

2-27-2012

City of Meridian v. Petra Inc. Clerk's Record v. 3
Dckt. 39006

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DFA 28

DAILY FORCE ACCOUNT

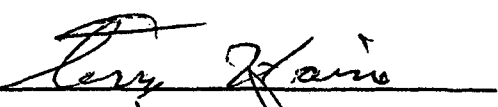
SUBCONTRACTOR: American Wallcover, Inc. Field Director# _____ WEEKDAY: Friday
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 2.28-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Frame build up For Tubestock 9T penthouse w/ windows

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$.
Hilario Alvarez			\$ 35.00				\$.
Bill Hansen	Frainer	8	\$ 35.00			m.c.H.	\$ 280.00.
Jorge Garibay	Frainer	8	\$ 35.00			m.c.H.	\$ 280.00.
Gabriel Corza			\$ 35.00				\$.
Rodimiro Banos			\$ 35.00				\$.
Anthony De Jesus			\$ 35.00				\$.
Edgar De Jesus			\$ 35.00				\$.
Gonzalo Soto			\$ 35.00				\$.
Jose Felix			\$ 35.00				\$.
TOTAL							\$ 560.00.

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$.
							\$.
TOTAL							\$.

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
10' 16 ga Track	10						\$.
							\$.
							\$.
							\$.
TOTAL							\$.

TOTAL LABOR	560.00.
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

CONTRACTOR APPROVED BY: 
 OWNER APPROVED BY: _____

DFA 29

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Directive# _____ WEEKDAY: Friday
 PROJECT DIVISION: Commercial Tenant Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 2-28-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Install Box Headers For Bathroom counters
Basement & 2nd Fl.

NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
<u>Ando Haines</u> <small>Joseph B. Haines</small>	<u>Framer</u>	<u>6</u>	<u>\$ 35.00</u>			<u>MCH</u>	<u>\$ 210.00.</u>
<u>Hilario Alvarez</u>			<u>\$ 35.00</u>				<u>\$ -</u>
<u>Bill Hansen</u>			<u>\$ 35.00</u>				<u>\$ -</u>
<u>Jorge Garibay</u>			<u>\$ 35.00</u>				<u>\$ -</u>
<u>Gabriel Corza</u>			<u>\$ 35.00</u>				<u>\$ -</u>
<u>Rodimiro Banos</u>			<u>\$ 35.00</u>				<u>\$ -</u>
<u>Anthony De Jesus</u>			<u>\$ 35.00</u>				<u>\$ -</u>
<u>Edgar De Jesus</u>			<u>\$ 35.00</u>				<u>\$ -</u>
<u>Gonzalo Soto</u>			<u>\$ 35.00</u>				<u>\$ -</u>
<u>Jose Felix</u>			<u>\$ 35.00</u>				<u>\$ -</u>
TOTAL							<u>\$ 210.00.</u>

TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								<u>\$ -</u>
								<u>\$ -</u>
TOTAL								<u>\$ -</u>

DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT
				<u>\$ -</u>
				<u>\$ -</u>
				<u>\$ -</u>
TOTAL				<u>\$ -</u>

TOTAL LABOR	<u>210.00.</u>
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	<u>-</u>
TOTAL MATERIAL AMOUNT	<u>-</u>
GRAND TOTAL	<u>-</u>

[Signature]

SUBCONTRACTOR APPROVED BY: *[Signature]*

OWNER APPROVED BY: _____

DFA 30

DAILY FORCE/ACCOUNT

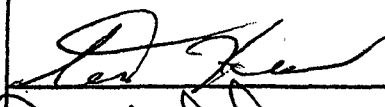
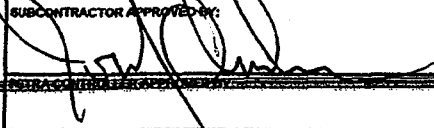
SUBCONTRACTOR: American Walkover, Inc. Field Directives# _____ WEEKDAY: Thurs.
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 2-27-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: INSTALL BOY HEADERS FOR BATHROOM COUNTERS
1ST FL & BASEMENT

NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Andy Haines	Framer	8	\$ 35.00			CITY Hall	280.00
James Rodman							
Nestor	Framer	5	\$ 35.00			CITY Hall	175.00
Hilario Alvarez							
Bill Hansen			\$ 35.00				
Jorge Garibay			\$ 35.00				
Gabriel Corza			\$ 35.00				
Rodimiro Banos			\$ 35.00				
Anthony De Jesus			\$ 35.00				
Edgar De Jesus			\$ 35.00				
Gonzalo Soto			\$ 35.00				
Jose Felix			\$ 35.00				
TOTAL							\$ 455.00

TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL								\$ -

DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT
10' x 3 1/2" Studs	5		CITY Hall	
10' x 3 1/2" Truss	5		CITY Hall	
				\$ -
				\$ -
				\$ -
TOTAL				\$ -

TOTAL LABOR	455.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

SUBCONTRACTOR APPROVED BY: 

 OWNER APPROVED BY: _____

Pac-West Interiors, Inc.

2820 BRANDT AVE. NAMPA, IDAHO 83687
PHONE (208) 467-3331
FAX (208) 467-3332

February 19, 2008

Petra, Inc.
Attn. Mr. Gene Bennett
9056 West Blackeagle Drive
Boise, ID 83709

RE: MERIDIAN CITY HALL

SUBJECT: REQUESTED EXTRA PRICING

ELEVATION ADJUSTMENT

Per Work Authorization

1. Labor worked 02/12/2008 (see attached):

Amount: 55 Man Hours \$ 2,062.50

2. Labor worked 02/13/2008 (see attached):

Amount: 66 Man Hours \$ 2,475.00

TOTAL: \$ 4,537.50

01-930

Job Conversions

Thank you,
Steve Packard

Job Name: *Met*
Job Number: *06-0675*
Cost Code: *01-930*
Authorized by:
Date Posted: By:
Budget:
Over Budget:

ENTERED
MAR 25 2008

002005

CM001618

ADDITIONAL WORK AUTHORIZATION



2820 Brandt Ave.
Nampa, Idaho 83687
(208) 467-3331

OWNER'S NAME Meridian City Hall		PHONE	DATE 2-12-08
STREET		JOB NAME	JOB NUMBER
CITY	STATE	STREET	
EXISTING CONTRACT NUMBER	DATE OF EXISTING CONTRACT	CITY	STATE

You are authorized to perform the following specifically described additional work:

Change ELEVATION Second floor SOUTH of Building-

1	Moises Salas	10:00 AM	To	3:30 PM	5 hrs
2	Oswaldo Saens	10:00 AM	To	3:30 PM	5 hrs
3	Israel Segura	10:00 AM	To	3:30 PM	5 hrs
4	Daniel Segura	10:00 AM	To	3:30 PM	5 hrs
5	Francisco Segura	10:00 AM	To	3:30 PM	5 hrs
6	Dado Avalos	10:00 AM	To	3:30 PM	5 hrs
7	Luis Mora	10:00 AM	To	3:30 PM	5 hrs
8	Josue Hernandez	10:00 AM	To	3:30 PM	5 hrs
9	Jason Otero	10:00 AM	To	3:30 PM	5 hrs
10	Le Roy Otero	10:00 AM	To	3:30 PM	5 hrs
11	Gumecindo Collado	10:00 AM	To	3:30 PM	5 hrs

TOTAL men hrs 55 hrs

ADDITIONAL CHARGE FOR ABOVE WORK IS: \$ 2,062.⁵⁰

Payment will be made as follows: _____

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated.

Date _____ 20____ Authorizing Signature _____

(OWNER SIGNS HERE)

We hereby agree to furnish labor and materials - complete in accordance with the above specifications, at above stated price.

Authorized Signature _____

(CONTRACTOR SIGNS HERE)

Date **2-11-08** 20____

THIS IS CHANGE ORDER NO. _____

NOTE: This Revision becomes part of, and in conformance with, the existing contract.

ADDITIONAL WORK AUTHORIZATION

PacWest
Interiors, Inc.

2820 Brandt Ave.
Nampa, Idaho 83687
(208) 467-3331

OWNER'S NAME Meridian City Hall		PHONE	DATE 2-13-08
STREET		JOB NAME	JOB NUMBER
CITY	STATE	STREET	
EXISTING CONTRACT NUMBER	DATE OF EXISTING CONTRACT	CITY	STATE

You are authorized to perform the following specifically described additional work:

CHANGE ELEVATION Second floor SOUTH of BLDG.
Take PART & Build Back Again

1	Moises Salas	7:00 AM	to	1:00 PM	6 hrs
2	Oswaldo Saens	"		"	6 hrs
3	Israel Segura	"		"	6 hrs
4	Francisca Segura	"		"	6 hrs
5	Daniel Segura	"		"	6 hrs
6	Pedro Avalos	"		"	6 hrs
7	Roylco Avalos	"		"	6 hrs
8	Luis Mora	"		"	6 hrs
9	Josue Hernandez	"		"	6 hrs
10	Gumecindo Collado	"		"	6 hrs
11	Norberto Gutierrez	"		"	6 hrs
TOTAL					66 men hrs

ADDITIONAL CHARGE FOR ABOVE WORK IS: \$ _____

Payment will be made as follows: _____

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated.

Date _____ 20____ Authorizing Signature _____
(OWNER SIGNS HERE)

We hereby agree to furnish labor and materials - complete in accordance with the above specifications, at above stated price.

Authorized Signature _____ Date **2-14-08** 20____
(CONTRACTOR SIGNS HERE)

THIS IS CHANGE ORDER NO. _____

NOTE: This Revision becomes part of, and in conformance with, the existing contract.

Pac-West Interiors, Inc.

2820 BRANDT AVE. Nampa, IDAHO 83687

PHONE (208) 467-3331

FAX (208) 467-3332

Fax

To: ADAM From: STEVE
Company: PETRA Fax:
Date: 2/19/08 Phone:
Re: MERIDIAN CITY HALL Pages: (Including this Sheet) 4
 Urgent For Review Please Comment Please Reply Please Recycle

TALKING TO STEVE P
3/12 - BILL SERRANO
BENCHMARK SERRANO INCORPORATED

Pac-West Interiors, Inc.

2820 BRANDT AVE. NAMPA, IDAHO 83687
PHONE (208) 467-3331
FAX (208) 467-3332

March 13, 2008

Petra, Inc.
Attn. Mr. Tom Coughlin
9056 West Blackeagle Drive
Boise, ID 83709

RE: MERIDIAN CITY HALL

SUBJECT: ADDITIONAL WORK AUTHORIZATION

AWA #3 - 22 Man Hours

\$ 412.50

Thank you,
Steve Packard

Joe Cantorians
OK per Jon A

Job Name: WCH
Job Number: 060625
Cost Code: 01-930
Authorized by: [Signature]
Date Posted: [Signature] By: [Signature]
Budget: _____
Over Budget: _____

ENTERED
MAR 25 2008

002009

CM001622

ADDITIONAL WORK AUTHORIZATION



2820 Brandt Ave.
Nampa, Idaho 83687
(208) 467-3331

#3

OWNER'S NAME Meridian City Hall		PHONE	DATE 3/27-28-08
STREET		JOB NAME	JOB NUMBER
CITY	STATE	STREET	
EXISTING CONTRACT NUMBER	DATE OF EXISTING CONTRACT	CITY	STATE

You are authorized to perform the following specifically described additional work:

PAC WEST employer work **LATE**
Over Time

Moises Salas	6 hrs
Gumecindo Collado	6 hrs
Josue Hernandez	1 hrs.
Sergio Chavez	4 hrs
Pedro Avalos	5 hrs

TOTAL 22 hrs over time

PETRA PAID of Premium

ADDITIONAL CHARGE FOR ABOVE WORK IS: \$ 412.⁵⁰

Payment will be made as follows: _____

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated.

Date _____ 20____ Authorizing Signature _____

We hereby agree to furnish labor and materials - complete in accordance with the above specifications, at above stated price.

Authorized Signature _____ Date _____ 20____

(CONTRACTOR SIGNS HERE)

THIS IS CHANGE ORDER NO. _____

NOTE: This Revision becomes part of, and in conformance with, the existing contract.

SIDEWALKS, LLC

1735 S Millenium Way
Meridian ID 83642

Invoice

Date	Invoice #
12/21/2007	07-12126

Bill To
Petra 1097 N. Rosario St. Meridian, ID 83642

Meridian City Hall

Due Date	P.O. No.
1/10/2008	City Hall

Quantity	Description	Rate	Amount
1	Cut washer and tighten bolts 11-14-07, 11-26-07, and 11-27-07 Labor 15 man hours \$750 Material \$300 <i>MOODY - SMITH ADD WASHER FOR OVSERSIZE HOLDS AT BR36 PLATE - ERECTION AIO</i> <i>JOB COMMENTS -</i> Job Name: <u>met</u> Job Number: <u>060675</u> Cost Code: <u>08-930</u> Authorized by: <u> </u> Date Posted: <u> </u> By: <u> </u> Budget: <u> </u> Over Budget: <u> </u>	1,050.00	1,050.00

ENTERED
 MAR 28 2008

Total	\$1,050.00
--------------	------------

Phone #	Fax #
(208)955-9000	(208)955-9050

Payments/Credits	\$0.00
Balance Due	\$1,050.00

SIDEWALKS, LLC

1735 S Millenium Way
Meridian ID 83642

Invoice

Date	Invoice #
8/24/2007	07-8047

Bill To
Petra 1097 N. Rosario St. Meridian, ID 83642

Meridian-City Hall

Due Date	P.O. No.
9/10/2007	

Quantity	Description	Rate	Amount
1	Anchor Bolt Replace-Damaged by MJ Backhoe. Drill Rental and Drill Bit \$295.26 Epoxy \$50.00 Labor 2 man hours \$100 Job Name: <u>West</u> Job Number: <u>060675</u> Cost Code: <u>01-930</u> Authorized by: <u>1/1</u> Date Posted: _____ By: _____ Budget: _____ Over Budget: _____ <u>Job Conditions</u>	445.26	445.26
Total			\$445.26

ENTERED
MAR 28 2008

Phone #	Fax #
(208)955-9000	(208)955-9050

Payments/Credits	\$0.00
Balance Due	\$445.26



6679 S Supply Way
Boise ID 83716-
(208) 433-0933 (208) 433-0935
www.mjsbackhoe.com

INVOICE

Invoice No: 433
Date: 3/31/2008
Due Date: 5/1/2008

Bill To:

Petra Contractors
1097 N Rosario
Meridian ID 83642

Job No: 7004
Description: MERIDIAN CITY HALL
PO #:

Quantity	Description	Unit Price	Extended Price
1.50	Trinity Sackos - Labor to move materials for block storage	46.00	69.00 ✓
1.00	Tates Rents inv. #190718; Rental Backhoe	72.00	71.55 72.00 <i>RECORDED</i>
2.50	Trinity Sackos - Ran Loader to build approach for crane at Broadway and load out concrete from washout	46.00	115.00 ✓
1.00	Ross Denney - Truck Driver to haul off spoils from concrete washout	36.00	36.00 ✓
1.00	Bill Newton - Truck Driver to haul off spoils from concrete washout	36.00	36.00 ✓
2.50	950 4-yard Cat Loader	79.20	198.00 ✓
1.00	Tk #32 Single	49.00	49.00 ✓
1.00	Tk #22 Endump	39.00	39.00 ✓
13.08	Ada Sand & Gravel	6.65	87.00 ✓
0.10	10% O/P IS THIS NOT IN LABOR & EQUIP. rentals	700.00	70.00
0.02	2% Bond Increase - NO BOND	800.00	16.00

SIDEWALKS?

on DIRECT INVOICES

Job Name: MCH
Job Number: 06 0675
Cost Code: 01-930
Authorized by: [Signature]
Date Posted: By [Signature]
Budget: _____
Over Budget: _____

379
VIA

SITE CONDITIONS

PAY → \$ 771
~~781~~

Thank You For Your Business!

