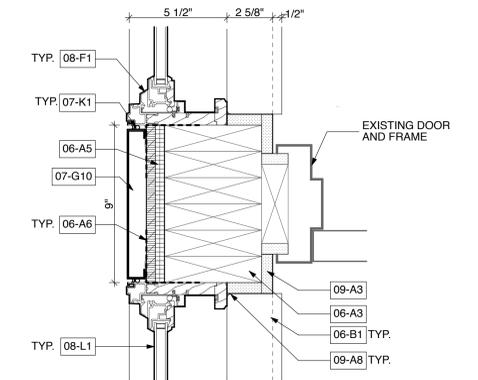
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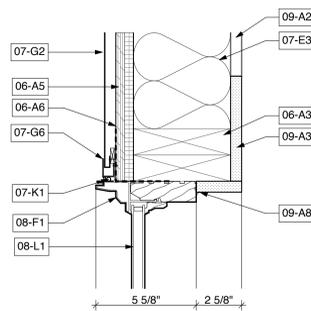
**11 PLAN DETAIL**  
SCALE: 3" = 1'-0"



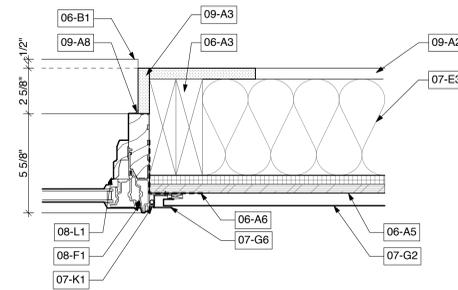
**7 PLAN DETAIL**  
SCALE: 3" = 1'-0"



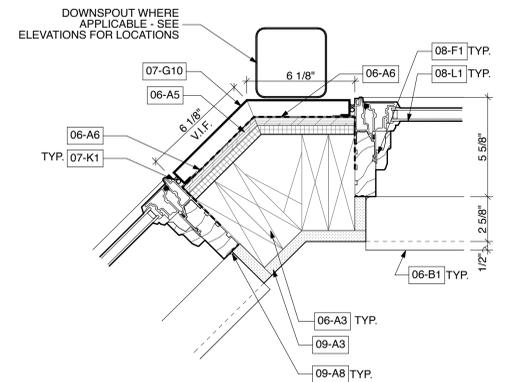
**3 PLAN DETAIL**  
SCALE: 3" = 1'-0"



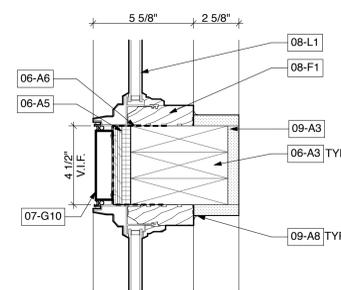
**10 PLAN DETAIL**  
SCALE: 3" = 1'-0"



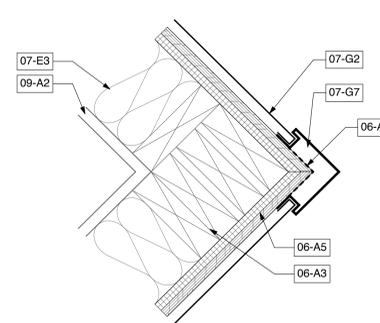
**6 PLAN DETAIL**  
SCALE: 3" = 1'-0"



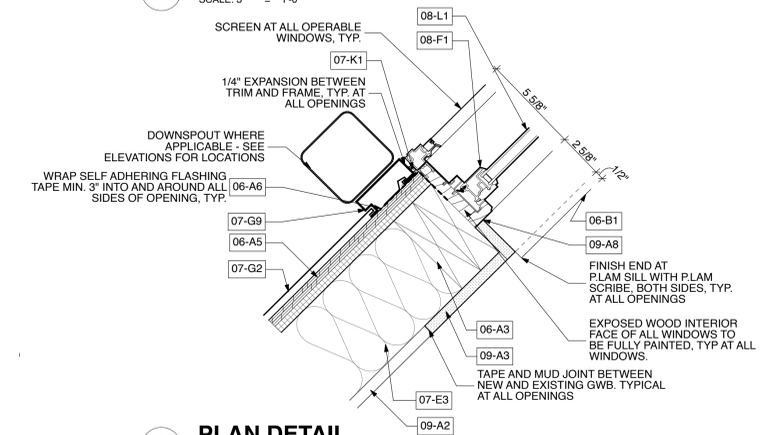
**2 PLAN DETAIL**  
SCALE: 3" = 1'-0"



**9 PLAN DETAIL**  
SCALE: 3" = 1'-0"



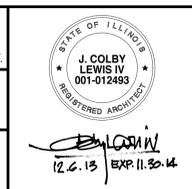
**5 PLAN DETAIL**  
SCALE: 3" = 1'-0"



**1 PLAN DETAIL**  
SCALE: 3" = 1'-0"

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

REVISIONS			DRAWN	PREPARED
NO.	DATE	REMARKS		OFF.
1	11/15/13	ISSUE FOR BID	TRACED	APPROVED
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HENNEMAN ENGINEERING INC.  
200 South Wacker Drive  
Chicago, IL 60606  
312.583.1400

STR PARTNERS LLC  
350 W Ontario St. Suite 200  
Chicago, IL 60640  
312.464.1444



State of Illinois  
Pat Quinn, Governor  
Illinois Capital Development Board

PLAN DETAILS  
RENOVATE RESIDENCE HALLS  
Illinois Math and Science Academy

1500 Sullivan Road, Aurora, Illinois, 60506,

PROJECT NO.  
805-030-017  
DATE  
11/15/13  
SHEET NO.  
A6.0  
16 OF 27 SHEETS



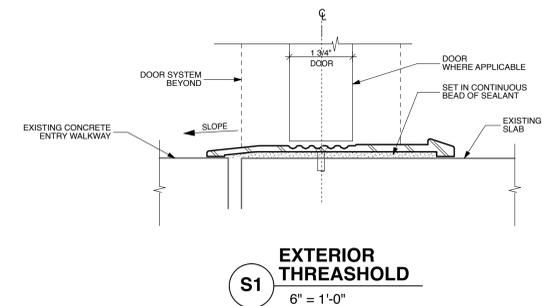
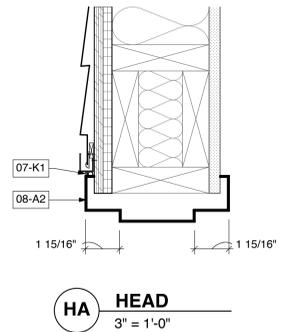
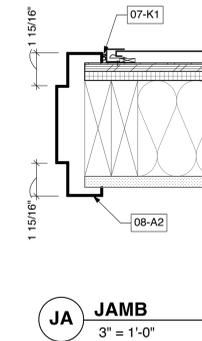
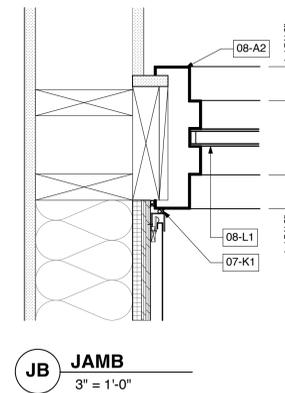
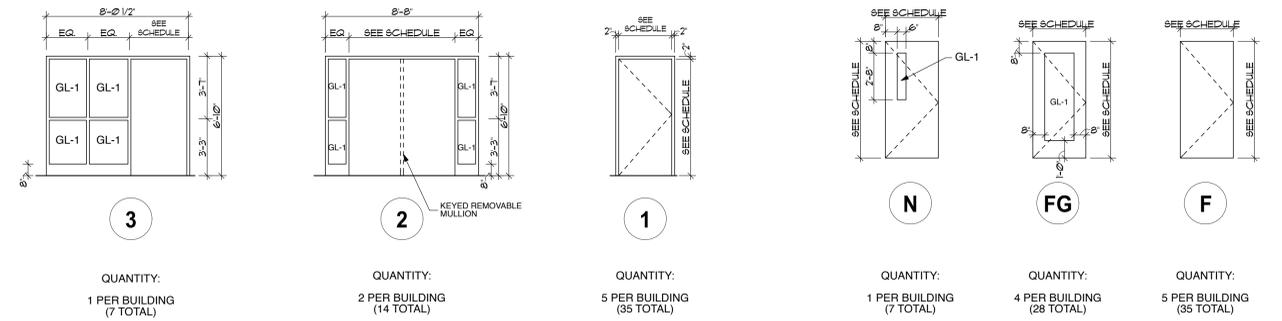


FINISH PAINTING SCHEDULE				
No.	Location	Manufacturer	Color	Comments
PT-1A	Main Entry Doors at Building 1501	Sherwin Williams	SW 0022 Patchwork Plum	Door panel only, see PT-3 for frame color
PT-1B	Main Entry Doors at Building 1502	Sherwin Williams	SW 2819 Downing Slate	Door panel only, see PT-3 for frame color
PT-1C	Main Entry Doors at Building 1503	Sherwin Williams	SW 2815 Renwick Olive	Door panel only, see PT-3 for frame color
PT-1D	Main Entry Doors at Building 1504	Sherwin Williams	SW 2811 Rookwood Blue Green	Door panel only, see PT-3 for frame color
PT-1E	Main Entry Doors at Building 1505	Sherwin Williams	SW 2817 Rookwood Amber	Door panel only, see PT-3 for frame color
PT-1F	Main Entry Doors at Building 1506	Sherwin Williams	SW 2803 Rookwood Terra Cotta	Door panel only, see PT-3 for frame color
PT-1F	Main Entry Doors at Building 1507	Sherwin Williams	SW 2831 Classical Gold	Door panel only, see PT-3 for frame color
PT-2	Exit Doors and Frames at Stairwells	Sherwin Williams	SW 7046 Anonymous	
PT-3	Hollow Metal Frames at Main Entry Doors	Sherwin Williams	SW 7046 Anonymous	
PT-4	Interior Drywall Walls, Soffits and Ceilings	Sherwin Williams	custom SW called "MSA"	Coordinate with STR to match color
PT-5	Galvanized Steel Downspout Support Posts	Benjamin Moore	Super White	

General Notes:  
1. See paint specifications for paint product requirements and finishes for each substrate.  
2. Per the specifications, provide a mock-up of each paint color the architects review and approval prior to proceeding with all work.

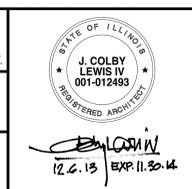
DOOR SCHEDULE																
Location No.	Room	Door Size				Door			Hardware			Frame			General Remarks	
		Pair	Width	Height	Thk	Type	Matt	Finish	Set	Type	Matt	Finish	Head	Jamb		Sill
100	MAIN ENTRANCE	■	3'-0"	6'-8"	1 3/4"	FG	HM	P-1A - P-1F	1	2	HM	P-1	HA	JB	S1, S2	AT ALL BUILDINGS-SEE SPECIFICATIONS FOR FINISH COLOR
101	STAIR		3'-0"	6'-8"	1 3/4"	F	HM	P-1	3	1	HM	P-1	HA	JA	S1	AT ALL BUILDINGS
102	MECHANICAL ROOM		3'-4"	6'-8"	1 3/4"	F	HM	P-1	4	1	HM	P-1	HA	JA	S1	AT BUILDINGS 1501, 1503 ONLY
102-1	MECHANICAL ROOM		4'-0"	6'-8"	1 3/4"	F	HM	P-1	4	1	HM	P-1	HA	JA	S1	AT BUILDINGS 1502, 1504, 1505, 1506, 1507 ONLY
102a	COURTYARD ENTRANCE		3'-0"	6'-8"	1 3/4"	N	HM	P-1	2	3	HM	P-1	HA	JA	S1, S2	AT ALL BUILDINGS
103	STAIR		3'-0"	6'-8"	1 3/4"	F	HM	P-1	3	1	HM	P-1	HA	JA	S1	AT ALL BUILDINGS
104	MAIN ENTRANCE	■	3'-0"	6'-8"	1 3/4"	FG	HM	P-1A - P-1F	1	2	HM	P-1	HA	JA	S1, S2	AT ALL BUILDINGS-SEE SPECIFICATIONS FOR FINISH COLOR
105	STAIR		3'-0"	6'-8"	1 3/4"	F	HM	P-1	3	1	HM	P-1	HA	JA	S1	AT ALL BUILDINGS
106	STAIR		3'-0"	6'-8"	1 3/4"	F	HM	P-1	3	1	HM	P-1	HA	JA	S1	AT ALL BUILDINGS

**5 13002 Door Schedule**  
SCALE: 1" = 1'-0"



NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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			CHECKED	APPROVED



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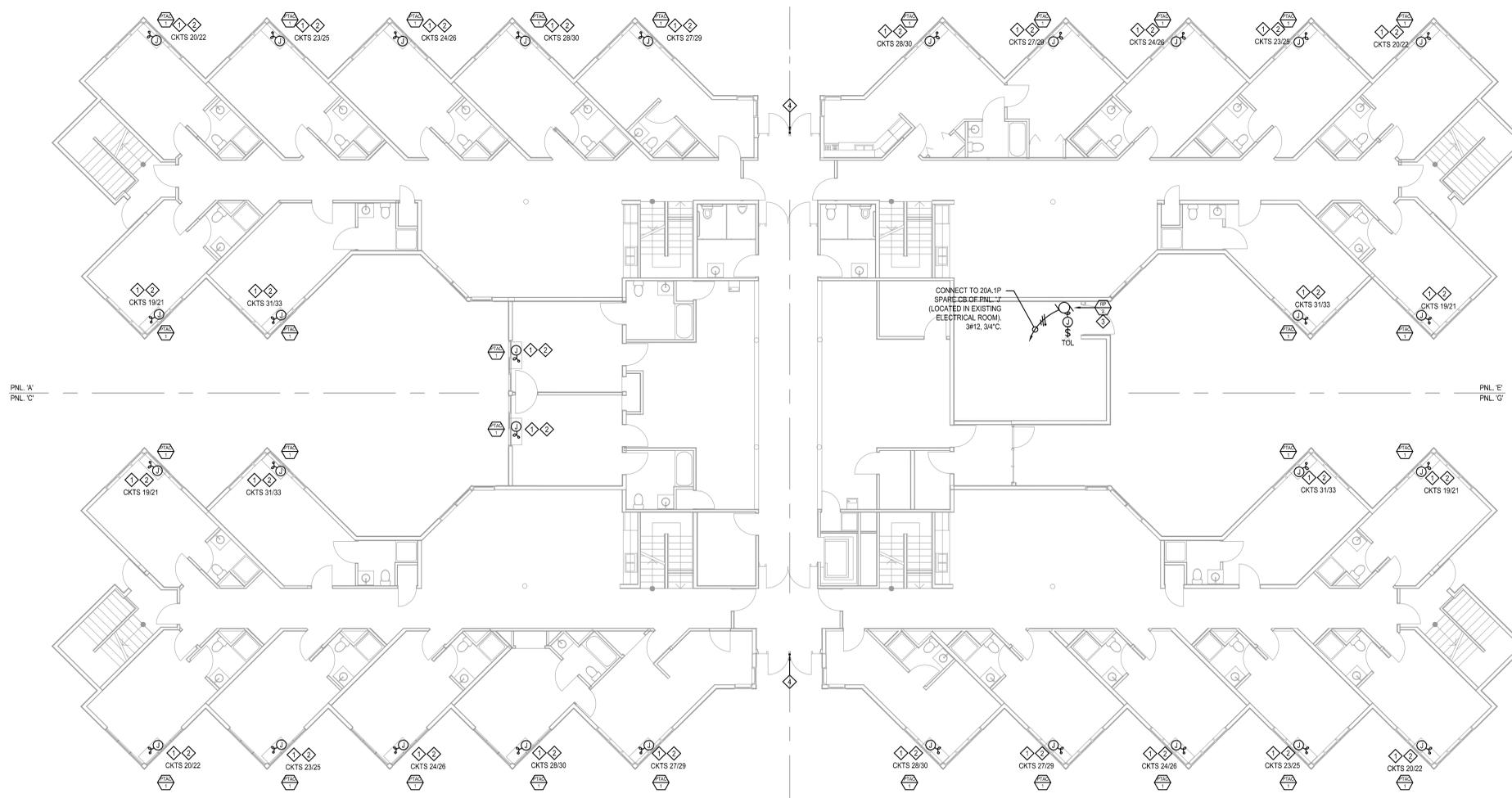
STR PARTNERS LLC  
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312.464.1444



State of Illinois  
Pat Quinn, Governor  
Illinois Capital Development Board

**DOOR SCHEDULE, DOOR & FRAME TYPES**  
RENOVATE RESIDENCE HALLS  
Illinois Math and Science Academy  
1500 Sullivan Road, Aurora, Illinois, 60506,

PROJECT NO.  
805-030-017  
DATE  
11/15/13  
SHEET NO.  
A11.0  
19 OF 27 SHEETS



**GENERAL NOTES**  
 † ALL CIRCUITS INDICATED ON DRAWING ARE EXISTING TO REMAIN.

- ELECTRICAL KEYNOTES**
- ◇ ELECTRICAL CONTRACTOR SHALL DISCONNECT EXISTING UNIT.
  - ◇ INSTALL NEW WALL MOUNTED JUNCTION BOX CONCEALED IN PTAC ENCLOSURE. LIQUID-TIGHT FLEXIBLE CONDUIT. PULL EXISTING BRANCH CIRCUIT WIRING THRU NEW BOX & FLEXIBLE CONDUIT. TERMINATE AT DISCONNECT SWITCH PROVIDED WITH NEW PTAC UNIT. FULL LOAD OF PTAC UNIT 7.15A.
  - ◇ COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR.
  - ◇ CONNECT NEW DOOR STRIKE TO EXISTING CIRCUIT LEFT AFTER DEMOLISHING OF EXISTING DOOR.