Amount Now Due: 787.00

Terms: Thirty Days from Invoice



6679 S. Supply Way
Boise, ID 83716

License RCE-8597

Phone: (208) 433-0933
Fax: (208) 433-0935

PROJECT: Meridian City Hall

TRANSMITTAL

NO. 45

TO: Petra Contractors
9056 W. Blackeagle Drive
Boise, ID 83709
Phone:208-493-2747 Fax:208-493-2747

DATE: 11/21/2007
REF: COR #9 - Forced Work
9/27 - 11/9

ATTN: Wes Bettis

JOB: 7004

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input checked="" type="checkbox"/> As Requested	<input type="checkbox"/> Resubmit
<input checked="" type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input checked="" type="checkbox"/> Submit
<input type="checkbox"/> Plans	<input type="checkbox"/> Other:	<input type="checkbox"/> Returned
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned for Corrections
<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Due Date:
<input type="checkbox"/> Other:	<input type="checkbox"/> Separate Cover Via:	<input type="checkbox"/> Other:

SUBMITTAL	DRAWING	ITEM NO.	COPIES	DATE	DESCRIPTION
			1	11/21/2007	COR #9

REMARKS:

Please call if you have any questions. Thank you.

Signed: Chris Apostolou
Chris Apostolou

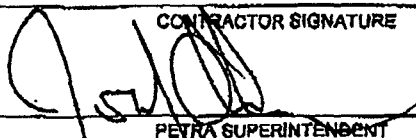
Date: 11/21/2007

WORK ORDER

**PETRA
 INCORPORATED**

JOB #
OWNER: City of Meridian

PROJECT NAME: Meridian City Hall **DATE:** 10/19/2007
ADDRESS:
DESCRIPTION OF WORK: move material for block storage.

LABOR MJS		STANDARD		OVERTIME		AMOUNT
NAME	OCCUPATION	HOURS	RATE	HOURS	RATE	
Trinity	OPERATOR	1.5				
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
SUBTOTAL		1.5		0		
EQUIPMENT		DAYS	HOURS	RENTAL RATE		
rental back hoe 310-J				1		
see attached sheet.						
SUBTOTAL						
SUPPLIES & MATERIAL		INVOICE	QUANTITIES	UNITS	PRICE	
SUBTOTAL						
CONTRACTORS		NOTES				
SUBTOTAL						
CONTRACTOR SIGNATURE  PETRA SUPERINTENDENT		SUMMARY				AMOUNT
		LABOR				
		EQUIPMENT RENTAL				
		PERMITS				
		SUPPLIES & MATERIAL				
		SUBCONTRACTOR				
		PETRA OVERHEAD & PROFIT				
TOTAL						

APR. 1. 2008 10:41AM MJ BACKHOE AND EXCAVATION, INC.
NOV-21-2007. 10:51AM FROM-

NO. 3330 P. 20/20
T-306 P.006/008 F-188

Oct. 31. 2007 2:45PM MJ'S BACKHOE AND EXCAVATION, INC. No. 0589 P. 3/3

MERTIDIAN

83642

87368

TALES RENTS

RECEIVED

MJ'S BACKHOE & EXCAVATION, INC
6679 S. SUPPLY WAY
BOYSE ID. 83716

MERTIDIAN

190718

W (208) 433-0933
F (208) 433-0933

OUT. 10/19/07 8:25 AM CC2

CITY HALL

JIM

RETURNED 10/19/07 8:25 AM CC2

SAFETY EQUIPMENT OFFERED
AND REFUSED
BY: _____

FINAL

Page: 1

1	8602-5001.	BACKHOE, JOHN DEERE 310J	135.00	67.50	67.50
	\$135.00/2	42.00 229.50 270.00 945.00 2700.00			
	Meter In:	254.70	Meter Out:	254.20	

--- Payments ---

*1/5 HR
CITY HALL*

Notify us immediately if equipment does not function properly.

SPECIAL INSTRUCTIONS:

STORE HOURS

MON - SAT 7:00 AM - 7:00 PM
SUNDAY 9:00 AM - 5:00 PM

7 CONDITIONS - PLEASE READ BEFORE SIGNING
I, the undersigned, hereby acknowledge receipt of above mentioned items (noted this date) and the rental rate included, subject to all Terms and Conditions of Rental Contract and on the reverse side hereof and for the period as shown under Date Due.
I agree to pay for items requiring cleaning upon return. You are charged for time and rental to store and repair is verified by validation of a copy of the contract. Renter is responsible for all loss and all fire damage. All accounts due and payable by month. One and three-quarter percent (1 3/4%) service charge (21% per annum) will be applied to all past due accounts. Renter is subject to conditions and terms on the reverse side of contract.

67.50
0.00
0.00
0.00
0.00
4.05
0.00

71.55
71.55

AT THE TIME OF RENTING OR RETURN Received Time Nov. 21. 10:06AM

002017

CM00163

WORK ORDER

**PETRA
INCORPORATED**

JOB #
OWNER: City of Meridian

PROJECT NAME: Meridian City Hall DATE: 11/6/2007

ADDRESS: _____

DESCRIPTION OF WORK: Build approach for crane at Broadway
haul out concrete from wash out

LABOR M.J'S NAME	OCCUPATION	STANDARD		OVERTIME		AMOUNT
		HOURS	RATE	HOURS	RATE	
TRINITY SACKOS	OPERATOR	2.5	\$ 46			\$ 115 ✓
ROSS DENNEY	DRIVER	1	\$ 36			\$ 36 ✓
BILL NEWTON	DRIVER	1	\$ 36			\$ 38 ✓
		0	\$ 36			\$ -
		0	\$ 36			\$ -
		0	\$ 36			\$ -
SUBTOTAL						\$ 187
EQUIPMENT		DAYS	HOURS	RENTAL RATE		
950 4-YARD LOADER			2.5	\$ 79		\$ 198 ✓
315 EXCAVATOR			0	\$ 89		\$ -
310SG JD BACKHOE			0	\$ 54		\$ -
260 SKIDSTEER			0	\$ 49		\$ -
TK #22 ENDUMP			1	\$ 49		\$ 49 ✓
TK #32 SINGLE			1	\$ 39		\$ 39 ✓
			0	\$ 49		\$ -
SUBTOTAL						\$ -
SUPPLIES & MATERIAL		INVOICE	QUANTITIES	UNITS	PRICE	\$
Ada Sand & Gravel			13.08	cy	6.25/cy + tx	\$ 87
						\$ -
						\$ -
						\$ -
						\$ -
SUBTOTAL						\$ 87
CONTRACTOR SIGNATURE						
PETRA SUPERINTENDENT						
SUMMARY						AMOUNT
LABOR						\$ 187
EQUIPMENT RENTAL						\$ 288
PERMITS						
SUPPLIES & MATERIAL						\$ 87
SUBTOTAL						\$ 560
PETRA OVERHEAD & PROFIT						\$ 56
TOTAL						\$ 615

MJ'S backhoe & Excavation, Inc.

1034

6679 S. Supply Way * Boise, ID 83716 * Phone (208) 433-0933 * Fax (208) 433-0935

Daily Report

JOB NAME/NO. Meridian City Hall
JOB ADDRESS _____
CONTRACTOR/SUPER. Jon

DATE 11-6-07
WEATHER/CONDITIONS Clear
TEMPERATURE: HIGH 60 LOW 43

MANPOWER	HOURS	EQUIPMENT	HOURS
<u>Jim</u>	<u>8</u>	<u>450</u>	<u>8</u>
<u>KAM</u>	<u>8</u>	<u>3035 MINI DEMO</u>	<u>8</u>
<u>DENIS</u>	<u>8</u>	<u>950</u>	<u>8</u>
<u>TRINITY</u>	<u>8</u>		
<u>LOUI</u>	<u>8</u>		
<u>SCOTT</u>	<u>7</u>		
<u>BILL</u>	<u>7</u>		
<u>BOSS</u>	<u>6</u>		

MATERIALS/SURCONTRACT

- INV# TRK 42 - P/R - 113.97 yds - ADA - EAST FOOTING
- INV# _____
- INV# TRK 22 - P/R - 97.63 yds - ADA - EAST FOOTING
- INV# _____
- INV# TRK 32 - P/R - 10.02 yds - ADA - EAST FOOTING
- INV# DEBRIS ROCK - 13.08 yds - ADA - N. APPROACH
- INV# REJECT SAND - 41.64 yd - ADA - TRISTATE ELECT. TRENCH
- INV# _____
- INV# _____
- INV# _____
- INV# _____
- INV# _____
- INV# _____

WORK COMPLETED/COMMENTS:

FINISH GRADE EAST WALL FOOTINGS - ALL FOOTINGS 100% COMPLETE

REBUILD NORTH APPROACH FOR CLEAN ACCESS (2.5HR) (TRINITY & 950 LOADER)

BOSS HAWLED IN REJECT SAND FOR TRISTATE - APPROX

BILL HAWLED OFF CONCRETE FROM WITHOUT ACCESS (1 LOAD)

Received Time Nov. 21. 10:06AM

002020

Date: 04/02/2008

Time: 10:54:39 AM

Company No. 1 PETRA Incorporated

Printing: Open Jobs Only Job Range 060675 thru 060675

Phase Codes 01 thru 01 Cost Codes 630 thru 630

Period Range: 3, 2008 thru 3, 2008

*** JOB COST DETAIL - BY LINE ITEM ***
(job history only)

Report Code: 28.81

Page: 1

TYPE	PHASE	COST	CHG	JOURN	---REFERENCE---	VEND	-----G/L-----	MTL/EQP	UNITS	LAB/EQP	PERIOD
		CODE	ORD	#	DATE	NO	PERIOD	ACCOUNT	CODE	HOURS	AMOUNT

Job No: 060675 Meridian City Hall

COST 01 630 Winter Conditions

OTH	MERIDIAN CITY HALL	AP327	02/21/08	35029	TATES	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP327	02/27/08	121-003	UNIREN	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP363	03/05/08	11905	CUSGLA	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP363	02/29/08	0038380	HOBFBAB	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP363	03/04/08	080304	INTMTN	3	2008	4060			
OTH	4856200208135502 Jon A.	AP445	03/01/08	080301x	WFBUS	3	2008	4060			
OTH	4856200208135502 Jon A.	AP445	03/01/08	080301x	WFBUS	3	2008	4060			
OTH	1-3,6-7,9-14,17-18	AP451	01/18/08	DFA1	AMEWAL	3	2008	4060			
OTH	19-27	AP451	02/18/08	DFA2	AMEWAL	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP451	03/18/08	11950	CUSGLA	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP451	03/10/08	00431	LANENT	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP451	03/10/08	00432	LANENT	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP451	03/13/08	2750-3	PACWES	3	2008	4060			
OTH	1 - 2	AP451	03/13/08	AWA	PACWES	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP464	03/25/08	080325	TMC	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP467	03/26/08	128	DAVCON	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP487	03/18/08	083041	CENLEA	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP487	03/18/08	083042	CENLEA	3	2008	4060			
OTH	4798531205483144 Scott	AP496	03/11/08	0803111	USBANK	3	2008	4060			
OTH	4798531205486253 Jon A	AP496	03/11/08	080311x	USBANK	3	2008	4060			
OTH	VOID INV-Centurion Leasin	AP512	03/18/08	083041	CENLEA	3	2008	4060			
OTH	VOID INV-Centurion Leasin	AP512	03/18/08	083042	CENLEA	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP513	03/18/08	083041	SIDWAL	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP513	03/18/08	083042	SIDWAL	3	2008	4060			
OTH	MERIDIAN CITY HALL	AP520	03/31/08	434	MJBACK	3	2008	4060			

~~32.35~~
~~2,396.45~~
~~2,200.00~~
~~2,450.00~~
~~9,495.09~~
~~20.67~~
~~63.16~~
~~7,104.30~~
 PLWOOD → ~~7,027.80~~
~~2,200.00~~
~~9,098.15~~
~~13,326.23~~
~~1,300.00~~
~~1,125.00~~
 winter cond. Labor ?? { ~~287.00~~
~~126.00~~
~~84.00~~
~~105.00~~
~~368.62~~
 Heat - 1,554.00
~~380.19~~
~~920.00~~
~~500.00~~
~~1,175.00~~
~~244.48~~
~~164.98~~
~~500.00~~
~~-1,175.00~~
~~500.00~~
~~1,175.00~~
~~842.00~~

65,100.45

Job Period Cost: 65,100.45

Tates Rents - Meridian

401 N. Main
Meridian, ID 83642
www.tatesrents.com

208-888-7368 phone
208-888-2847 fax



Status: Closed

Contract #: 35029
Date Out: Thu 2/21/2008 11:01AM
Operator: CHRISTINA GATES

Customer # 3958

PETRA, INC.
1097 N ROSARIO PLACE
MERIDIAN, ID 83642

208 323-4500 FAX 208 323-1147

Terms: On Account
Picked up By: SCOTT TREPAGNIER

PO #: 80005

Job #:060675 MCH

Qty	Key	Items Rented	Status	Returned Date	Rental Fee
1	7412#5485 005	PUMP, SUBMERSIBLE 2" ELECTRIC	Returned	2/21/08 12:47pm	\$25.50
2	1298-5 005	DISCHARGE HOSE, 2"	Returned	2/21/08 12:47pm	\$5.00

Remit payment to: PO Box 7338, Boise, ID 83707

Contract Signature:

Date: 2/21/2008 11:03:21AM Modification # 1

Job Name: MCH
Job Number: 06-0675
Cost Code: 01-630
Authorized by: [Signature]
Date Posted: By:
Budget:
Over Budget:

WINTER CONDITIONS

ENTERED
MAR 07 2008

RENTAL CONTRACT

EQUIPMENT PROTECTION PLAN

EQUIPMENT PROTECTION PLAN IS NOT INSURANCE.