- ELECTRICAL SYMBOLS**
- JUNCTION BOX
  - ⊕ FLEXIBLE CONDUIT CONNECTION
  - ⊞ MECHANICAL EQUIPMENT TAG
  - TOL THERMAL OVERLOAD SWITCH
  - ⊙ MOTOR

1 POWER PLAN - 1ST FLOOR ( ALL BUILDINGS )  
 SCALE: 1/8" = 1'-0"  
 12' 0" 1' 5' 10' 20'

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

REVISIONS			DRAWN	PREPARED
NO.	DATE	REMARKS		OFF.
1	11/15/13	Issue for Bid	TRACED	APPROVED
			CHECKED	APPROVED



**Henneman Engineering Inc.**  
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 Chicago, IL 60601-3913 F 312-928-1401  
 Email: info@henneman.com  
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 JOB NO. 13-7547

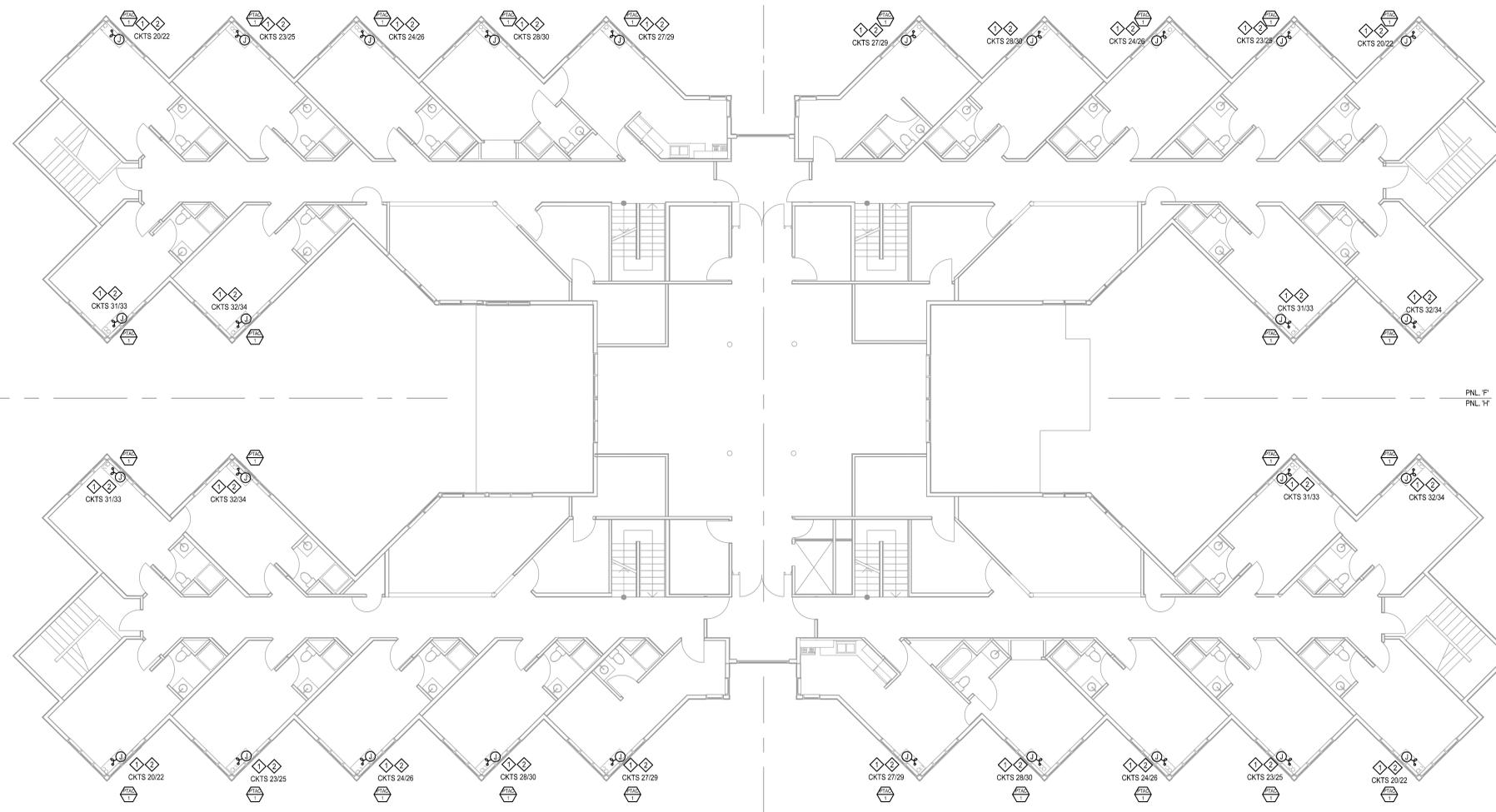
STR PARTNERS LLC  
 350 W ONTARIO,  
 CHICAGO, IL, 60654,  
 312.464.1444



State of Illinois  
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**ELECTRICAL PLAN - TYPICAL FIRST FLOOR**  
 RENOVATE RESIDENCE HALLS  
 Illinois Math and Science Academy  
 1500 Sullivan Road, Aurora, Illinois, 60506

PROJECT NO.  
805-030-017  
 DATE  
11/15/13  
 SHEET NO.  
**E1.1**  
 20 OF (27) SHEETS



**GENERAL NOTES**  
 † ALL CIRCUITS INDICATED ON DRAWING ARE EXISTING TO REMAIN.

**ELECTRICAL KEYNOTES**  
 ◊ ELECTRICAL CONTRACTOR SHALL DISCONNECT EXISTING UNIT.  
 ◊ INSTALL NEW WALL MOUNTED JUNCTION BOX CONCEALED IN PTAC ENCLOSURE. LIQUID-TIGHT FLEXIBLE CONDUIT. PULL EXISTING BRANCH CIRCUIT WIRING THRU NEW BOX & FLEXIBLE CONDUIT. TERMINATE AT DISCONNECT SWITCH PROVIDED WITH NEW PTAC UNIT. FULL LOAD OF PTAC UNIT 7.15A.

**ELECTRICAL SYMBOLS**  
 ○ JUNCTION BOX  
 ◊ FLEXIBLE CONDUIT CONNECTION  
 ⬡ MECHANICAL EQUIPMENT TAG

1 POWER PLAN - 2ND FLOOR ( ALL BUILDINGS )  
 SCALE: 1/8" = 1'-0"  
 12' 0" 1' 5' 10' 20'

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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1	11/15/13	Issue for Bid	TRACED	APPROVED
			CHECKED	APPROVED

SIGNED DEC. 5, 2013  
  
 EXPIRES NOV. 30, 2015

**Henneman Engineering Inc.**  
 Chicago, IL 60606-3913  
 312-246-9554  
 info@henneman.com  
 www.henneman.com  
 JOB NO. 13-7547

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 CHICAGO, IL, 60654,  
 312.464.1444



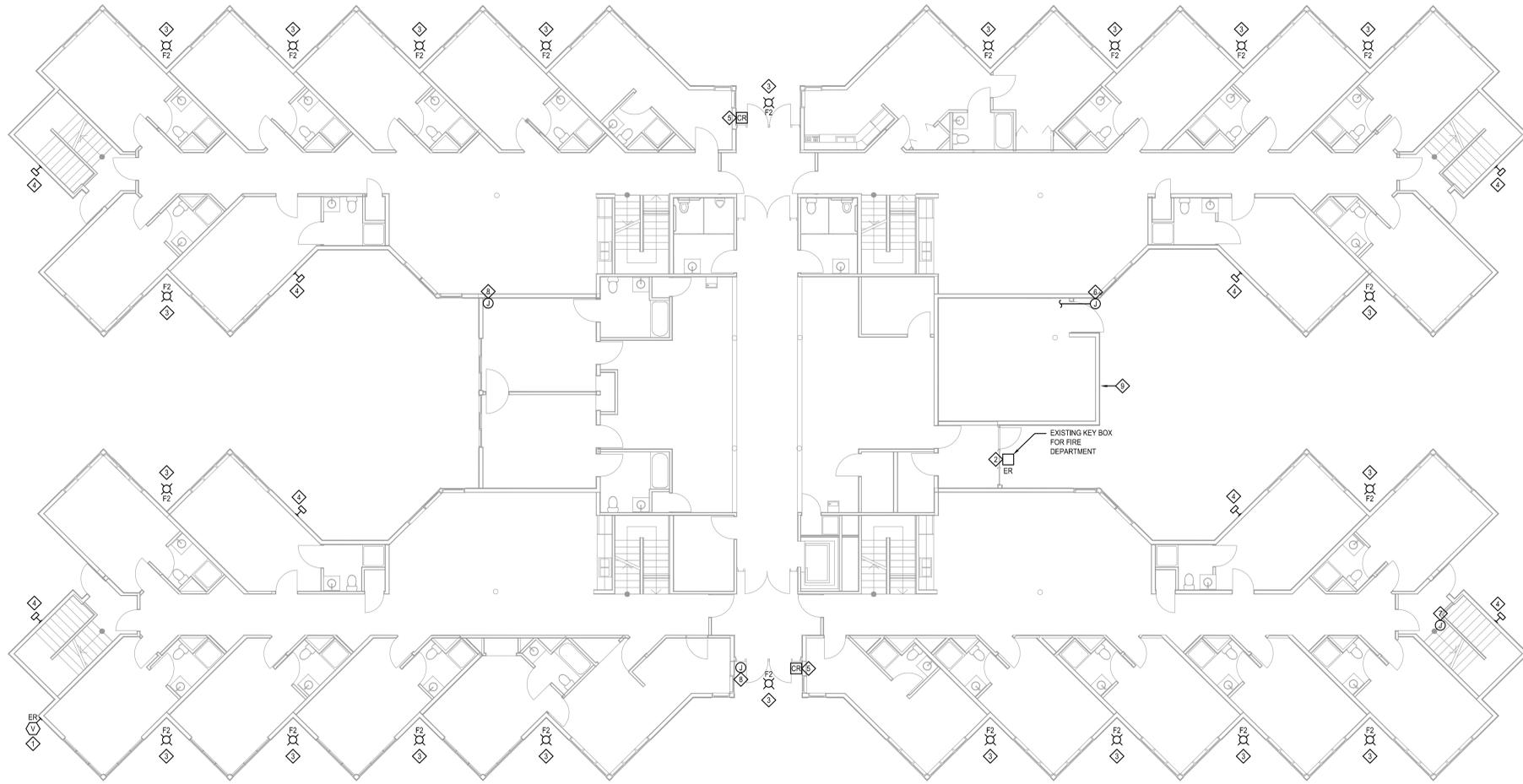
State of Illinois  
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**ELECTRICAL PLAN - TYPICAL SECOND FLOOR**  
 RENOVATE RESIDENCE HALLS  
 Illinois Math and Science Academy  
 1500 Sullivan Road, Aurora, Illinois, 60506

PROJECT NO.  
805-030-017  
 DATE  
11/15/13  
 SHEET NO.  
**E1.2**  
 21 OF (27) SHEETS

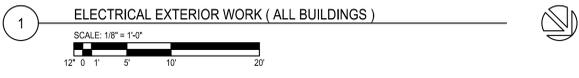
LIGHTING FIXTURE SCHEDULE											
MARK	FIXTURE		VOLT.	LAMP		MOUNTING		NAME	MANUFACTURER		REMARKS
	TYPE	DIFFUSER		# & WATTS	TYPE	TYPE	HT.		CATALOG NO.		
F1	LED WALL PACK		120/ 277	47	LED	WALL	16 FT.	GARDO	101L236LAWUNVBRP		
								BETA	SEC-EDC-2004-D4L-8Z-390		
								LUMARK	XTORS-N		
F2	6" LED DOWNLIGHT, WIDE BEAM, WHITE POLYMER RING, U.L. LISTED FOR WET LOCATIONS		120/ 277		LED	RECESSED SOFFIT		MCGRAW-EDISON	1ST-8102-LED-E1-8L2-8Z	FRAM-IN KIT-CBL15N2	PROVIDE REMODEL ADAPTOR GINGFOR 9" OD
								LIGHTOLIER	CBL1620L26KWCCLP		
								OMEGA	OMBLD27120R6LED36KWCSS		
								COOPER LTG.	LDR15ERW86356LWGH		

\*\*ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR TRIM TYPES, COORDINATE WITH REFLECTED CEILING PLANS\*\*



- ELECTRICAL SYMBOLS:**
- DOWNLIGHT
  - EXTERIOR WALL MOUNTED LIGHTING FIXTURE
  - KEY CARD
  - EXISTING TO BE REINSTALLED
  - VISUAL ALARM
  - CCTV CLOSED CIRCUIT TV CAMERA

- ELECTRICAL KEYNOTES:**
- ◇ REMOVE EXISTING VISUAL ALARM AND REINSTALL AFTER COMPLETION OF INSTALLATION OF NEW SIDING (TYP. FOR ALL BUILDING; LOCATION OF ALARM MAY VARY).
  - ◇ REMOVE EXISTING BOX AND REINSTALL AFTER COMPLETION OF INSTALLATION OF NEW SIDING (TYP. FOR ALL BUILDING).
  - ◇ REMOVE EXISTING DOWNLIGHT AND INSTALL NEW TYPE F2 LIGHTING FIXTURE (TYPICAL FOR ALL BUILDINGS).
  - ◇ REMOVE EXISTING WALL MOUNTED LIGHTING FIXTURE AND INSTALL NEW LED WALL MOUNTED LIGHTING FIXTURE TYPE F1 (SEE SCHEDULE). (TYPICAL FOR ALL BUILDINGS).
  - ◇ REMOVE EXISTING CARD READER AND REINSTALL AFTER COMPLETION OF INSTALLATION OF NEW SIDING (TYP. FOR ALL BUILDINGS).
  - ◇ TEMPORARY DISCONNECT EXISTING GROUND WIRE. INSTALL TEMPORARY GROUND WIRING. INSTALL PERMANENT GROUND WIRE AFTER COMPLETION OF INSTALLATION OF NEW SIDING.
  - ◇ REMOVE AND REINSTALL JUNCTION BOX FOR CCTV CAMERA (BLDG. 1508 ONLY) AFTER COMPLETION OF INSTALLATION OF NEW SIDING.
  - ◇ REMOVE AND REINSTALL JUNCTION BOX FOR CCTV CAMERA (BUILDING 1505 ONLY) AFTER COMPLETION OF INSTALLATION OF NEW SIDING.
  - ◇ REMOVE AND REINSTALL TROUBLE BELL FOR SPRINKLER SYSTEM AFTER COMPLETION OF INSTALLATION OF NEW SIDING.



NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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1	11/15/13	Issue for Bid	TRACED	APPROVED
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 EXPIRES NOV. 30, 2015

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 312.464.1444

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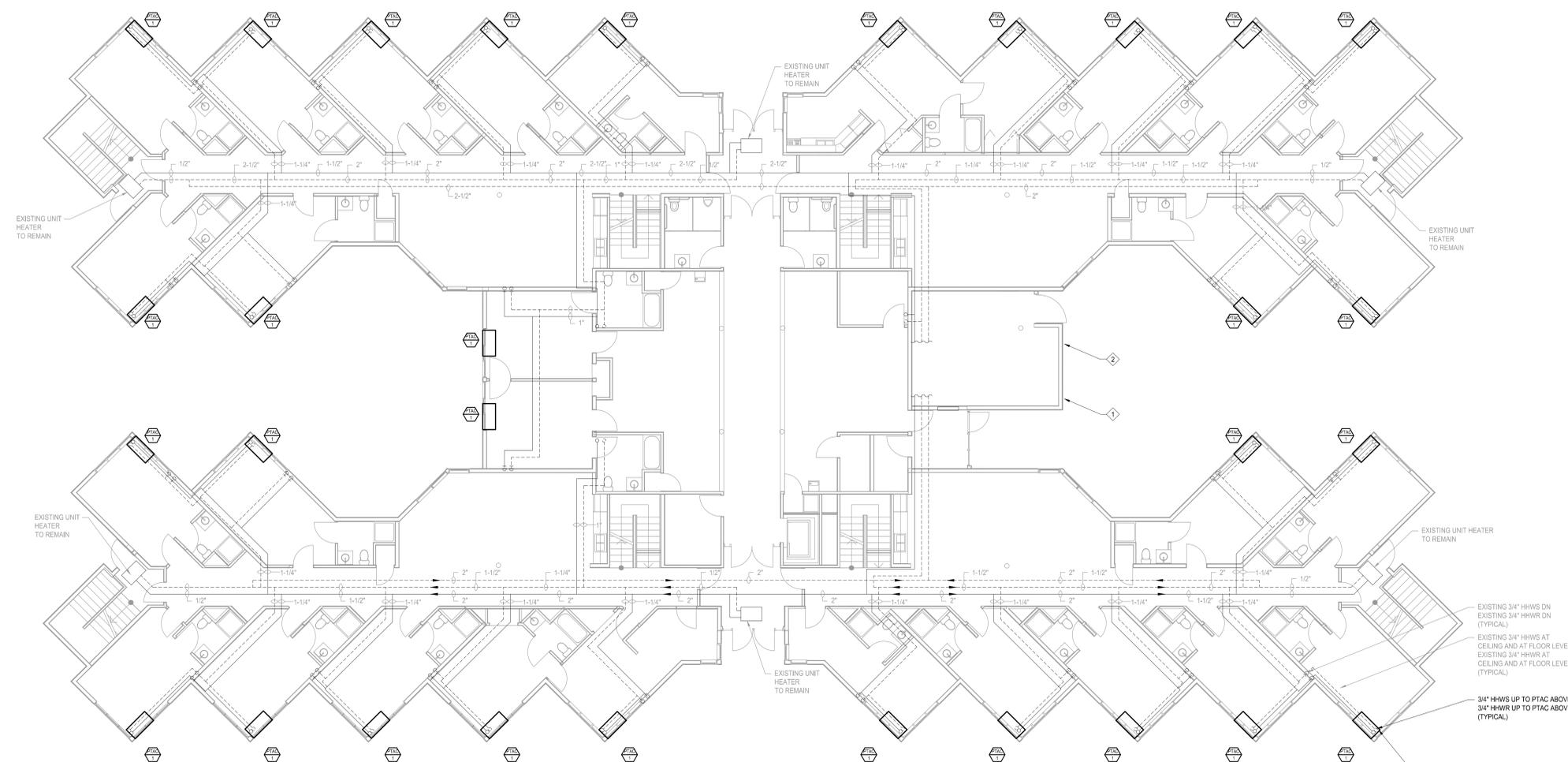
State of Illinois  
**Pat Quinn, Governor**  
 Illinois Capital Development Board