For an additional fee of 12% of the total rental, Lessor agrees to waive certain claims for accidental damage to equipment upon terms and conditions specified on reverse. **Equipment Protection Plan does not cover fire damage.**

ACCEPT:

DECLINE:

A finance charge of 1.75% per month (Annual Percentage Rate of 21%) may be assessed against overdue accounts. LESSEE (OR IT'S AGENT) HAS READ THE ENTIRE EQUIPMENT LEASE, INCLUDING TERMS AND CONDITIONS ON REVERSE, OR HAS CHOSEN NOT TO SO READ, AND IN EITHER EVENT ACCEPTS AND SHALL BE BOUND BY THE SAME. I EITHER KNOW HOW TO PROPERLY OPERATE THE EQUIPMENT LISTED ON THIS EQUIPMENT LEASE OR HAVE ASKED, RECEIVED, AND UNDERSTAND THE INSTRUCTIONS PROVIDED TO ME REGARDING PROPER OPERATION OF THE EQUIPMENT LISTED ABOVE. I ALSO ACKNOWLEDGE THAT TATES RENTS, INC. HAS PROVIDED A COPY OF THIS AGREEMENT TO ME.

SIGNATURE:

PETRA, INC.

Rental:	\$30.50
EPP:	\$0.00
Sales:	\$0.00
Delivery Charge:	\$0.00
Misc. Charges:	\$0.00
Subtotal:	\$30.50
Idaho Sales Tax:	\$1.83
TOTAL:	\$32.33
PAID:	\$0.00
AMOUNT DUE:	\$32.33



STATION #601
 1855 SOUTH COLE ROAD
 BOISE, ID 83709
 208-322-6225
 208-322-6270 FAX

4 WEEK BILLING INVOICE

Job Site

PETRA INC
 DOWNTOWN MERIDIAN
 MAIN & E BROADWAY
 MERIDIAN, ID 83642
 C#: 208-323-4500 J#: 208-323-4500

3.1.694 1 MB 0.360 33203S31.p03 1 of 1 350

000694



PETRA INC
 1097 N ROSARIO STREET
 MERIDIAN ID 83642-8095



Customer.... 680182
 Invoice #... 70631121-003
 Invoice date 2/27/08
 Date out.... 12/18/07 2:10 PM
 Billed thru. 3/11/08

Job Loc..... DOWNTOWN MERIDIAN, MERIDIAN
 Job No..... 158 PETRA INC - PETR
 P.O. #..... JA23007
 Ordered By.. JON ANDERSON
 Written by.. CYCLE BILL
 Salesperson. 6734
 Terms..... Net 30 Days

PLEASE REMIT PAYMENT TO:
 UNITED RENTALS NORTHWEST, INC.
 PO BOX 100711
 ATLANTA, GA 30384-0711

Qty	Equipment #	Min	Day	Week	4 Week	Amount
1	HEATER 1MM BTU INDIRECT FIRE* 671537 Make: HEAT WAGON Model: VG1000 Ser #: M3743	310.00	310.00	1000.00	2250.00	2250.00
SALES ITEMS:						
Qty	Item number	Stock class	Unit	Price	Amount	
1	ENVIRONMENTAL CHARGE UM: (EA) EACH	MCI	EA	10.800	10.80	
JON 860-7516						Sub-total: 2260.80
						Tax: 135.65
						Total: 2396.45
BILLED FOR FOUR WEEKS 2/12/08 THRU 3/11/08 02:10 PM RENTAL PROTECTION DECLINED						

FOR YOUR CONVENIENCE, UNITED RENTALS IS NOW OFFERING
 A TOLL-FREE NUMBER TO CALL EQUIPMENT OFF RENT
 PLEASE CALL 800-UR-RENTS (800-877-3687)

CUSTOMER CARE REPRESENTATIVES ARE AVAILABLE 24/7 TO SUPPLY YOU WITH A
 TERMINATION NUMBER IN ORDER TO CLOSE THIS CONTRACT. A CLEANING CHARGE
 WILL APPLY TO ALL EQUIPMENT RETURNED WITH EXCESSIVE DIRT, CONCRETE,
 AND/OR PAINT. CUSTOMER IS RESPONSIBLE FOR ALL DAMAGES INCLUDING TIRES.
 THERE WILL BE AN ADDITIONAL CHARGE FOR MISSING KEYS AND A REFUELING
 CHARGE WILL BE APPLIED TO ALL EQUIPMENT NOT RETURNED FULL OF FUEL.

ENTERED
 MAR 07 2008

Job Name: MCH
 Job Number: 06-0675
 Cost Code: 01-630
 Authorized by: [Signature]
 Date Posted: _____ By: _____
 Budget: _____
 Over Budget: _____

*ENVIRONMENTAL CHARGE: The items indicated above are subject to an environmental charge which is designed to recover the company's direct and indirect expenses for the handling, managing and disposing of waste products, hazardous materials, and related administrative costs. This is not a government mandated charge.
 FUEL: Fuel charges do not include federal, state or local fuel excise taxes.

OPTIONAL RENTAL PROTECTION PLAN: THE RENTAL PROTECTION PLAN IS NOT INSURANCE! Upon accepting the Optional Rental Protection Plan, the Customer agrees to pay a charge equal to 14% of the rental charges on Equipment Customer wants covered by the Rental Protection Plan. In return, as set out on the back page, United agrees to waive certain claims for accidental damage to such covered Equipment occurring during normal and careful use. Customer remains liable for all damages and loss due to theft listed under The Rental Protection Plan provisions in the Terms and Conditions on back page, including Customer's negligence. Customer Accepts () Customer Declines ()

READ BEFORE SIGNING: United hereby leases to Customer the Equipment (as defined in the Terms and Conditions on the reverse side) and Customer hereby accepts all TERMS AND CONDITIONS listed in this rental agreement, including the Terms and Conditions set forth on the reverse side, which the undersigned has read and understands. REMINDERS: (1) Flates do not include fuel or delivery; (2) Optional Rental Protection Plan charge is 14% of the total rental charge for covered equipment; (3) Customer pays for all time the Equipment is out, including Saturdays, Sundays and Holiday(s) This rental agreement supersedes all other purchase orders or terms and conditions contained in any of Customer's agreements or forms; (5) Customer assumes all risk and is responsible for all damages and other charges, including late charges. Details of the above as well as other obligations and responsibilities are contained in the TERMS AND CONDITIONS ON REVERSE. THE INDIVIDUAL SIGNING BELOW AS BEHALF OF CUSTOMER: (1) AGREES TO ALL OF THE TERMS AND CONDITIONS ON THE REVERSE SIDE OF THIS RENTAL AGREEMENT, (2) ACKNOWLEDGES RECEIPT OF THE EQUIPMENT IN GOOD WORKING ORDER AND, (3) IS FULLY FAMILIAR WITH ITS OPERATION AND USE.

X
 CUSTOMER SIGNATURE _____ DATE _____ NAME PRINTED _____ DELIVERED BY _____ DATE _____

A LARGER FONT COPY OF THE TERMS AND CONDITIONS IS AVAILABLE UPON REQUEST.

002024



CUSTOM GLASS

AUTHORIZED DISTRIBUTOR
HORTON AUTOMATICS

254 LOOP STREET
CALDWELL, IDAHO 83605
208-454-0340 FAX 208-454-0391
customgl@msn.com

INVOICE

DATE: 03/05/2008 INVOICE NO.: 11905 PAGE: 1
ACCOUNT NO.: PETRA MANAGER:

BILL TO:	PROJECT:
PETRA, INC. 1097 N. ROSARIO PL MERIDIAN, ID 83642	Invoice MERIDIAN CITY HALL PETRA, INC. 1097 N. ROSARIO PL MERIDIAN, ID 83642

03/05/2008	Invoice	GENE BENNETT	02-19798
------------	---------	--------------	----------

ADDITIONAL COST ASSOCIATED
WITH BREAKING OUT THE
PRODUCTION OF STOREFRONT ON
THE SOUTH END OF THE BUILDING
FLOORS 1 & 2, WINDOWS SOUTH OF
GRID LINE 6
PER QUOTE

1.000

\$2,200.000

\$2,200.00

Job Name: mch
 Job Number: 06-0625
 Cost Code: 630
 Authorized by: [Signature]
 Date Posted: _____ By: _____
 Budget: _____
 Over Budget: _____

ENTERED
MAR 12 2008

EXPANDING BLOG DRY-IN

REMIT PAYMENT TO:	TERMS:	
CUSTOM GLASS, INC. 254 LOOP STREET CALDWELL, ID 83605-6092	10 EOM	\$2,200.00 \$0.00 \$0.00 \$0.00 \$2,200.00

All bills are due and payable on the 10th of the month following the invoice date and are past due on the 11th. Past due accounts are subject to a FINANCE CHARGE of 1 1/2% per month on the unpaid balance for an ANNUAL PERCENTAGE RATE of 18%.



6428 Business Way • Boise, Idaho 83716 • Phone 208.343.5423 • FAX 208.343.5446
 1312 Alder Ave. • Lewiston, Idaho 83501 • Phone 208.743.8596 • FAX 208.743.8597
 250 Mission Street • McCall, Idaho 83638 • Phone 208.634.5355 • FAX 208.634.2993
 2018 A 4th Street East • Twin Falls, Idaho 83301 • Phone 208.734.4329 • FAX 208.734.0439

FABRICATING, CORP.

PROUD TO BE PARTNERS IN SAFETY WITH OSHA.

*****^{MAR 06 2008} INVOICE *****

PAGE: 1

PETRA INCORPORATED
 1097 N. Rosario Pl.
 Meridian ID 83642

INVOICE NUMBER: 0038380-IN
 P. O. NUMBER:
 INVOICE DATE: 02/29/08
 JOB NUMBER: 0005209
 CUSTOMER NO: 00-PETRA

CONTACT:

JOB DESC: MERIDIAN CITY HALL TEMP HEAT
 COMMENT:

BILL METHOD: TIME & MATERIAL

ORIGINAL CONTRACT AMOUNT:	.00
TAXABLE AMOUNT:	2,450.00
NON-TAXABLE AMOUNT:	.00

AMOUNT BILLABLE THIS INVOICE:	2,450.00

INVOICE TOTAL:	2,450.00
	=====

Temp Heat - Union Court

Job Name: MCH
 Job Number: 06-0675
 Cost Code: 01-639
 Authorized by: [Signature]
 Date Posted: _____ By: _____
 Budget: _____
 Over Budget: _____

ENTERED
 MAR 12 2008

TO: PETRA
MERIDAIN CITY HALL TEMP HEAT

<u>DATE</u>	<u>HOURS</u>	<u>AMOUNT</u>
1/2/2008	22	\$ 1,100.00
2/4/2008	17	\$ 850.00
2/6/2008	10	\$ 500.00
	<hr/> 49	<hr/> \$ 2,450.00



Faxed

PROUD TO BE PARTNERS IN SAFETY WITH OSHA.

FABRICATING, CORP.

6428 Business Way • Boise, Idaho 83716-0550 • Phone 343-5423 • FAX 343-5446

1312 Alder Ave. • Lewiston, Idaho 83501 • Phone 743-8596 • FAX 743-8597

Change Order Authorization

Date: 1-2-08

Job Name: MCH Temp Heat

Customer Name: Petra Inc.

Hobson C/O #: _____

Hobson Job #: 5209

Description of Work: Install Temp heat

	Materials
<u>PAT Clover - 2 hrs</u>	<u>4- 22" 90° Elbows</u>
<u>SCOTT Westfall - 8 hrs</u>	<u>30' - 22" spira pipe</u>
<u>Cody Evans - 8 hrs</u>	<u>2- 8" dampers</u>
<u>Steve Anderson - 4 hrs.</u>	

BILLING SUMMARY

Material Total: ~~_____~~

Sales Tax: _____

Labor Total: _____

Overhead: _____

Subcontract: _____

Profit: _____

Total: ~~_____~~

[Signature]
Authorized Signature

Steve Anderson
Printed Name



PROUD TO BE PARTNERS IN SAFETY WITH OSHA.

FABRICATING, CORP.

6428 Business Way • Boise, Idaho 83716-0550 • Phone 343-5423 • FAX 343-5448

1312 Alder Ave. • Lewiston, Idaho 83501 • Phone 743-8596 • FAX 743-8597

Change Order Authorization

Date: 2-4-08

Job Name: MCH Temp. Heat

Customer Name: Petra Inc.

Hobson C/O #: _____

Hobson Job #: 5209

Description of Work: Install Temp. heat

Pat Clover - 2 hrs

Tim Crawford - 5 hrs

Cody Evans - 5 hrs

Steve Anderson - 5 hrs

Materials

1- 20" x 90° Elbow

1- 24" x 90° Elbow

1- 40" x 34" 90° Elbow

1- 28" x 21" 90° Elbow

30' - 24" spiral

BILLING SUMMARY

Material Total: _____

Sales Tax: _____

Labor Total: _____

Overhead: _____

Subcontract: _____

Profit: _____

Total: _____

Authorized Signature

Steve Anderson
Printed Name



PROUD TO BE PARTNERS IN SAFETY WITH OSHA.

FABRICATING, CORP.