**ELECTRICAL PLAN - EXTERIOR WORK**  
 RENOVATE RESIDENCE HALLS  
 Illinois Math and Science Academy  
 1500 Sullivan Road, Aurora, Illinois, 60506

PROJECT NO.  
805-030-017  
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**E2.1**  
 22 OF (27) SHEETS

PACKAGED TERMINAL AIR CONDITIONING UNIT SCHEDULE																																	
TAG	QUANTITY	LOCATION	SERVICE	HOT WATER HEATING COIL DATA										COOLING COIL DATA										FAN				RETURN AIR		ELECTRICAL		REMARKS	
				CAPACITY HIGH MBH	CAPACITY LOW MBH	MOUNTING	GPM	WPD (FT)	EWT / LVT (°F)	EAT (°F)	LAT (°F)	TOTAL MBH	SENSIBLE MBH	NOMINAL TONS	EER	ROWS	FINS/INCH	FACE AREA	ROWS	FINS/INCH	FACE AREA	REFRIGERANT TYPE	CHARGE	ENTERING AIR TEMP. (DB (F)/WB (F))	RETURN	OUTDOOR	CFM HEATING-HIGH	CFM HEATING-LOW	CFM COOLING-HIGH	CFM COOLING-LOW	LOCATION		WATTS
PTAC-1	406	DORM ROOMS	DORM ROOMS	20.5	17.4	TOP	2.5	0.08	200 / 183.6	70	85	13.7	6.1	1	10	2	12	36 SQ. IN.	3	14	34 SQ. IN.	R-410A	40 OZ	70/67	95/75	380	340	380	330	FRONT	1023	208/60/1	1-5

- NOTES:
1. PROVIDE NEW ARCHITECTURAL LOUVER.
  2. PROVIDE NEW ROOM CABINET/WALL SLEEVE.
  3. PROVIDE 24 V. NORMALLY OPEN 1/2 SWEAT, 2-WAY HOT WATER CONTROL VALVE, WIRED TO INTEGRAL THERMOSTAT.
  4. PTAC MUST MEET 2012 IECC ENERGY CODE STATING THAT THE EER OF THE PTAC MUST EXCEED 13.8-(0.300\*CAPACITY/1000)
  5. UNITS TO BE HARDWIRED BY ELECTRICAL CONTRACTOR.
  6. PROVIDE ELECTRICAL SUBBASE WITH DISCONNECT.

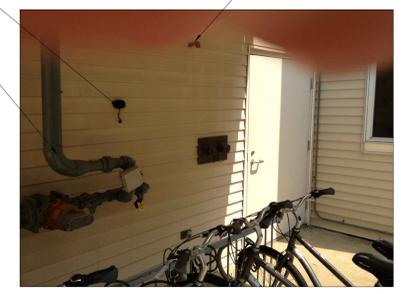


- GENERAL NOTE
1. THE DESIGN HERE IS SHOWN ON THE DRAWING DEPICTING A TYPICAL DORMITORY. WORK SHOWN IS TO BE PERFORMED IN ALL SEVEN DORMITORIES.
  2. HEATING CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF ALL DEVICES ON THE EXTERIOR OF THE BUILDING AS NEEDED FOR SIDING INSTALLATION.
- KEYED NOTES
1. REFER TO PHOTO #2 ON THIS DRAWING. THE PHOTO IS A REPRESENTATIVE BUILDING OF THE SEVEN DORMITORIES. EXACT ITEM LOCATIONS MAY VARY FOR EACH BUILDING.
  2. REFER TO PHOTO #3 ON THIS DRAWING. THE PHOTO IS A REPRESENTATIVE BUILDING OF THE SEVEN DORMITORIES. EXACT ITEM LOCATIONS MAY VARY FOR EACH BUILDING.

1 HEATING PLAN - TYPICAL 1ST FLOOR  
SCALE: 1/8" = 1'-0"  
12' 0" 1' 5' 10' 20'

REMOVE SENSOR PRIOR TO NEW SIDING WORK. RE-INSTALL AFTER SIDING WORK IS COMPLETED.

EXISTING PIPE TO REMAIN DURING SIDING WORK. CUT NEW SIDING AROUND PIPE.



3 PHOTO OF WALL OUTSIDE MECH ROOM. SEE KEYED NOTE 2.  
NO SCALE



2 PHOTO OF ENTRANCE. SEE KEYED NOTE 1.  
NO SCALE

EXISTING 3/4" HHWS ON EXISTING 3/4" HHWR ON (TYPICAL)

EXISTING 3/4" HHWS AT CEILING AND AT FLOOR LEVEL

EXISTING 3/4" HHWR AT CEILING AND AT FLOOR LEVEL (TYPICAL)

3/4" HHWS UP TO PTAC ABOVE 3/4" HHWR UP TO PTAC ABOVE (TYPICAL)

REMOVE EXISTING PACKAGED TERMINAL AIR CONDITIONER (PTAC) UNIT, WALL SLEEVE AND LOUVER. REPLACE WITH NEW PTAC UNIT, WALL SLEEVE AND LOUVER. CONNECT NEW UNIT TO EXISTING HOT WATER SUPPLY AND RETURN. (TYPICAL) SEE SCHEDULE AND DETAIL 1 ON SHEET M.S.D.

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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SIGNED DEC. 5, 2013

PROFESSIONAL ENGINEER

EXPIRES NOV. 30, 2015

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**CAPITAL Development BOARD**

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State of Illinois  
**Pat Quinn, Governor**

Illinois Capital Development Board

**HEATING, PLUMBING AND FIRE PROTECTION PLAN - TYP. FIRST FLOOR**

RENOVATE RESIDENCE HALLS  
Illinois Math and Science Academy

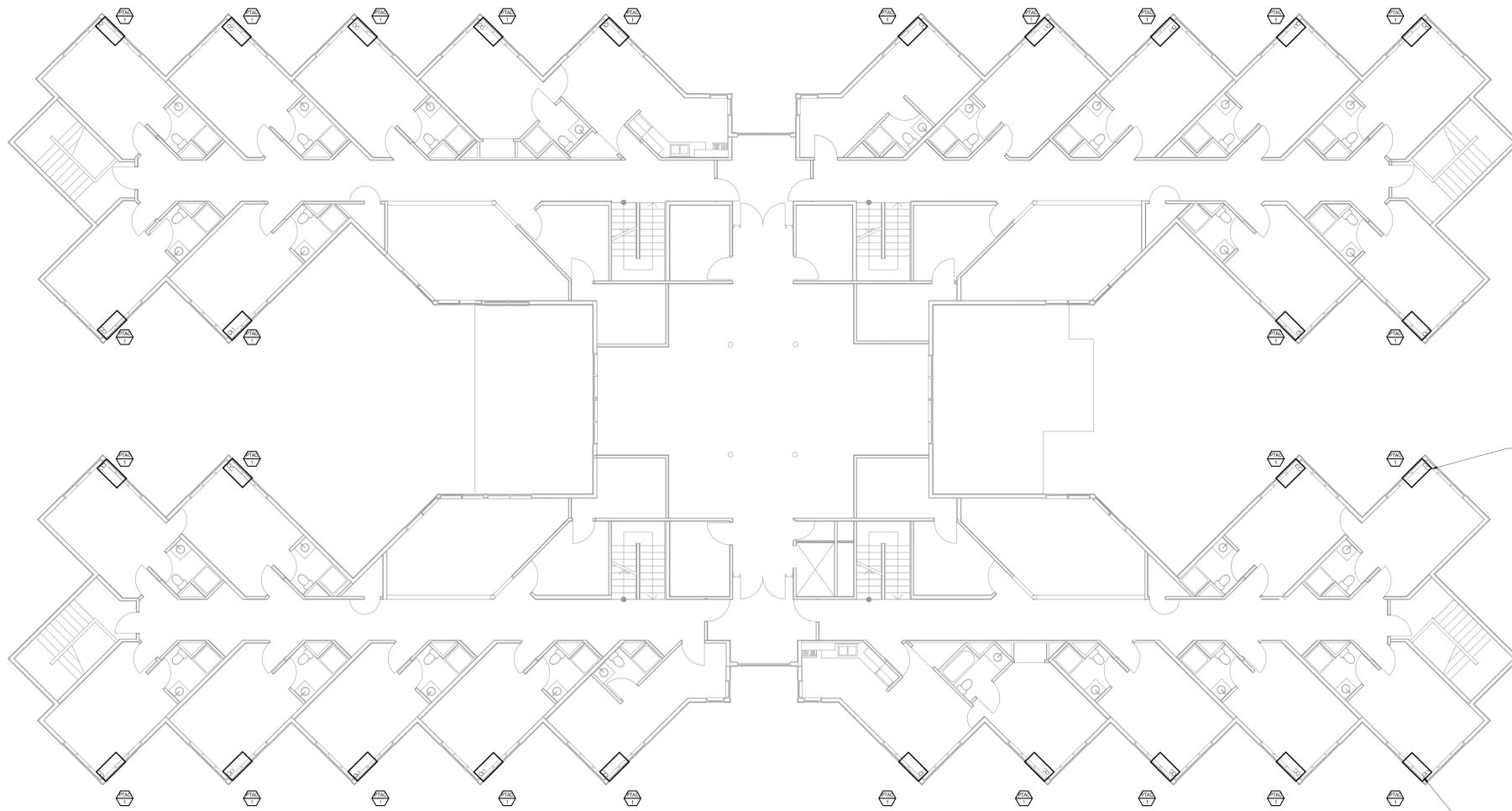
1500 Sullivan Road, Aurora, Illinois, 60506

PROJECT NO.  
805-030-017

DATE  
11/15/13

SHEET NO.  
**H1.1**

23 OF (27) SHEETS



GENERAL NOTE  
 THE DESIGN HERE IS SHOWN  
 ON THE DRAWING DEPICTING  
 A TYPICAL DORMITORY. WORK  
 SHOWN IS TO BE PERFORMED  
 IN ALL SEVEN DORMITORIES.

EXISTING 3/4" HHWS AND  
 HHWR UP FROM THE FLOOR  
 BELOW. (TYPICAL)

REMOVE EXISTING PTAC  
 (PACKAGED TERMINAL AIR  
 CONDITIONER) UNIT, WALL  
 SLEEVE AND LOUVER.  
 REPLACE WITH NEW PTAC  
 UNIT, WALL SLEEVE AND  
 LOUVER. CONNECT NEW UNIT  
 TO EXISTING HOT WATER  
 SUPPLY AND RETURN.  
 (TYPICAL) SEE SCHEDULE.

1 HEATING PLAN - TYPICAL 2ND FLOOR  
 SCALE: 1/8" = 1'-0"  
 12' 0" 1' 5' 10' 20'

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

REVISIONS			DRAWN	PREPARED
NO.	DATE	REMARKS		OFF.
1	11/15/13	Issue for Bid	TRACED	APPROVED
			CHECKED	APPROVED

SIGNED DEC. 5, 2013  
  
 EXPIRES NOV. 30, 2015

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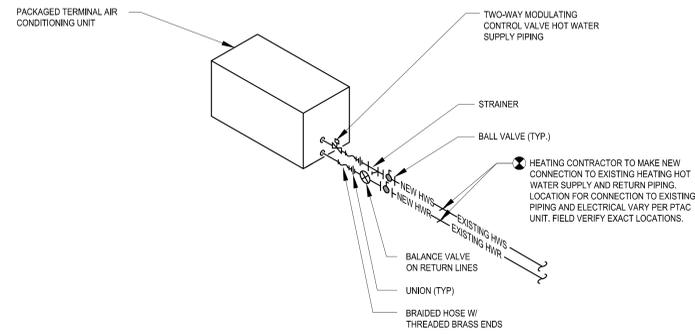
STR PARTNERS LLC  
 350 W ONTARIO,  
 CHICAGO, IL, 60654,  
 312.464.1444



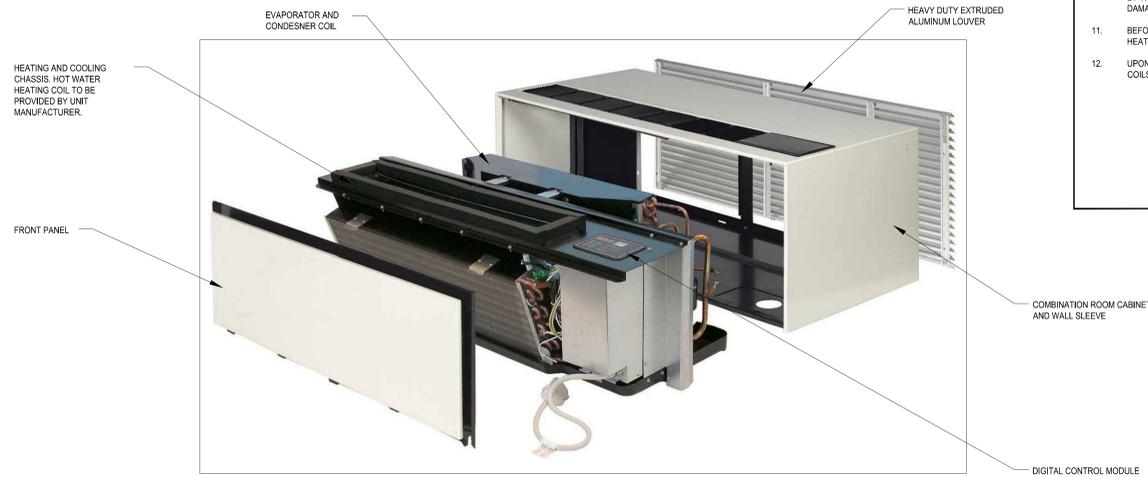
State of Illinois  
 Pat Quinn, Governor  
 Illinois Capital Development Board

**HEATING PLAN - TYPICAL SECOND FLOOR**  
 RENOVATE RESIDENCE HALLS  
 Illinois Math and Science Academy  
 1500 Sullivan Road, Aurora, Illinois, 60506

PROJECT NO.  
 805-030-017  
 DATE  
 11/15/13  
 SHEET NO.  
**H1.2**  
 24 OF (27) SHEETS

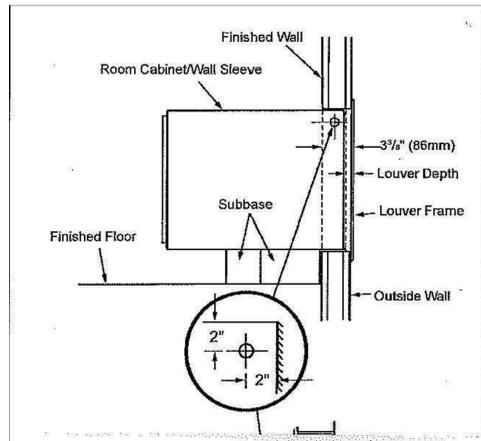


1 PACKAGED TERMINAL AIR CONDITIONING UNIT PIPING DETAIL  
NO SCALE



NOTES:  
1. MANUFACTURER TO VERIFY EXISTING DIMENSIONS OF LOUVER, WALL SLEEVE AND UNIT.  
2. MANUFACTURER TO PROVIDE A SAMPLE ROOM MOCK UP.

2 PACKAGED TERMINAL AIR CONDITIONING UNIT COMPONENT DETAIL  
NO SCALE



3 PACKAGED TERMINAL AIR CONDITIONING UNIT INSTALLATION DETAIL  
NO SCALE

- GENERAL DEMOLITION & NEW WORK NOTES:**
- THIS CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AT THE PROJECT SITE BEFORE SUBMITTING COST PROPOSAL. CONTRACTOR IS ADVISED THAT ALL LOCATIONS ARE APPROXIMATE.
  - AN ATTEMPT HAS BEEN MADE TO SHOW THE APPROXIMATE LOCATION OF ALL STRUCTURE, EQUIPMENT, PIPING, FIXTURES, DUCTWORK, AND OUTLETS. THIS CONTRACTOR SHALL VISIT THE SITE TO VERIFY COMPONENTS, LOCATIONS AND SIZES SHOWN OR NOT SHOWN. ALL COMPONENTS NEED TO BE REMOVED IN THE DEMOLITION AREA UNLESS NOTED ON THE DRAWINGS.
  - SEE ARCHITECTURAL DRAWINGS FOR PHASING. ALL SHUTDOWNS TO BE COORDINATED WITH USING AGENCY. A MINIMUM OF TWO (2) WEEKS IN ADVANCE. TEMPORARY SERVICES SHALL BE FURNISHED AND INSTALLED WHERE NECESSARY TO ACCOMPLISH THIS PURPOSE. TEMPORARIES SHALL BE REMOVED ONLY AFTER NEW PERMANENT SERVICES ARE INSTALLED AND FULLY OPERATIONAL.
  - THIS CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN DEMOLITION, REMOVAL, CAPPING, STORING, ABANDONING, DISCONNECTING, RELOCATING AND RECONNECTING OF EXISTING EQUIPMENT AND MATERIAL. ALL CUTTING, PATCHING, REPAIRING, REPLACEMENT AND REFINISHING SHALL MATCH THE EXISTING CONSTRUCTION AS NEARLY AS POSSIBLE.
  - EXCEPT WHERE OTHERWISE SHOWN OR NOTED ON DRAWING - TO BE RETAINED, RELOCATED OR HEREINAFTER NOTED, ALL EXISTING EQUIPMENT AND MATERIAL IN AREAS TO BE REMODELED/ALTERED SHALL BE REMOVED WHERE THEY INTERFERE WITH PROPOSED NEW CONSTRUCTION & OR INTERFERE WITH PROPOSED USAGE OF SPACE BY OWNER AS FOLLOWS:
    - REMOVE ANY PIPES PROTRUDING ABOVE FINISHED FLOOR OR THROUGH WALL AND CAP AND FINISH OVER WITH MATERIAL TO MATCH EXISTING.
    - REMOVE ALL FIXTURES, CARRIERS, SUPPLY & WASTE & VENT PIPING, STEAM, HEATING HOT WATER, HVAC SUPPLY, RETURN & EXHAUST AS NOTED. CAP AT NEAREST ACTIVE MAIN, SUPPLY & RETURN MAINS TO BE VALVED & CAPPED.
    - IN REMODELED/ALTERED AREAS ANY PIPING OR DUCTWORK PASSING THROUGH THE REMODELED AREAS TO SERVE (OR BEING SERVED FROM EXISTING ADJACENT, REMOTE, OR SURROUNDING AREA THAT ARE TO REMAIN) SHALL BE RETAINED AND KEPT OPERATIONAL AND SHALL BE REROUTED IN ALL CASES WHERE THEY INTERFERE WITH ANY NEW WORK OR USAGE TO BE ACCOMPLISHED IN THE REMODELED AREA.
    - PENETRATIONS THROUGH EXISTING WALLS AND FLOORS FORMERLY OCCUPIED BY REMOVED PIPING SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION.
  - THIS CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS TO FAMILIARIZE HIMSELF WITH EXTENT OF ALTERATION/REMODELING WORK AND MORE SPECIFICALLY NOTE WHERE NEW PARTITIONING IS BEING INSTALLED, WHERE EXISTING PARTITIONING IS BEING REMOVED, WHERE CEILING ARE BEING REMOVED AND OR REPLACED, ETC.
  - SEE SPECIFICATIONS & ARCHITECTURAL SHEETS FOR CONSTRUCTION PHASING REQUIREMENTS. DURING EACH PHASE, AS MUCH WORK AS POSSIBLE MUST BE PERFORMED WITHIN THE BOUNDARIES OF THAT PHASE.
  - THESE DRAWINGS ARE NECESSARILY DIAGRAMMATIC IN NATURE. NOT ALL FITTINGS, OFFSETS, VENTS, OR DRAINS ARE SHOWN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND INCLUDE ALL FITTINGS, OFFSETS, VENTS, AND DRAINS AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING SYSTEM.
  - THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO CHANGE THE LOCATION OF ALL EQUIPMENT, DUCTWORK, PIPING AND CONDUIT FIVE FEET IN ANY DIRECTION WITHOUT THESE CHANGES BEING MADE THE SUBJECT OF AN EXTRA CHARGE PROVIDED SUCH CHANGES ARE MADE BEFORE FINAL INSTALLATION.
  - BEFORE REMOVING EQUIPMENT DESIGNED TO BE RE-USED, THIS CONTRACTOR SHALL WALK THE AREA OF WORK ACCOMPANIED BY THE OWNER AND A/E TO PHOTOGRAPHICALLY DOCUMENT THE PHYSICAL CONDITIONS OF THE EQUIPMENT. NOTE ANY EXISTING DAMAGE OR DEFICIENCIES PRIOR TO REMOVAL AND OBTAIN SIGNED ACCORDANCE WITH THE ASSESSMENT.
  - BEFORE REMOVING EQUIPMENT DESIGNED TO BE RE-USED, THIS CONTRACTOR SHALL VERIFY PROPER OPERATION IN BOTH HEATING AND COOLING MODE. NOTE ANY DEFICIENCIES PRIOR TO REMOVAL AND OBTAIN SIGNED ACCORDANCE OF ASSESSMENT.
  - UPON REMOVAL, EQUIPMENT DESIGNATED TO BE RE-USED SHALL BE STORED AND PROTECTED. BEFORE REINSTALLATION, CLEAN COILS AND COMB FINS. REPAIR ANY DAMAGE CAUSED BY REMOVAL AND RE-INSTALLATION.