6428 Business Way • Boise, Idaho 83716-0550 • Phone 343-5423 • FAX 343-5446

1312 Alder Ave. • Lewiston, Idaho 83501 • Phone 743-8596 • FAX 743-8597

Change Order Authorization

Date: 2-6-08

Job Name: MCH Temp Heat

Customer Name: _____

Hobson C/O #: _____

Hobson Job #: 5209

Description of Work: Install Temp heat

Pat Clover - 2 hrs.

Tim Crawford - 4 hrs.

Cody Evans - 4 hrs.

BILLING SUMMARY

Material Total: _____

Sales Tax: _____

Labor Total: _____

Overhead: _____

Subcontract: _____

Profit: _____

Total: _____


Authorized Signature

D-7-08
Printed Name



INTERMOUNTAIN GAS COMPANY

P.O. Box 64
Boise, Idaho 83732
www.intgas.com

(208) 377-6840
Call 7 AM - 7 PM Mon-Fri

SERVICE ADDRESS:
33 E Broadway, Meridian, ID 83642

PAYMENT DUE DATE	ACCOUNT NUMBER	PAY THIS AMOUNT
Mar 21, 2008	10582400-120-7	\$9,495.09
Total of Account - Previous Billing		\$6,711.06
Payments Received		\$6,711.06 CR
Balance Forward		\$0.00

FROM	READING DATES	TO	DAYS	METER NUMBER	METER READINGS FROM	METER READINGS TO	=	100 CU FT X BILLING FACTOR	=	THERMS BILLED
Feb 04		Mar 04	29	501820	3301	7571		4,270	2.382	10,171

BILLING DATE	TYPE OF RATE	CURRENT ACTIVITY	THERMS	X	RATE	=	CHARGE
Mar 07, 2008	GS1	Current Usage	200		.94264		\$188.53
			1,800		.92144		\$1,658.59
			8,171		.90098		\$7,361.91
		Customer Charge					\$9.50
		Municipal Franchise Fee					\$276.56

AVERAGE THERMS PER DAY	
THIS YEAR	LAST YEAR
350.7	

Total Current Activity \$9,495.09
 Balance Forward \$0.00
 Total of Account - Due Mar 21, 2008 \$9,495.09

FEB 08 GAS BILL

Job Name: MCH
 Job Number: 06-0625
 Cost Code: 01-630
 Authorized by: [Signature]
 Date Posted: By: [Signature]
 Budget: _____
 Over Budget: _____

ENTERED
MAR 12 2008

▼ TO ENSURE PROPER CREDIT TO YOUR ACCOUNT, PLEASE DETACH AND RETURN BOTTOM PORTION OF YOUR BILL WITH PAYMENT. ▼



INTERMOUNTAIN GAS COMPANY

P.O. Box 64
Boise, Idaho 83732

PAYMENT DUE DATE	ACCOUNT NUMBER	PAY THIS AMOUNT
Mar 21, 2008	10582400-120-7	\$9,495.09
105824001200000949509		

Petra Inc
1097 N Rosario St
Meridian, ID 83642-8095



BALANCE FORWARD	
CURRENT CHARGES	\$0.00
TOTAL OF ACCOUNT	\$9,495.09
AMOUNT ENCLOSED	\$9,495.09

New email, mailing address or phone number? Use reverse side - PLEASE CHECK BOX

Save a Stamp!
Receive, View and Pay your bill
online at www.intgas.com

THE HOME DEPOT 1804
1100 SO. PROGRESS MERIDIAN, ID 83642
STORE MGR. BRIAN JENSEN (208)887-9699

SALE 1804 00002 04842 02/06/08
61 PLL974 11:33 AM

*met
work*



*060675
01-630*

400020015686 60# TUBESAND <A> 19.50
683.25
SUBTOTAL 19.50
SALES TAX 1.17
TOTAL \$20.67
XXXXXXXXXXXX5502 VISA 20.67
AUTH CODE 006957/4025934 TA



1804 02 04842 02/06/2008 8654

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES ON
A 1 90 05/06/2008

THE HOME DEPOT RESERVES THE RIGHT TO
LIMIT / DENY RETURNS. PLEASE SEE THE
RETURN POLICY SIGNAL TAGS FOR

THE HOME DEPOT 1804
1100 SO. PROGRESS MERIDIAN, ID 83642
STORE MGR. BRIAN JENSEN (208)887-9699

SALE 1804 00059 15921 02/06/08
14 SCOT59 11:03 AM

*w-sh
Temp
Heat.*



*060675
01-630*

734884853512 35" TIE-DOWN <A>	
6@1.99	11.94
033923004282 T-HINGE <A>	12.99
030699152797 T-HINGE <A>	
2@12.99	25.98
030699151813 DOOR PULL <A>	
3@2.89	8.67
	SUBTOTAL 59.58
	SALES TAX 3.58
	TOTAL \$63.16
XXXXXXXXXXXX5502 VISA	63.16
AUTH CODE 006867/4590625	TA



1804 59 15921 02/06/2008 3311

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES ON
A 1 90 05/06/2008

THE HOME DEPOT RESERVES THE RIGHT TO
LIMIT / DENY RETURNS. PLEASE SEE THE
RETURN POLICY SIGN IN STORES FOR
DETAILS.

002033

CM001646



AMERICAN WALLCOVER, INC.

DRYWALL & ACOUSTICAL SPECIALTIES

2685 E. LANARK STREET, MERIDIAN, ID 83642
(208) 887-1062 FAX (208) 887-1129

PUBLIC WORKS LIC # 11186-AA-4, ID REGISTRATION # RCE-3899

OREGON LIC # 118119

Randy@americanwallcover.com

D.F.A. Log

Project Name: Meridian City Hall
Location: Meridian, ID
Date: January 18, 2008
Attn: Tom Coughlin/Petra
RE: Winter Conditions and Weather Protection DFA Log

DFA 1	INSTALL VISQUEEN & PLYWOOD	\$	420.00
DFA 2	"	\$	280.00
DFA 3	"	\$	140.00
DFA 6	"	\$	525.00
DFA 7	"	\$	840.00
DFA 9	"	\$	70.00
DFA 10	"	\$	560.00
DFA 11	"	\$	560.00
DFA 12	"	\$	280.00
DFA 13	"	\$	1,190.00
DFA 14	"	\$	840.00
DFA 17	"	\$	700.00
DFA 18	"	\$	560.00
Sub total		\$	6,965.00
Bond		\$	139.30
Total		\$	7,104.30

Sincerely,

Mike K. Crawford
Project Manager/American Wallcover, Inc.

Winter Conditions ENTERED
MAR 25 2008

Job Name: mcH
Job Number: 06-0675
Cost Code: 01-630
Authorized by:
Date Posted: By:
Budget:
Over Budget:

D.F.A 1

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Walkover, Inc. Field Directive# _____ WEEKDAY: _____
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 12-07
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Instal Visqueen & Ply wood over windows

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$.
Hilario Alvarez			\$ 35.00				\$.
Bill Hansen	Frame	6	\$ 35.00				\$ 210.00
Jorge Garibay			\$ 35.00				\$.
Gabriel Corza	Frame	6	\$ 35.00				\$ 210.00
Rodimiro Banos			\$ 35.00				\$.
Anthony De Jeses			\$ 35.00				\$.
Edgar De Jesus			\$ 35.00				\$.
Gonzalo Soto			\$ 35.00				\$.
Jose Felix			\$ 35.00				\$.
TOTAL							\$ 420.00

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$.
							\$.
TOTAL							\$.

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$.
							\$.
							\$.
							\$.
TOTAL							\$.

TOTAL LABOR	420.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

John Anderson
 SUBCONTRACTOR APPROVED BY: _____
 PETRA CONTROLLER APPROVED BY: _____
 OWNER APPROVED BY: _____

DFA 2

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Directives# _____ WEEKDAY: _____
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 12-07
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Frame - Visqueen & Plywood Temp Wall

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen			\$ 35.00				\$ -
Jorge Garibay			\$ 35.00				\$ -
Gabriel Corza			\$ 35.00				\$ -
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jeses	Frame	4	\$ 35.00				\$ 140.00
Edgar De Jesus	Frames	4	\$ 35.00				\$ 140.00
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 280.00

EQUIPMENT								
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL							\$ -	

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
							\$ -
							\$ -
							\$ -
TOTAL							\$ -

[Signature]
 SUBCONTRACTOR APPROVED BY:
[Signature]
 PETRA CONTROLLER APPROVED BY:
 OWNER APPROVED BY:

TOTAL LABOR	280.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

DFA 3

DAILY FORGE ACCOUNT																	
SUBCONTRACTOR: <u>American Wallcover, Inc.</u>		Field Director# _____		WEEKDAY: _____													
PROJECT DIVISION: <u>Commercial Tenant Improvement</u>		CHANGE ORDER # _____															
PROJECT WBS: <u>Meridian City Hall</u>		WORK ORDER # _____		DATE: _____													
PROJECT SUPER: <u>John Anderson</u>																	
DESCRIPTION OF WO: <u>Router dens glass for metal brackets & gable iron</u>																	
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT										
Jeremy Redman			\$ 35.00				\$ -										
Hilario Alvarez			\$ 35.00				\$ -										
Bill Hansen	<u>Frigger 4</u>		\$ 35.00				\$ <u>140.00</u>										
Jorge Garibay			\$ 35.00				\$ -										
Gabriel Corza			\$ 35.00				\$ -										
Rodimiro Banos			\$ 35.00				\$ -										
Anthony De Jeses			\$ 35.00				\$ -										
Edgar De Jesus			\$ 35.00				\$ -										
Gonzalo Soto			\$ 35.00				\$ -										
Jose Felix			\$ 35.00				\$ -										
TOTAL							\$ <u>140.00</u>										
EQUIPMENT																	
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT										
							\$ -										
TOTAL							\$ -										
MATERIAL																	
DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT													
				\$ -													
				\$ -													
				\$ -													
				\$ -													
TOTAL				\$ -													
SUBCONTRACTOR APPROVED BY: <u>[Signature]</u> PETRA CONTROLLER APPROVED BY: <u>[Signature]</u> OWNER APPROVED BY: _____							<table border="1"> <tr> <td>TOTAL LABOR</td> <td><u>140.00</u></td> </tr> <tr> <td>LOADING AMOUNT</td> <td></td> </tr> <tr> <td>TOTAL EQUIPMENT AMOUNT</td> <td></td> </tr> <tr> <td>TOTAL MATERIAL AMOUNT</td> <td></td> </tr> <tr> <td>GRAND TOTAL</td> <td></td> </tr> </table>	TOTAL LABOR	<u>140.00</u>	LOADING AMOUNT		TOTAL EQUIPMENT AMOUNT		TOTAL MATERIAL AMOUNT		GRAND TOTAL	
TOTAL LABOR	<u>140.00</u>																
LOADING AMOUNT																	
TOTAL EQUIPMENT AMOUNT																	
TOTAL MATERIAL AMOUNT																	
GRAND TOTAL																	
<u>Protect from weather</u>																	

DFA 6

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Directive# _____ WEEKDAY: _____
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 12-07
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: INSTALL Visqueen & Ply wood over windows

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen			\$ 35.00				\$ -
Jorge Garibay	Framer	5	\$ 35.00				\$ 175.00
Gabriel Corza			\$ 35.00				\$ -
Rodimiro Banos		5	\$ 35.00				\$ 175.00
Anthony De Jesus	Framer		\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix	Framer	5	\$ 35.00				\$ 175.00
TOTAL							\$ 525.00

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$ -
							\$ -
TOTAL							\$ -

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
							\$ -
							\$ -
TOTAL							\$ -

TOTAL LABOR	525.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

 SUBCONTRACTOR APPROVED BY: *John Anderson*

 PETRA CONTROLLER APPROVED BY:

 OWNER APPROVED BY:

Union Conditions

DFA 7

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Walkover, Inc. Field Directive# _____ WEEKDAY: _____
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 12-07
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: INSTALL VISOR AND Plywood over windows

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$
Hilario Alvarez			\$ 35.00				\$
Bill Hansen			\$ 35.00				\$
Jorge Garibay	Framer	8	\$ 35.00				\$ 280.00
Gabriel Corza			\$ 35.00				\$
Rodimiro Banos	Framer	8	\$ 35.00				\$ 280.00
Anthony De Jesus			\$ 35.00				\$
Edgar De Jesus			\$ 35.00				\$
Gonzalo Soto			\$ 35.00				\$
Jose Felix	Framer	8	\$ 35.00				\$ 280.00
TOTAL							\$ 840.00

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$
							\$
TOTAL							\$

MATERIAL			
DESCRIPTION	QTY	UNIT RATE	AMOUNT
			\$
			\$
			\$
TOTAL			\$

TOTAL LABOR	840.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

[Signature]

SUBCONTRACTOR APPROVED BY: *[Signature]*

PETRA CONTROLLER APPROVED BY:

OWNER APPROVED BY:

WINTER CONDITIONS

DFA 9

DAILY FORCE ACCOUNT

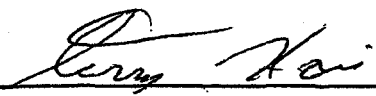
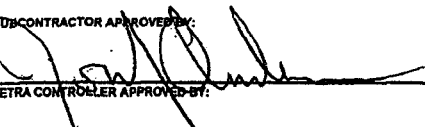
SUBCONTRACTOR: American Wallcover, Inc. Field Directive# _____ WEEKDAY: _____
 PROJECT DIVISION: Commercial Tenant Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 12-07
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Install visqueen & Plywood over windows

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen			\$ 35.00				\$ -
Jorge Garibay	Framer	3	\$ 35.00				\$ 105.00
Gabriel Corza			\$ 35.00				\$ -
Rodimiro Banos	Framer	3	\$ 35.00				\$ 105.00
Anthony De Jeses			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix	Framer	3	\$ 35.00				\$ 105.00
TOTAL							\$ 315.00

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$ -
							\$ -
TOTAL							\$ -

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
							\$ -
							\$ -
TOTAL							\$ -

TOTAL LABOR	315.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	


 SUBCONTRACTOR APPROVED BY: _____

 PETRA CONTROLLER APPROVED BY: _____
 OWNER APPROVED BY: _____

WINTER CONDITIONS

DFA 10

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Directive# _____ WEEKDAY: Thurs
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 12-27-07
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Frame - Visqueen + plywood Temp walls 1st Floor

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen	<u>Finisher</u>	<u>8</u>	\$ 35.00				\$ <u>280.00</u>
Jorge Garibay			\$ 35.00				\$ -
Gabriel Corza	<u>Finisher</u>	<u>8</u>	\$ 35.00				\$ <u>280.00</u>
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jeses			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ <u>560.00</u>

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$ -
							\$ -
TOTAL							\$ -

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
							\$ -
							\$ -
							\$ -
TOTAL							\$ -

TOTAL LABOR	<u>560.00</u>
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

[Signature]

SUBCONTRACTOR APPROVED BY: _____

PETRA CONTROLLER APPROVED BY: _____

OWNER APPROVED BY: _____

DFA # 11

DAILY FORCE ACCOUNT


SUBCONTRACTOR: American Wallcover, Inc. Field Directives# _____ WEEKDAY: Fri
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 12-28-07
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Frame - Visqueen + Plywood Temp Wall 2nd Fl.


LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen	Frame	8	\$ 35.00				\$ 280.00
Jorge Garibay			\$ 35.00				\$ -
Gabriel Corza	Frame	8	\$ 35.00				\$ 280.00
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jeses			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 560.00

EQUIPMENT								
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL							\$ -	

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
							\$ -
							\$ -
TOTAL							\$ -

TOTAL LABOR	560.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	-
TOTAL MATERIAL AMOUNT	-
GRAND TOTAL	-

SUBCONTRACTOR APPROVED BY: 

PETRA CONTROLLER APPROVED BY: 

OWNER APPROVED BY: _____

DFA ~~12~~ 12

DAILY FORCE ACCOUNT

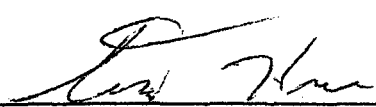
SUBCONTRACTOR: American Wallcover, Inc. Field Directive# _____ WEEKDAY: Mon
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 12-31-07
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Frame - Vis Queen + Ply wood 2nd Fl Temple

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen	Fraser	4	\$ 35.00				\$ 140.00
Jorge Garibay			\$ 35.00				\$ -
Gabriel Corza	Pisano	4	\$ 35.00				\$ 140.00
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jeses			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 280.00

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$ -
							\$ -
TOTAL							\$ -

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
							\$ -
							\$ -
							\$ -
TOTAL							\$ -

TOTAL LABOR	280.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

SUBCONTRACTOR APPROVED BY: 
 PETRA CONTROLLER APPROVED BY: _____
 OWNER APPROVED BY: _____

DFA # 13

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Walkover, Inc. Field Directive# _____ WEEKDAY: Mon
 PROJECT DIVISION: Commercial Tenant Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 1-14-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Cover windows with plywood + Uirqueen and Temp walls

NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez	Fraser	8	\$ 35.00				\$ 280.00
Bill Hansen	Fraser	5	\$ 35.00				\$ 175.00
Jorge Garibay	Fraser	8	\$ 35.00				\$ 280.00
Gabriel Corza	Fraser	5	\$ 35.00				\$ 175.00
Rodimiro Banos	Fraser	8	\$ 35.00				\$ 280.00
Anthony De Jeses			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 1,190.00

TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL								\$ -

DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT
				\$ -
				\$ -
				\$ -
				\$ -
TOTAL				\$ -

TOTAL LABOR	1,190.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

 SUBCONTRACTOR APPROVED BY:

 PETRA CONTROLLER APPROVED BY:

 OWNER APPROVED BY:

DFA 14

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Director# _____ WEEKDAY: Fri
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 1-11-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Cover Window with Plywood + Uisquena

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez	Framer	8	\$ 35.00				\$ 280.00
Bill Hansen			\$ 35.00				\$ -
Jorge Garibay	Framer	8	\$ 35.00				\$ 280.00
Gabriel Corza			\$ 35.00				\$ -
Rodimiro Banos	Framer	8	\$ 35.00				\$ 280.00
Anthony De Jesus			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 840.00

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$ -
							\$ -
TOTAL							\$ -

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
							\$ -
							\$ -
TOTAL							\$ -

TOTAL LABOR	840.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

SUBCONTRACTOR APPROVED BY: Terry Hon
 PETRA CONTROLLER APPROVED BY: _____
 OWNER APPROVED BY: _____

DFA # 17

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Director# _____ WEEKDAY: Tue
 PROJECT DIVISION: Commercial Tenant Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 1-8-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Cover windows with plywood + visqueen

NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman		5	\$ 35.00				\$ 175.00
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen		5	\$ 35.00				\$ 175.00
Jorge Garibay			\$ 35.00				\$ -
Gabriel Corza		5	\$ 35.00				\$ 175.00
Rodimiro Banos		5	\$ 35.00				\$ 175.00
Anthony De Jeses			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 700.00

TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL								\$ -

DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT
				\$ -
				\$ -
				\$ -
				\$ -
TOTAL				\$ -

TOTAL LABOR	700.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

John Anderson

SUBCONTRACTOR APPROVED BY: _____
 PETRA CONTROLLER APPROVED BY: _____

OWNER APPROVED BY: _____

DFA # 18

DAILY FORCE ACCOUNT							
SUBCONTRACTOR: <u>American Wallcover, Inc.</u>		Field Directives# _____		WEEKDAY: <u>Mon</u>			
PROJECT DIVISION: <u>Commercial Tenant Improvement</u>		CHANGE ORDER # _____		DATE: <u>1-7-08</u>			
PROJECT WBS: <u>Meridian City Hall</u>		WORK ORDER # _____					
PROJECT SUPER: <u>John Anderson</u>		DESCRIPTION OF WORK: <u>Cover window with plywood & Visqueen</u>					
LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen	<u>Framer</u>	<u>8</u>	\$ 35.00				\$ <u>280.00</u>
Jorge Garibay			\$ 35.00				\$ -
Gabriel Corza	<u>Framer</u>	<u>8</u>	\$ 35.00				\$ <u>280.00</u>
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jesus			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
						TOTAL	\$ <u>560.00</u>
EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$ -
						TOTAL	\$ -
MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
						TOTAL	\$ -
SUBCONTRACTOR APPROVED BY: <u>[Signature]</u> PETRA CONTROLLER APPROVED BY: <u>[Signature]</u> OWNER APPROVED BY: _____							TOTAL LABOR: <u>560.00</u> LODGING AMOUNT: _____ TOTAL EQUIPMENT AMOUNT: _____ TOTAL MATERIAL AMOUNT: _____ GRAND TOTAL: _____



AMERICAN WALLCOVER, INC.

DRYWALL & ACOUSTICAL SPECIALTIES

2685 E. LANARK STREET, MERIDIAN, ID 83642
(208) 887-1062 FAX (208) 887-1129

PUBLIC WORKS LIC # 11186-AA-4, ID REGISTRATION # RCE-3899

OREGON LIC # 118119

Randy@americanwallcover.com

D.F.A. Log

Project Name: Meridian City Hall
Location: Meridian, ID
Date: February 18, 2008
Attn: Tom Coughlin/Petra
RE: Winter Conditions and Weather Protection DFA 2 Log

DFA 19	\$	560.00
DFA 20	\$	1,120.00
DFA 21	\$	350.00
DFA 22	\$	560.00
DFA 23	\$	420.00
DFA 24	\$	560.00
DFA 25	\$	2,200.00
DFA 26	\$	560.00
DFA 27	\$	560.00

OIC - Pen Jon A

Sub total	\$	6,890.00
Bond	\$	137.80
Total	\$	7,027.80

Sincerely,

Mike K. Crawford
Project Manager/American Wallcover, Inc.

Winter Conditions

Job Name: mc lt
 Job Number: 06-0625
 Cost Code: 01-630
 Authorized by: / /
 Date Posted: By:
 Budget:
 Over Budget:

ENTERED
MAR 25 2008

DFA 19

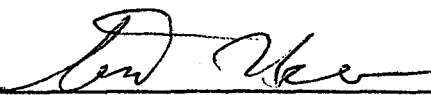
DATE FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Directive# _____ WEEKDAY: Wed
 PROJECT DIVISION: Commercial Tenant Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 1-16-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Frame-plywood & Uisquer-Tempwells

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$.
Hilario Alvarez			\$ 35.00				\$.
Bill Hansen	<u>F8340</u>	<u>8</u>	\$ 35.00				\$ <u>280.00</u>
Jorge Garibay			\$ 35.00				\$.
Gabriel Corza	<u>F8340</u>	<u>8</u>	\$ 35.00				\$ <u>280.00</u>
Rodimiro Banos			\$ 35.00				\$.
Anthony De Jeses			\$ 35.00				\$.
Edgar De Jesus			\$ 35.00				\$.
Gonzalo Soto			\$ 35.00				\$.
Jose Felix			\$ 35.00				\$.
TOTAL							\$ <u>560.00</u>

EQUIPMENT								
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$.
								\$.
TOTAL							\$.	

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$.
							\$.
							\$.
							\$.
TOTAL							\$.



SUBCONTRACTOR APPROVED BY: _____
 PETRA CONTROLLER APPROVED BY: Scott J
 OWNER APPROVED BY: _____

TOTAL LABOR	\$ <u>560.00</u>
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

DFA 20

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Director# _____ WEEKDAY: Tue
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 1-15-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Frame - plywood & Visqueen Temp. walls

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman	Fraser	8	\$ 35.00				\$ 280.00
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen	Fraser	8	\$ 35.00				\$ 280.00
Jorge Garibay			\$ 35.00				\$ -
Gabriel Corza	Fraser	8	\$ 35.00				\$ 280.00
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jesus			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto	Fraser	8	\$ 35.00				\$ 280.00
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 1,120.00

EQUIPMENT								
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL							\$ -	

MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$ -
							\$ -
							\$ -
TOTAL							\$ -

[Signature]

SUBCONTRACTOR APPROVED BY: _____

[Signature]

PETRA CONTROLLER APPROVED BY: _____

OWNER APPROVED BY: _____

TOTAL LABOR	1,120.00
LOADING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

DFA 21

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Wallcover, Inc. Field Directive# _____ WEEKDAY: Tue
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 1-22-08
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Plywood & Visqueen Exterior Windows

NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen			\$ 35.00				\$ -
Jorge Garibay	<u>Kramer</u>	<u>5</u>	\$ 35.00				\$ 175.00
Gabriel Corza			\$ 35.00				\$ -
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jesus			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto	<u>Kramer</u>	<u>5</u>	\$ 35.00				\$ 175.00
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 350.00

TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL								\$ -

DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT
				\$ -
				\$ -
				\$ -
				\$ -
TOTAL				\$ -

TOTAL LABOR	350.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

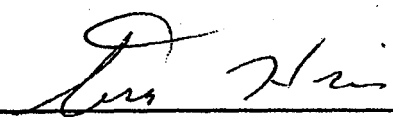
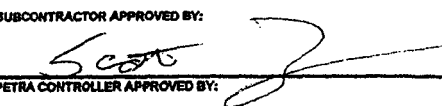
[Signature]

SUBCONTRACTOR APPROVED BY:
[Signature]

PETRA CONTROLLER APPROVED BY:

OWNER APPROVED BY:

DFA 22

DAILY FORCE ACCOUNT								
SUBCONTRACTOR: <u>American Wallcover, Inc.</u>		Field Directive# _____		WEEKDAY: <u>Thru</u>				
PROJECT DIVISION: <u>Commercial Tennent Improvement</u>		CHANGE ORDER # _____		DATE: <u>1-17-08</u>				
PROJECT WBS: <u>Meridian City Hall</u>		WORK ORDER # _____						
PROJECT SUPER: <u>John Anderson</u>		DESCRIPTION OF WO: <u>Frame-plywood & Uisquon Tensils</u>						
LABOR								
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT	
Jeremy Redman			\$ 35.00				\$.	
Hilario Alvarez			\$ 35.00				\$.	
Bill Hansen	<u>Frame</u>	<u>8</u>	\$ 35.00				\$ <u>280.00</u>	
Jorge Garibay			\$ 35.00				\$.	
Gabriel Corza	<u>Frame</u>	<u>8</u>	\$ 35.00				\$ <u>280.00</u>	
Rodimiro Banos			\$ 35.00				\$.	
Anthony De Jese			\$ 35.00				\$.	
Edgar De Jesus			\$ 35.00				\$.	
Gonzalo Soto			\$ 35.00				\$.	
Jose Felix			\$ 35.00				\$.	
						TOTAL	\$ <u>560.00</u>	
EQUIPMENT								
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT	
							\$.	
						TOTAL	\$.	
MATERIAL								
DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT				
				\$.				
				\$.				
				\$.				
				TOTAL	\$.			
 SUBCONTRACTOR APPROVED BY: _____						TOTAL LABOR		\$ <u>560.00</u>
 PETRA CONTROLLER APPROVED BY: _____						LOGGING AMOUNT		
OWNER APPROVED BY: _____						TOTAL EQUIPMENT AMOUNT		
						TOTAL MATERIAL AMOUNT		
						GRAND TOTAL		

DFA 23

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Walkover, Inc. Field Director# _____ WEEKDAY: Fri
 PROJECT DIVISION: Commercial Tenant Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 2-9
 PROJECT SUPER: John Anderson Temp will 1st FI
 DESCRIPTION OF WO _____

NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen	<u>Framer 6</u>		\$ 35.00				\$ <u>210.00</u>
Jorge Garibay	<u>Framer 6</u>		\$ 35.00				\$ <u>210.00</u>
Gabriel Corza			\$ 35.00				\$ -
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jeses			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ <u>420.00</u>

TYPE	CLASS	SIZE	CITY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL								\$ -

DESCRIPTION	CITY	UNIT RATE	BUILDING	AMOUNT
				\$ <u>420.00</u>
				\$ -
				\$ -
				\$ -
TOTAL				\$ -

TOTAL LABOR	-
LODGING AMOUNT	-
TOTAL EQUIPMENT AMOUNT	-
TOTAL MATERIAL AMOUNT	-
GRAND TOTAL	-

John Anderson

SUBCONTRACTOR APPROVED BY: *[Signature]*

OWNER APPROVED BY: _____

DFA 24

DAILY FORCE ACCOUNT

SUBCONTRACTOR: American Walkover, Inc. Field Directives: _____ WEEKDAY: Tues
 PROJECT DIVISION: Commercial Tenant Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: _____
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: Plywood & Visqueen 3rd Flr Windows

NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez	Finisher	8	\$ 35.00				\$ 280.00
Bill Hansen			\$ 35.00				\$ -
Jorge Garibay			\$ 35.00				\$ -
Gabriel Corza			\$ 35.00				\$ -
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jesus			\$ 35.00				\$ -
Edgar De Jesus			\$ 35.00				\$ -
Gonzalo Soto	Finisher	8	\$ 35.00				\$ 280.00
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 560.00

TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$ -
								\$ -
TOTAL								\$ -

DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT
				\$ -
				\$ -
				\$ -
				\$ -
TOTAL				\$ -

TOTAL LABOR	\$ 560.00
LODGING AMOUNT	
TOTAL EQUIPMENT AMOUNT	
TOTAL MATERIAL AMOUNT	
GRAND TOTAL	

SUBCONTRACTOR APPROVED BY: 

SUBCONTRACTOR APPROVED BY: 

OWNER APPROVED BY: _____

DFA 25

DAILY FORCE/ACCOUNT

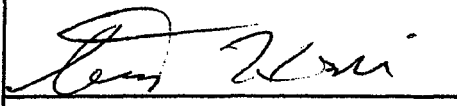
SUBCONTRACTOR: American Walkover, Inc. Field Directives# _____ WEEKDAY: Wed - Thru - Fri
 PROJECT DIVISION: Commercial Tennent Improvement CHANGE ORDER # _____
 PROJECT WBS: Meridian City Hall WORK ORDER # _____ DATE: 2-6-27-28
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: hours worked for weatherization

NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$.
Hilario Alvarez			\$ 35.00				\$.
Bill Hansen			\$ 35.00				\$.
Jorge Garibay		4/2 hrs	\$ 35.00				\$.
Gabriel Corza		Over Time	\$ 35.00				\$.
Rodimiro Banos			\$ 35.00				\$.
Anthony De Jeses			\$ 35.00				\$.
Edgar De Jesus			\$ 35.00				\$.
Gonzalo Soto			\$ 35.00				\$.
Jose Felix			\$ 35.00				\$.
TOTAL							\$.

TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	BUILDING	AMOUNT
								\$.
								\$.
TOTAL								\$.

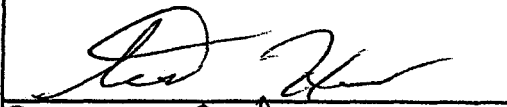
DESCRIPTION	QTY	UNIT RATE	BUILDING	AMOUNT
				\$.
				\$.
				\$.
				\$.
TOTAL				\$.

TOTAL LABOR	\$.
LODGING AMOUNT	\$.
TOTAL EQUIPMENT AMOUNT	\$.
TOTAL MATERIAL AMOUNT	\$.
GRAND TOTAL	\$.

SUBCONTRACTOR APPROVED BY: 

OWNER APPROVED BY: _____

DFA 26

DAILY FORCE ACCOUNT							
SUBCONTRACTOR: <u>American Walkover, Inc.</u>		Field Director# _____		WEEKDAY: <u>Tues.</u>			
PROJECT DIVISION: <u>Commercial Tennent Improvement</u>		CHANGE ORDER # _____		DATE: <u>2-12-08</u>			
PROJECT WBS: <u>Meridian City Hall</u>		WORK ORDER # _____					
PROJECT SUPER: <u>John Anderson</u>		DESCRIPTION OF WO: <u>Plywood & Visqueen 3rd Fl Windows</u>					
LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$.
Hilario Alvarez			\$ 35.00				\$.
Bill Hansen	Framer	8	\$ 35.00				\$ 280.00
Jorge Garibay			\$ 35.00				\$.
Gabriel Corza	Framer	8	\$ 35.00				\$ 280.00
Rodimiro Banos			\$ 35.00				\$.
Anthony De Jeses			\$ 35.00				\$.
Edgar De Jesus			\$ 35.00				\$.
Gonzalo Soto			\$ 35.00				\$.
Jose Felix			\$ 35.00				\$.
						TOTAL	\$ 560.00
EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$.
						TOTAL	\$.
MATERIAL							
DESCRIPTION	QTY	UNIT RATE				BUILDING	AMOUNT
							\$.
						TOTAL	\$.
						TOTAL LABOR	\$ 560.00
						LODGING AMOUNT	
						TOTAL EQUIPMENT AMOUNT	
						TOTAL MATERIAL AMOUNT	
						GRAND TOTAL	
SUBCONTRACTOR APPROVED BY: 							
OWNER APPROVED BY: _____							

DFA 27

DAILY FORCE/ACCOUNT

SUBCONTRACTOR: American Walkover, Inc.
 PROJECT DIVISION: Commercial Tennent Improvement
 PROJECT WBS: Meridian City Hall
 PROJECT SUPER: John Anderson
 DESCRIPTION OF WO: _____

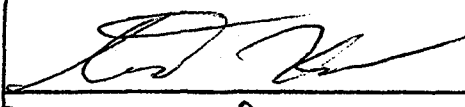
Field Director# _____ WEEKDAY: Wed
 CHANGE ORDER # _____
 WORK ORDER # _____ DATE: 2-13-08
Plywood + Visqueen 2nd Fl Temp Wklys

LABOR							
NAME	CLASSIFICATION	HOURS	RATE	OT HOURS	OT RATE	BUILDING	AMOUNT
Jeremy Redman			\$ 35.00				\$ -
Hilario Alvarez			\$ 35.00				\$ -
Bill Hansen	Frqwr	8	\$ 35.00				\$ 280.00.
Jorge Garibay	Frqwr		\$ 35.00				\$ -
Gabriel Corza	Frqwr	8	\$ 35.00				\$ 280.00.
Rodimiro Banos			\$ 35.00				\$ -
Anthony De Jesus			\$ 35.00				\$ -
Edger De Jesus			\$ 35.00				\$ -
Gonzalo Soto			\$ 35.00				\$ -
Jose Felix			\$ 35.00				\$ -
TOTAL							\$ 560.00.

EQUIPMENT							
TYPE	CLASS	SIZE	QTY	HOURS	RATE	OT RATE	AMOUNT
							\$ -
							\$ -
TOTAL							\$ -

MATERIAL			
DESCRIPTION	QTY	UNIT RATE	AMOUNT
			\$ -
			\$ -
			\$ -
			\$ -
TOTAL			\$ -

TOTAL LABOR	\$ 560.00.
LODGING AMOUNT	-
TOTAL EQUIPMENT AMOUNT	-
TOTAL MATERIAL AMOUNT	-
GRAND TOTAL	\$ 560.00.



SUBCONTRACTOR APPROVED BY: John Anderson

OWNER APPROVED BY: _____



CUSTOM GLASS

AUTHORIZED DISTRIBUTOR
HORTON AUTOMATICS

254 LOOP STREET
CALDWELL, IDAHO 83605
208-454-0340 FAX 208-454-0391
customgl@msn.com

INVOICE

DATE

INVOICE NO.

PAGE

03/18/2008

11950

1

ACCOUNT NO.

MANAGER

PETRA

BILL TO:	PROJECT: Invoice
PETRA, INC. 1097 N. ROSARIO PL MERIDIAN, ID 83642	MERIDIAN CITY HALL PETRA, INC. 1097 N. ROSARIO PL MERIDIAN, ID 83642

03/18/2008	Invoice	JOHN ANDERSON	03-19824	
C M	MERIDIAN CITY HALL - BILL FOR COST TO BREAK OUT STOREFRONT WINDOW 1ST AND 2ND FLOORS NORTH END OF BUILDING.	1.000	\$2,200.000	\$2,200.00
Job Name: <u>Met</u> Job Number: <u>060675</u> Cost Code: <u>01-630</u> Authorized by: <u>[Signature]</u> Date Posted: _____ By: _____ Budget: _____ Over Budget: _____		ENTERED MAR 25 2008		
REMIT PAYMENT TO: CUSTOM GLASS, INC 254 LOOP STREET CALDWELL, ID 83605-6092		TERMS: 10 EOM		\$2,200.00 \$0.00 \$0.00 \$0.00 \$2,200.00

All bills are due and payable on the 10th of the month following the invoice date and are past due on the 11th. Past due accounts are subject to a FINANCE CHARGE of 1 1/2% per month on the unpaid balance for an ANNUAL PERCENTAGE RATE of 18%.



INVOICE

Remit Payments to:
Landon Enterprises, LLC

P.O. Box 4355
Boise, Idaho
83711-4355

Specialists in Concrete Construction

p. 208.830.7816
f. 208.323.9050

*
00431
INVOICE #
MERIDIAN CITY Hall
JOB NAME

3/10/08
INVOICE DATE
9098¹⁵
TOTAL DUE

Bill To:

Job Location:

Papa, Inc.
NAME
1097 N ROSARIO
ADDRESS
MERIDIAN ID 83642
CITY, STATE AND ZIP CODE
Jon A. - A/P
CONTACT NAME/NUMBER

30 W. BROADWAY
MERIDIAN, IDAHO

Invoice Description:

AS PER ATTACHED DAILY WORK/MATERIAL LOG -
MATERIALS PURCHASED & USED \$360⁰⁰
ITEMS SUPPLIED & RENTED:
11 BLANKETS @ EGGS / 11x30⁰⁰ x 4 WKS = 1320⁰⁰
21 BLANKETS @ Roof / Penthouse / 21x30⁰⁰ x 1wk 630⁰⁰
2 HRS. & PEOPLE PURCHASE FOR N. & S. STAIR TOWER
& 3RD TO PENTHOUSE SLABS ON DECK ROOF MAINTENANCE \$1244⁶⁵
LABOR: 161¹ HRS. @ 42⁵⁰ \$6842⁵⁰

Sub Total: \$ 9098¹⁵
Late Charge: \$ 0
TOTAL DUE: \$ 9098¹⁵

INVOICE TERMS: NET 15 DAYS FROM INVOICE DATE
PLEASE PAY FROM THIS INVOICE NO STATEMENT WILL BE SENT.
Overdue accounts will be charged a late payment fee of 1.5% per month or to the extent of the law.



Daily Work / Material Log

Remit Payments to:
Landon Enterprises, LLC

P.O. Box 4355
Boise, Idaho
83711-4355

Specialists in Concrete Construction

p. 208.830.7816
f. 208.323.9050

REFERENCE INVOICE # 00432 DATE 3/10/08

JOB NAME MURKIN CITY HALL JOB LOCATION 3RD NORTH / 300 W BRADWAY

Bill To: Post, Inc. Tor A.
CONTACT NAME / NUMBER

Work Performed: Grinds & Vacuum 3RD FLOOR NORTH
PRE CLEAN + PATCH WEATHER AREAS @ 3RD NORTH

Job Name: MCH
Job Number: 06067
Cost Code: 01-630
Authorized by: [Signature]
Date Posted: [Blank] By: [Blank]
Budget: [Blank]
Over Budget: [Blank]

ENTERED
MAR 15 2008

Materials Purchased / Used: DIAMONDS & ACCESSORIES FOR GRIND + CLEAN
PATCH MATERIAL FOR REPAIR

Labor Services Rendered: MOBILIZE, STOCK, GRIND, VACUUM,
CLEAN, PATCH, & DE MOBILIZE,

Client Signature [Signature] Supervisor Approval [Signature] 3-12-08



INVOICE

Remit Payments to:
Landon Enterprises, LLC

P.O. Box 4355
Boise, Idaho
83711-4355

Specialists in Concrete Construction

☎ 208.830.7816
☎ 208.323.9050

→ 00432
INVOICE #
MERIDIAN CITY HALL
JOB NAME

3/10/08
INVOICE DATE
\$ 13,326²³
TOTAL DUE

Bill To:
PETRA, INC.
NAME
1097 N. ROSARIO WAY
ADDRESS
MERIDIAN ID 83642
CITY, STATE AND ZIP CODE
TON A. 860-7516
CONTACT NAME/NUMBER

Job Location:

30 W. BROADWAY
MERIDIAN
A/P

Invoice Description:

AS PER ATTACHED DAILY WORK,
PROVIDE EQUIPMENT, MATERIALS & LABOR FOR GRIND
& FINISH BRK NORTH

PROVIDE PATCH MATERIAL FOR REPAIR

LABOR FOR REPAIR: 18 HOURS @ 42⁰⁰

\$ 12,275⁵⁰
\$ 285⁶⁷
\$ 765⁰⁰

Sub Total: \$ 13,326²³
Late Charge: \$ 0
TOTAL DUE: \$ 13,326²³

INVOICE TERMS: NET 15 DAYS FROM INVOICE DATE
PLEASE PAY FROM THIS INVOICE NO STATEMENT WILL BE SENT.
Overdue accounts will be charged a late payment fee of 1.5% per month or to the extent of the law.



Daily Work / Material Log

Remit Payments to:
Landon Enterprises, LLC

P.O. Box 4355
Boise, Idaho
83711-4355

p. 208.830.7816
f. 208.323.9050

Specialists in Concrete Construction

00431
REFERENCE INVOICE #

3/10/08
DATE

MERIDIAN CITY HALL
JOB NAME

30 W. Broadway Meridian
JOB LOCATION

Bill To:

PETRA INC. 323-4500
CONTACT NAME / NUMBER

Work Performed: BUILD & FINISH TRIM @ 3RD FLOOR TO DEWHOUSE

Supply & Finish PLANKS @ ROOF CEILING PAD, DEWHOUSE

S.O.S. & CURBS & DADS, ENCLOSE & UNIT STAIRWAYS (R+S)
S

Job Name: MCA
Job Number: 060675
Cost Code: 01-639
Authorized by: [Signature]
Date Posted: By:

Materials Purchased / Used: 3 Rows 20' x 10' Over Budget Poly,
2 HRS, & PREPARE FOR WEATHER PROTECTION MAINTENANCE,
STAIRWAYS & DEWHOUSE

Labor Services Rendered: 1-01-08 - 2-29-08

VARIOUS # OF HRS. & MEN DAILY AS

REQUIRED TO PERFORM WEATHER PROTECTION

MAINTENANCE

ENTERED
MAR 25 2008

[Signature]
Client Signature

[Signature]
Supervisor Approval

Pac-West Interiors, Inc.