MAX. FLOW RATE FOR PIPE SIZES	
PIPE SIZE	MAXIMUM FLOW RATE
3/4"	6.6 GPM
1"	11.0 GPM
1 1/2"	25.0 GPM
2"	40.0 GPM
2 1/2"	70.0 GPM
3"	125.0 GPM
4"	250.0 GPM
6"	775.0 GPM
8"	1600.0 GPM
10"	3000.0 GPM

15080-S1

HEATING SYMBOL LIST	
SYMBOL	DESCRIPTION
HWS	HOT WATER SUPPLY
HWR	HOT WATER RETURN
D	DRAIN LINE
[Symbol]	GATE VALVE
[Symbol]	CHECK VALVE
[Symbol]	CALIBRATED BALANCE VALVE
[Symbol]	AUTOMATIC TWO-WAY CONTROL VALVE (ELECTRIC)
[Symbol]	AUTOMATIC THREE-WAY CONTROL VALVE (ELECTRIC)
[Symbol]	GLOBE VALVE
[Symbol]	BALL VALVE
[Symbol]	RELIEF VALVE
[Symbol]	HUMIDISTAT
[Symbol]	THERMOSTAT
RL	REFRIGERANT LIQUID LINE
RS	REFRIGERANT SUCTION LINE
RD	REFRIGERANT DISCHARGE LINE
[Symbol]	THERMOMETER
[Symbol]	PRESSURE GAUGE
[Symbol]	MANUAL AIR VENT
[Symbol]	ELBOW TURNED UP
[Symbol]	ELBOW TURNED DOWN
[Symbol]	TEE - TOP OUTLET
[Symbol]	TEE - BOTTOM OUTLET
[Symbol]	SCREWED UNION
[Symbol]	FLANGED UNION
[Symbol]	ECCENTRIC REDUCER
[Symbol]	STRAINER
[Symbol]	GAGE COCK
[Symbol]	PIPE GUIDE
[Symbol]	CAP OR PLUG FOR < 2". BLIND FLANGE FOR > 2"
[Symbol]	VACUUM BREAKER
[Symbol]	FLEXIBLE PUMP OR PIPE CONNECTION
[Symbol]	EQUIPMENT
[Symbol]	NEW CONNECTION TO EXISTING BEGINNING/END POINT
UP	PIPING/DUCTWORK UP
DN	PIPING/DUCTWORK DOWN

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

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			CHECKED	APPROVED



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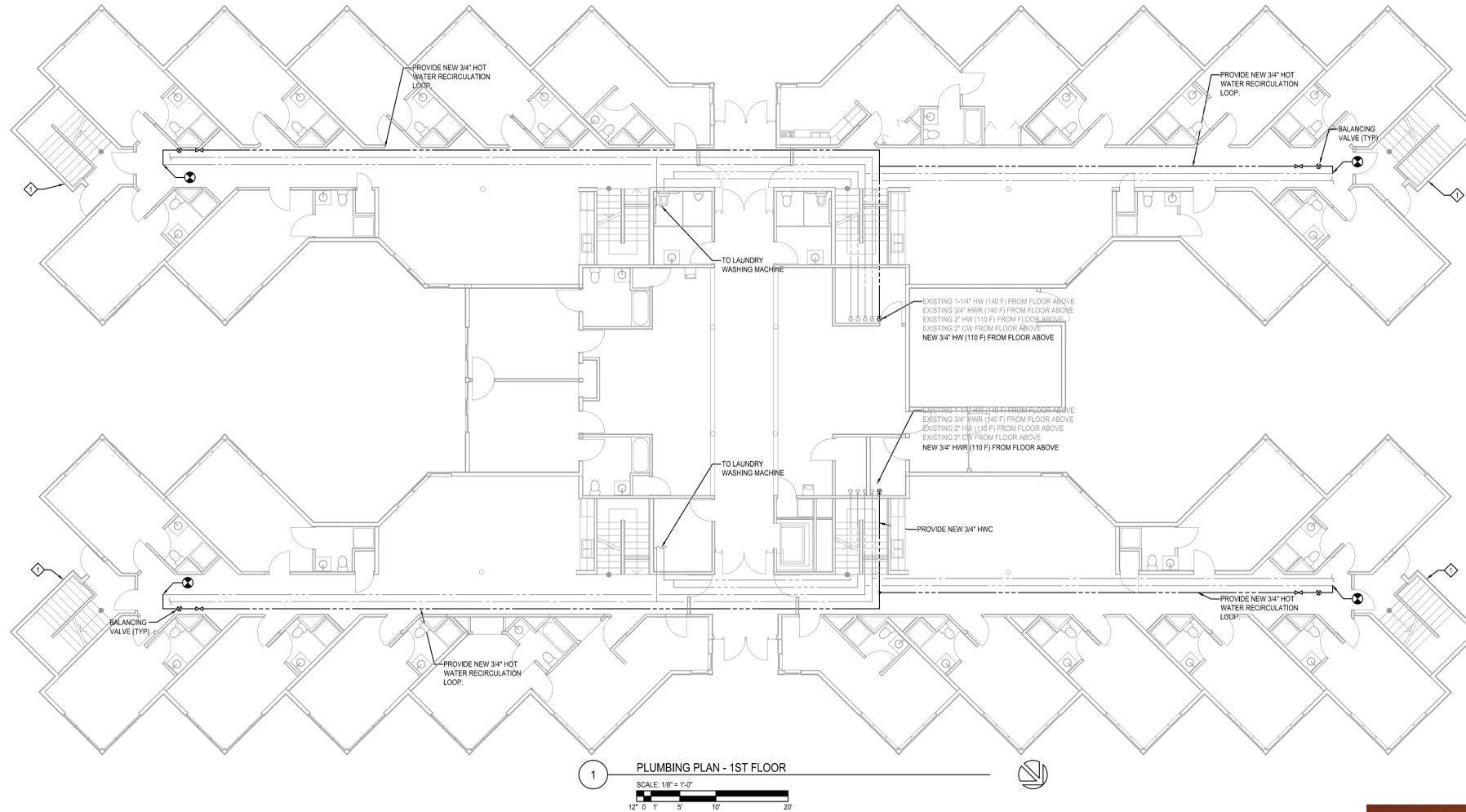
State of Illinois  
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**MECHANICAL ABBREVIATIONS, NOTES, DETAILS AND SYMBOLS**  
RENOVATE RESIDENCE HALLS  
Illinois Math and Science Academy  
1500 Sullivan Road, Aurora, Illinois, 60506