2820 Brandt Ave
Nampa, ID 83687
PH: 208-467-3331
FAX: 208-467-3332

Petra, Inc.
Attn: Mr. Wesley Bettis
9056 West Blackeagle Drive
Boise, Idaho 83709

INVOICE NO. 2750-3
INV DATE 3/13/2008

PROJECT: Meridian City Hall

JOB# 2750

SUBJECT: INVOICE FOR GENERAL CONDITION

1. ROSIN PAPER	\$	1,490.36	} 1800
2. MASKING TAPE	\$	1,976.96	
3. STORAGE OF ACCESS FLOORING	\$	1,800.00	
4. DELIVERY CHARGE	\$	350.00	
CURRENT BILLING AMOUNT	\$	5,617.32	

TOTAL DUE THIS BILLING	\$	5,617.32
-------------------------------	-----------	-----------------

ENTERED
MAR 15 2008

Please make checks payable to Pac-West Interiors, Inc.

Job Name: MCH
 Job Number: 06 0675
 Cost Code: _____
 Authorized by: [Signature]
 Date Posted: _____ By: _____
 Budget: _____
 Over Budget: _____

01-550
 - TEMP PROT - 3317.32
 WENTON 01-630
 \$ 1,800

Pac-West Interiors, Inc.

2820 BRANDT AVE. NAMPA, IDAHO 83687
PHONE (208) 467-3331
FAX (208) 467-3332

March 13, 2008

Petra, Inc.
Attn. Mr. Tom Coughlin
9056 West Blackeagle Drive
Boise, ID 83709

Job Name: MCH
Job Number: DL-0675
Cost Code: 01-630
Authorized by:
Date Posted: By:
Budget:
Over Budget:

RE: MERIDIAN CITY HALL

SUBJECT: ADDITIONAL WORK AUTHORIZATION

1. AWA #1 – 14 Man Hours	\$ 525.00
2. AWA #2 – 16 Man Hours	\$ <u>600.00</u>
TOTAL:	\$1,125.00

ENTERED
MAR 25 2008

Thank you,
Steve Packard

Winter Conditions - LEAK

ADDITIONAL WORK AUTHORIZATION

PacWest
Interiors, Inc.

2820 Brandt Ave.
Nampa, Idaho 83687
(208) 467-3331

#2

OWNER'S NAME Meridian City Hall		PHONE	DATE 3/28/3/29/08
STREET		JOB NAME	JOB NUMBER
CITY	STATE	STREET	
EXISTING CONTRACT NUMBER	DATE OF EXISTING CONTRACT	CITY	STATE

You are authorized to perform the following specifically described additional work:

WATER ROOFING - BOSS MECHANICAL w/ weld bracket -

Water Leak of Roof -

Make WRT Second / First Floor

Pac West Pull Panel To Dry of floor

& PUT BACK -

David

Jose

Pedro

Gomez

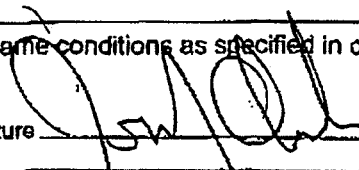
LALO

TOTAL 14 men hrs -

ADDITIONAL CHARGE FOR ABOVE WORK IS: \$ 575.⁰⁰

Payment will be made as follows: _____

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated.

Date _____ 20____ Authorizing Signature  _____

We hereby agree to furnish labor and materials - complete in accordance with the above specifications, at above stated price.

Authorized Signature _____ Date _____ 20____

THIS IS CHANGE ORDER NO. _____

NOTE: This Revision becomes part of, and in conformance with, the existing contract.

ADDITIONAL WORK AUTHORIZATION

Pac West
Interiors, Inc.

2820 Brandt Ave.
Nampa, Idaho 83687
(208) 467-3331

#1

OWNER'S NAME Meridian City Hall	PHONE	DATE 3/27/28/08	
STREET	JOB NAME	JOB NUMBER	
CITY	STATE	STREET	
EXISTING CONTRACT NUMBER	DATE OF EXISTING CONTRACT	CITY	STATE

You are authorized to perform the following specifically described additional work:

FIRST Floor SOUTH Side of Bldg -
Electrician Tri state / HOBSON / BUSS MECHANICAL
Work Under ACCESS Floor
Pull 16 Different Places Pull Panels -
JOHN FROM Peter OK TO PAC WEST COURT -

16 TOTAL man hrs

- David -
- Jose
- halo
- Alex
- Pedro
- Rogelio
- Guime

ADDITIONAL CHARGE FOR ABOVE WORK IS: \$ 600⁰⁰

Payment will be made as follows: _____

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated.

Date _____ 20____ Authorizing Signature 

We hereby agree to furnish labor and materials - complete in accordance with the above specifications, at above stated price.

Authorized Signature _____ Date _____ 20____

THIS IS CHANGE ORDER NO.

NOTE: This Revision becomes part of, and in conformance with, the existing contract.



COLD WEATHER CHANGE ORDER #3

Date: March 25, 2008
General Contractor: Petra Inc.
Project Name & Address: Meridian City Hall
 33 E. Broadway Ave.
 Meridian, ID 83642

Cold Weather for the Month of February 2008

Labor

Week Ending February 10	\$ 297.00 ✓
Week Ending February 17	\$ 126.00 ✓
Week Ending February 24	\$ 84.00 ✓
Week Ending March 2	\$ 105.00 ✓

Material

Expendables (Freeze Beads)	\$ 368.62
3 Heaters - Rental	\$ 1554.00

Job Name: MCH
 Job Number: 060675
 Cost Code: 01-630
 Authorized by: [Signature]
 Date Posted: By: [Signature]
 Budget:
 Over Budget:

ENTERED
MAR 26 2008

Subtotal	\$ 2534.62
OH & P NO!	\$ 380.19
Total	\$ 2914.81

Thank you for your consideration. If you have any questions or require clarification please call at your convenience.

TMC, Inc.

Todd Olson

ID-10335-AA-4(04000), DBA McGourty Masonry NV-47227, CA-759884 OR-82857,
 WA-TMCIN**088PZ, UT-99 371303-5501, AZ-155419



COLD WEATHER LABOR REPORT #7

Date: February 15, 2008

General Contractor: Petra Inc.

Project Name & Address: Meridian City Hall
 33 E. Broadway Ave.
 Meridian, ID 83642

Cold Weather Week Ending February 10, 2008

Labor

Tender	6.50 Hr.	@ 42.00	\$ 273.00
Bricklayer	0.50 Hr.	@ 48.00	\$ 24.00
Foreman	0.00 Hr.	@ 62.00	\$ 0.00
Total			\$ 297.00

This is not a bill. We will be sending you a bill with all labor and material regarding cold weather for January later this month.

Thank you for your consideration. If you have any questions or require clarification please call at your convenience.

TMC, Inc.

Todd Olson

ID-10335-AA-4(04000), DBA McGourty Masonry NV-47227, CA-759884 OR-82857,
 WA-TMCIN**088PZ, UT-99 371303-5501, AZ-155419



Daily Cold Weather Protection

Foreman: Ron Smith

Job Name: Meredith City Hall

Date: Feb 4-8

Work Description: Flat H²⁰. Blankets walls.
Clear snow

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Labor		
Name		Hours
Jose Estrada	}	1
Mark Smith		1/2
Jose Cardenas		1/2
Jose Estrada	}	1
Jose Cardenas		1/2
Tim Klauke		1/2
Mark Sullivan	}	1
Mark Schriber		1/2
Jose Estrada	}	1/2
Jose Estrada		1/2
Phil Roney	}	1/2
		1/2

Equipment	
Name	Type of Equip.

Materials	
Item	Quantity

NOTES: _____

Ron Smith
TMC, Inc. Foreman

[Signature]
General Contractor

* * * Communication Result Report (Feb. 22. 2008 12:00PM) * * *

}}

e/Time: Feb. 22. 2008 11:59AM

File No. Mode	Destination	Pg(s)	Result	Page Not Sent
2771 Memory TX	3234507	P. 3	OK	

Reason for error

E. 1) Hang up or line fail	E. 2) Busy
E. 3) No answer	E. 4) No facsimile connection
E. 5) Exceeded max. E-mail size	



DATE: 2/22/08
 FAX#: 323-4507
 FROM: STOOD OK

TO: Peora
 ATTN: _____
 RE: Mending City Hall.
 COMMENTS: Cold Water Statement
(Not a bill)
Thanks

NUMBER OF PAGES INCLUDING COVER SHEET: _____



COLD WEATHER LABOR REPORT #8

Date: February 22, 2008
General Contractor: Petra Inc.
Project Name & Address: Meridian City Hall
 33 E. Broadway Ave.
 Meridian, ID 83642

Cold Weather Week Ending February 17, 2008

Labor

Tender	3.00 Hr.	@ 42.00	\$ 126.00
Bricklayer	0.00 Hr.	@ 48.00	\$ 0.00
Foreman	0.00 Hr.	@ 62.00	\$ 0.00
Total			\$ 126.00

This is not a bill. We will be sending you a bill with all labor and material regarding cold weather for January later this month.

Thank you for your consideration. If you have any questions or require clarification please call at your convenience.

TMC, Inc.

Todd Olson

ID-10335-AA-4(04000), DBA McGourty Masonry NV-47227, CA-759884 OR-82857,
 WA-TMCIN**088PZ, UT-99 371303-5501, AZ-155419



Daily Cold Weather Protection

Foreman: Ron Smith Job Name: Meredian City Hall

Date: Feb 11-15

Work Description: Heating of water, blanket etc.

Labor	
Name	Hours
mark williams T Feb-11	1/2
Jose Estrada T Feb-13	1/2
Jose Estrada T Feb-13	1/2
Jose Estrada T Feb-14	1/2
mark schmitt T Feb-14	1/2
Jose Estrada T Feb-15	1/2

Equipment	
Name	Type of Equip.

Materials	
Item	Quantity

NOTES: _____

Ron Smith
TMC, Inc. Foreman

[Signature]
General Contractor

All forms must be signed by the General Contractor

* * * Communication Result Report (Feb. 29. 2008 3:53PM) * * *

}}
}}

Date/Time: Feb. 29. 2008 3:52PM

File No.	Mode	Destination	Pg(s)	Result	Page Not Sent
3111	Memory TX	3234507	P. 3	OK	

Reason for error
 E. 1) Hang up or line fail
 E. 3) No answer
 E. 5) Exceeded max. E mail size

E. 2) Busy
 E. 4) No facsimile connection



DATE: 2/29/07
 FAX#: 322-4507
 FROM: T-20 Dia

TO: Petra

ATTN:

RE: Meridian City Hall

COMMENTS: Cold Weather Stop
(Not a bill)

Thanks,
T-20

NUMBER OF PAGES INCLUDING COVER SHEET



COLD WEATHER LABOR REPORT #9

Date: February 29, 2008

General Contractor: Petra Inc.

Project Name & Address: Meridian City Hall
 33 E. Broadway Ave.
 Meridian, ID 83642

Cold Weather Week Ending February 24, 2008

Labor

Tcnder	2.00 Hr.	@ 42.00		\$ 84.00
Bricklayer	0.00 Hr.	@ 48.00		\$ 0.00
Foreman	0.00 Hr.	@ 62.00		\$ 0.00
Total				\$ 84.00

This is not a bill. We will be sending you a bill with all labor and material regarding cold weather for February next month.

Thank you for your considcration. If you have any questions or require clarification please call at your convenience.

TMC, Inc.

Todd Olson

ID-10335-AA-4(04000), DBA McGourty Masonry NV-47227, CA-759884 OR-82857,
 WA-TMCIN**088PZ, UT-99 371303-5501, AZ-155419



Daily Cold Weather Protection

Foreman: Ron Smith Job Name: Moran City Hall
 Date: Feb 18-22
 Work Description: Heating of water, etc.

Labor		
Name		Hours
<u>Jose Estrada</u>	<u>Feb 18</u>	<u>1/2</u>
<u>Jose Estrada</u>	<u>Feb 19</u>	<u>1/2</u>
<u>Jose Estrada</u>	<u>Feb 20</u>	<u>1/2</u>
<u>Jose Estrada</u>	<u>Feb 21</u>	<u>0</u>
<u>Jose Estrada</u>	<u>Feb 22</u>	<u>1/2</u>

Equipment	
Name	Type of Equip.

Materials	
Item	Quantity

NOTES: _____

Ron Smith
 TMC, Inc. Foreman

[Signature]
 General Contractor

All forms must be signed by the General Contractor

* * * Communication Result Report (Mar. 10. 2008 3:07PM) * * *

1)
2)

Date/Time: Mar. 10. 2008 3:06PM

File No. Mode	Destination	Pg(s)	Result	Page Not Sent
3426 Memory TX	3234507	P. 3	OK	

Reason for error

- E. 1) Hang up or line fail
- E. 3) No answer
- E. 5) Exceeded max. E-mail size

- E. 2) Busy
- E. 4) No facsimile connection



DATE: 3/10/08
 FAX #: 323-1507
 FROM: T. S. O'Connell

TO: Patre
 ATTN:
 RE: Meridian City Hall
 COMMENTS: Cold Weather Statement
 (Not a bill)
 Thanks
 T. S. O'Connell

NUMBER OF PAGES INCLUDING COVER SHEET: _____



COLD WEATHER LABOR REPORT #10

Date: March 7, 2008

General Contractor: Petra Inc.

Project Name & Address: Meridian City Hall
 33 E. Broadway Ave.
 Meridian, ID 83642

Cold Weather Week Ending March 2, 2008

Labor

Tender	2.50 Hr.	@ 42.00		\$ 105.00
Bricklayer	0.00 Hr.	@ 48.00		\$ 0.00
Foreman	0.00 Hr.	@ 62.00		\$ 0.00
Total				\$ 105.00

This is not a bill. We will be sending you a bill with all labor and material regarding cold weather for February next month.

Thank you for your consideration. If you have any questions or require clarification please call at your convenience.

TMC, Inc.

Todd Olson

**ID-10335-AA-4(04000), DBA McGourty Masonry NV-47227, CA-759884 OR-82857,
 WA-TMCIN**088PZ, UT-99 371303-5501, AZ-155419**



Daily Cold Weather Protection

Foreman: Lon Light

Job Name: Meridian City Hall

Date: Feb 25-29 2008

Work Description: Heating of water for masonry only

Labor		
Name		Hours
<u>Jose Estrada</u>	<u>Feb 25</u>	<u>1/2</u>
<u>Jose Estrada</u>	<u>Feb 26</u>	<u>1/2</u>
<u>Jose Estrada</u>	<u>Feb 27</u>	<u>1/2</u>
<u>Jose Estrada</u>	<u>Feb 28</u>	<u>1/2</u>
<u>Jose Estrada</u>	<u>Feb 29</u>	<u>1/2</u>

Equipment	
Name	Type of Equip.