PROJECT NO.  
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SHEET NO.  
**H3.0**  
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PUMP SCHEDULE											
MARK	DESCRIPTION	SERVICE	FLOW RATE GPM	SUCTION IN.	DISCHARGE IN.	HEAD (FT OF WATER)		FLUID TEMP °F	ELECTRICAL		REMARKS
						OPERATING	CUT-OFF		VOLTS	PHASE	
RP-2	INLINE	HOT WATER	3	3/4"	3/4"	7.5		140	115	1	1

NOTES:  
1. PUMP SHALL BE NON-OVERLOADING OVER THE PUMP CURVE



- GENERAL NOTES**
- ① BUILDINGS 1 THRU 5 REQUIRE A NEW HOT WATER RECIRCULATION LOOP FOR THE HOT WATER DISTRIBUTION AT 110 DEGREES F. BUILDINGS 6 AND 7 ALREADY UTILIZE A HOT WATER RECIRCULATION LOOP AND WILL NOT NEED NEW PLUMBING WORK FOR THIS ITEM.
  - ② LAUNDRY PIPING IMPROVEMENTS (NEW THERMOSTATIC MIXING VALVE) PERTAIN TO ALL SEVEN BUILDINGS. SEE DETAIL #2 ON P1.2.
  - ◇ KEYED NOTE  
REMOVE HOSE BIBB PRIOR TO SIDING WORK.  
RE-INSTALL AFTER SIDING WORK IS COMPLETED.



**2 PHOTO OF WALL OUTSIDE MECH ROOM**  
NO SCALE

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

**REVISIONS**

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 EXPIRES NOV. 30, 2015

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**CAPITAL Development BOARD**  
 Building a Better Illinois

State of Illinois  
 Pat Quinn, Governor  
 Illinois Capital Development Board

**PLUMBING PLAN - TYPICAL FIRST FLOOR**

RENOVATE RESIDENCE HALLS  
 Illinois Math and Science Academy

1500 Sullivan Road, Aurora, Illinois, 60506

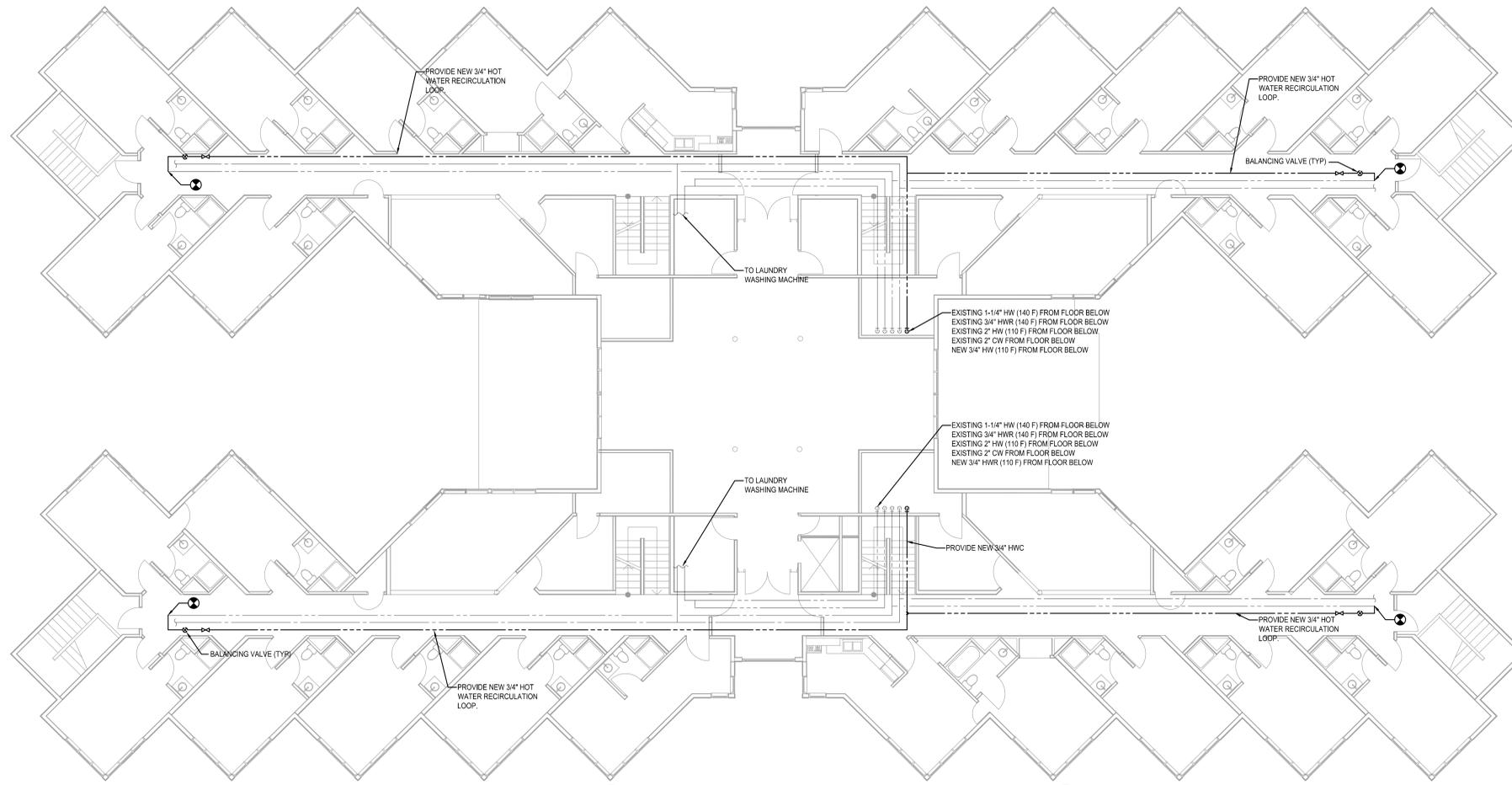
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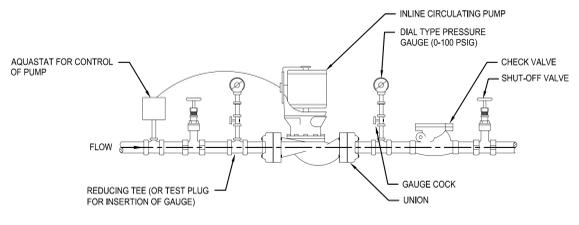
SHEET NO.

**P1.1**

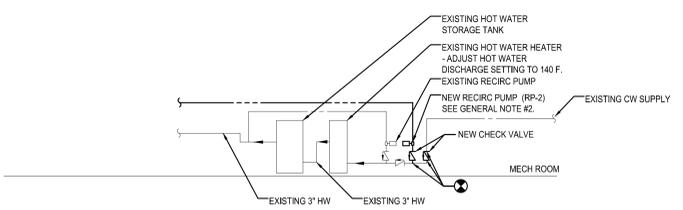
26 OF (27) SHEETS



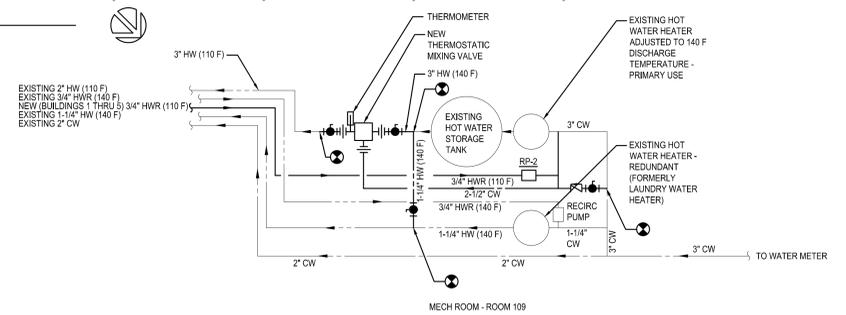
1 PLUMBING PLAN - 2ND FLOOR  
SCALE: 1/8" = 1'-0"



4 HOT WATER RECIRCULATION PUMP DETAIL  
NO SCALE



3 HOT WATER RECIRCULATION PIPING DETAIL (BUILDINGS 1 THRU 5)  
NO SCALE



2 HOT WATER SUPPLY PIPING SCHEMATIC DETAIL (BUILDINGS 1 THRU 7)  
NO SCALE

- GENERAL NOTES**
- 1 BUILDINGS 1 THRU 5 REQUIRE A NEW HOT WATER RECIRCULATION LOOP FOR THE HOT WATER DISTRIBUTION AT 110 DEGREES F. BUILDINGS 6 AND 7 ALREADY UTILIZE A HOT WATER RECIRCULATION LOOP AND WILL NOT NEED NEW PLUMBING WORK FOR THIS ITEM.
  - 2 LAUNDRY PIPING IMPROVEMENTS (NEW THERMOSTATIC MIXING VALVE) PERTAIN TO ALL SEVEN BUILDINGS. SEE DETAIL #2 ON THIS SHEET.

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**PLUMBING PLAN - TYPICAL SECOND FLOOR**  
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 27 OF (27) SHEETS