Materials	
Item	Quantity

NOTES: _____

Lon Light
 TMC, Inc. Foreman

[Signature]
 General Contractor

Job Du Report
TMG INC.
3/20/2008

Job: 10719

Meridian City Hall
 33 East Broadway Ave.
 Meridian, ID 83642

Contract: 0.00
 Change Orders: 0.00
 Revised: 0.00
 Prev. Billed: 0.00
 Open: 0.00

L	Description	Date	Invoice	P.O.	Contract Amount	Billings To Date	Cost			Hours			Quantity	Bill @	Date Posted	Billing Cycle
							Actual	Budget	Overrun	Actual	Budget	Over				
100	MORTAR COLD WEATHER ADDITIVES	M 2/7/2008	185984302	10719-3	1 1/2# Freezeban Bag Basalite-Boise			0.00					120		2/15/2008	
	Category 04100 Totals					0.00	0.00									
	Phase 30 Totals					0.00	0.00	368.62	0.00	0.00	0.00					
	Job 10719 Totals					0.00	0.00	368.62	0.00	0.00	0.00					
	Material							368.62								

Mar. 25. 2008 3:37PM

No. 3922 P. 15

002080

Job Description Report
 TMC, INC.
 3/20/2008

Mar. 25. 2008 3:37PM

Job: 10719 Meridian City Hall
 33 East Broadway Ave.
 Meridian, ID 83642

Contract: 0.00
 Change Orders: 0.00
 Revised: 0.00
 Prev. Billed: 0.00
 Open: 0.00

IL	Description	Date	Invoice	P.O.	Contract Amount	Billings To Date	Cost			Hours			Quantity	Bill @	Date Posted	Billing Cycle
							Actual	Budget	Overrun	Actual	Budget	Over				
Phase: 30 - Cold Weather																
400	COLD WEATHER LABOR						24,000.00				0.00					
	L	2/10/2008			CW: 02/10/08 Todd	175.00			7.00						2/10/2008	
	L	2/17/2008			CW: 2/17/08 Todd	75.00			3.00						2/17/2008	
	L	2/24/2008			CW: 02/24/08 Todd	50.00			2.00						2/24/2008	
	L	3/2/2008			CW: 03/02/08 Todd	62.50			2.50						3/2/2008	
	Category 04400 Totals					362.50	24,000.00	-23,637.50	14.50	0.00	14.50					
	Phase 30 Totals					362.50	24,000.00	-23,637.50	14.50	0.00	14.50					
	Job 10719 Totals					362.50	24,000.00	-23,637.50	14.50	0.00	14.50					
	Labor					362.50	24,000.00	-23,637.50	14.50		14.50					

Total Labor 14.5 hrs

002081

No. 3922 P. 16

TMC INC.
MASONRY CONTRACTORS

2313 W. Overland Rd • Boise, ID 83705
(208) 331-8200 • Fax (208) 331-8301

DATE: 3/25/08

FAX#: 323.4507

FROM: J. Q. Oom

TO: Petra

ATTN: _____

RE: Meridian City Hall

COMMENTS: Cold weather Billing
for February 2008

Thanks,
J. Q. Oom

NUMBER OF PAGES INCLUDING COVER SHEET: _____

Invoice

Davis Construction
362 Rio Vista Blvd.
McCall, ID 83638
Phone 573-9732
Fax 208-634-1612

DATE	INVOICE #
3/26/2008	128

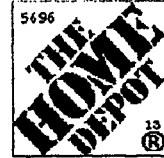
BILL TO	SHIP TO
Petra Inc.	

DUE DATE	P.O. NUMBER
4/25/2008	

ITEM	DESCRIPTION	QTY	RATE	AMOUNT
Meridian City Hall	labor - WINDOW WRAP	92	10.00	920.00
Job Name: <u>MCA</u> Job Number: <u>060675</u> Cost Code: _____ Authorized by: <u>[Signature]</u> Date Posted: _____ By: _____ Budget: _____ Over Budget: _____		ENTERED MAR 26 2008		
WINTER CONDITIONS				
Subtotal				920.00
0% Tax				
Total				920.00

THE HOME DEPOT 1804
 1100 SO. PROGRESS MERIDIAN, ID 83642
 STORE MGR. BRIAN JENSEN (208)887-9699

SALE 1804 00010 74533 02/13/08
 11 ASZ5XE 11:18 AM



*000675
 01-630*

648846003238	12GALWDVAC <A>	69.97
648846001272	VAC FILTER <A>	
	30 19.96	59.88
648846001104	TUGALONG <A>	19.97
648846000152	14IN BRUSH <A>	
	20 13.97	27.94
071798006284	18"SPBDI/OBR <A>	
	20 14.97	29.94
648846000138	SQUEEGEE <A>	
	20 11.47	22.94
	SUBTOTAL	230.64
	SALES TAX	13.84
	TOTAL	\$244.48
XXXXXXXXXXXX3144	VISA	244.48
AUTH CODE 213102/7103777		TA



1804 10 74533 02/13/2008 5696

RETURN POLICY DEFINITIONS
 POLICY ID DAYS POLICY EXPIRES ON
 A 1 90 05/13/2008

THE HOME DEPOT RESERVES THE RIGHT TO
 LIMIT / DENY RETURNS. PLEASE SEE THE
 RETURN POLICY SIGN IN STORES FOR
 DEAIATLS.

THE HOME DEPOT 1804
1100 SO. PROGRESS MERIDIAN, ID 83642
STORE MGR. BRIAN JENSEN (208)887-9699

SALE 1804 00012 04015 02/28/08
11 MCC2FX 11:58 AM

Lead
Auth
Auth



can
flor
01
030

047034360991 HW RED RSN <A>
12012.97 SALES TAX \$55.64
TOTAL 9.34
XXXXXXXXXXXX6253 VISA \$164.98
AUTH CODE 218285/2123608 164.98 TA



1804 12 04015 02/28/2008 6180

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES ON
A 1 90 05/28/2008

THE HOME DEPOT RESERVES THE RIGHT TO
LIMIT / DENY RETURNS. PLEASE SEE THE
RETURN POLICY SIGN IN STORES FOR
DETAILS.

NOBODY BEATS OUR PRICES... GUARANTEED.
SEE STORE FOR 10% PRICE GUARANTEE
DETAILS.

SIDEWALKS, LLC

1735 S Millenium Way
Meridian ID 83642

Invoice

Date	Invoice #
3/18/2008	08-3041

Bill To
Petra 1097 N. Rosario St. Meridian, ID 83642

Meridian City Hall

Due Date	P.O. No.
4/10/2008	City Hall

Quantity	Description	Rate	Amount
1	Water pump north elevator November Labor 7 man hours \$350 Material \$150 Job Name: <u>med</u> Job Number: <u>060625</u> Cost Code: <u>01-630</u> Authorized by: <u>[Signature]</u> Date Posted: _____ By: _____ Budget: _____ Over Budget: _____	500.00	500.00
<i>Winter Conversions</i>			
Total			\$500.00

ENTERED
MAR 18 2008

Phone #	Fax #
(208)955-9000	(208)955-9050

Payments/Credits	\$0.00
Balance Due	\$500.00

SIDEWALKS, LLC

1735 S Millenium Way
Meridian ID 83642

Invoice

Date	Invoice #
3/18/2008	08-3042

Bill To
Petra 1097 N. Rosario St. Meridian, ID 83642

Meridian City Hall

Due Date	P.O. No.
4/10/2008	City Hall

Quantity	Description	Rate	Amount
1	Heating Rental, visqueen, and set up \$1175 <i>DGL</i> Job Name: <i>MCH</i> Job Number: <i>060675</i> Cost Code: <i>07-630</i> Authorized by: <i>[Signature]</i> Date Posted: <i>1/1/08</i> By: <i>[Signature]</i> Budget: _____ Over Budget: _____	1,175.00	1,175.00
	<i>Winter Conditions</i>		
		Total	\$1,175.00

Phone #	Fax #
(208)955-9000	(208)955-9050

Payments/Credits	\$0.00
Balance Due	\$1,175.00



6679 S Supply Way
Boise ID 83716-
(208) 433-0933 (208) 433-0935
www.mjsbackhoe.com

INVOICE

Invoice No: 434
Date: 3/31/2008
Due Date: 4/30/2008

Bill To:

Petra Contractors
1097-N Rosario
Meridian ID 83642

Job No: 7004
Description: MERIDIAN CITY HALL
PO #:

Quantity	Description	Unit Price	Extended Price
1.00	FWA 12/5/07	311.00	311.00
1.00	FWA 12/20/07	311.00	311.00
1.00	FWA 1/4/08	220.00	220.00
0.02	2% BOND INCREASE	850.00	17.00

No BOND

Job Name: McX
 Job Number: 86-0675
 Cost Code: 01-630
 Authorized by: [Signature]
 Date Posted: By:
 Budget:
 Over Budget:

WINTER CONDITIONS -

842

Thank You For Your Business!

Amount Now Due:

~~859.00~~

Terms: Thirty Days from Invoice

002088



6679 S. Supply Way
Boise, ID 83716

License RCE-8597

Phone: (208) 433-0933
Fax: (208) 433-0935

PROJECT: Meridian City Hall

TRANSMITTAL

NO. 62

TO: Petra Contractors
1097 N. Rosario Street
Meridian, ID 83642
Phone:208-323-4500 Fax:208-323-4507

DATE: 04/01/2008
REF: Direct inv. For COR #10 -
FWA 12/5/07 - 1/4/08

ATTN: Tom Coughlin

JOB: 7004

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input checked="" type="checkbox"/> As Requested	<input checked="" type="checkbox"/> Resubmit
<input checked="" type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input type="checkbox"/> Submit
<input type="checkbox"/> Plans	<input type="checkbox"/> Other:	<input type="checkbox"/> Returned
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned for Corrections
<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Due Date:
<input checked="" type="checkbox"/> Other: Invoice	<input type="checkbox"/> Separate Cover Via:	<input type="checkbox"/> Other:

SUBMITTAL	DRAWING	ITEM NO.	COPIES	DATE	DESCRIPTION
		1		03/31/2008	Direct invoice work per your request

REMARKS:

Please call if you have any questions. Thank you.

Signed: Chris Apostolou
Chris Apostolou

Date: 04/01/2008



6679 S. Supply Way
Boise, ID 83716

License RCE-8597

Phone: (208) 433-0933
Fax: (208) 433-0935

PROJECT: Meridian City Hall

TRANSMITTAL

NO. 49

DATE: 01/31/2008

REF: Change Order Request #10
FWA 12/5 - 1/4/08

TO: Petra Contractors
1097 N. Rosario Street
Meridian, ID 83642
Phone: 208-323-4500 Fax: 208-323-4507

JOB: 7004

ATTN: Tom Coughlin

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input type="checkbox"/> As Requested	<input type="checkbox"/> Resubmit
<input checked="" type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input checked="" type="checkbox"/> Submit
<input type="checkbox"/> Plans	<input type="checkbox"/> Other:	<input type="checkbox"/> Returned
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned for Corrections
<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Due Date:
<input type="checkbox"/> Other:	<input type="checkbox"/> Separate Cover Via:	<input type="checkbox"/> Other:

SUBMITTAL	DRAWING	ITEM NO.	COPIES	DATE	DESCRIPTION
		1		01/31/2008	COR #10 - FWA work 12/5 - 1/4/08

REMARKS:

Please call if you have any questions. Thank you.

P.S. I would also like to follow up on RCO #s 8 and 9. They are the only outstanding change orders to date and I believe they may be causing a hold up on our payment for December. Please let me know. Thank you.

Signed: Chris Apostolou
Chris Apostolou

Date: 01/31/2008

MJ'S Backhoe & Excavation, Inc
6679 S Supply Way
Boise, ID 83716

Change Order

Status: Estimated

Date: 01/31/08
Internal CO: 10
Internal Job No: 7004

Petra Contractors
1097 N Rosario
Meridian, ID 83642

MERIDIAN CITY HALL
1097 N Rosario
Meridian, ID 83642

Attn:
Owner CO No: COR #10

invoice - pay direct

FORCED WORK FROM 12/5/07 THROUGH 1/4/08	0.00
FVA 12/5/07	311.00
FVA 12/20/07	311.00
FVA 1/4/08	220.00
2% BOND INCREASE	17.00

Total this Change Order:	859.00
Original Contract:	610,314.00
Previously Approved Change Orders:	162,782.00
Revised Contract to Date:	773,955.00

Accepted Date: _____ Accepted By: _____

Please sign and return a copy as soon as possible

WORK ORDER

**PETRA
INCORPORATED**

JOB #
OWNER: City of Meridian

PROJECT NAME: Meridian City Hall **DATE:** 12/5/2008

ADDRESS: _____

DESCRIPTION OF WORK: Repair BMP to site off Broadway

LABOR MJ'S		OCCUPATION	STANDARD		OVERTIME		AMOUNT
NAME	HOURS		RATE	HOURS	RATE		
JIM GORDON		FOREMAN	1	\$ 48			\$ 48
				\$ 36			\$ -
				\$ 35			\$ -
			0	\$ 36			\$ -
			0	\$ 36			\$ -
			0	\$ 36			\$ -
SUBTOTAL					0		\$ 48
EQUIPMENT		INVOICE	QUANTITIES	UNITS	RENTAL RATE		AMOUNT
					PRICE		
950 4-YARD LOADER				1	\$ 79		\$ 79
315 EXCAVATOR				0	\$ 89		\$ -
310SG JD BACKHOE				0	\$ 54		\$ -
260 SKIDSTEER				0	\$ 49		\$ -
TK #12 W/ PUP				1	\$ 54		\$ 54
TK #32 SINGLE				0	\$ 39		\$ -
				0	\$ 49		\$ -
SUBTOTAL							\$ -
SUPPLIES & MATERIAL		INVOICE	QUANTITIES	UNITS	PRICE		AMOUNT
Ada Sand & Gravel		Drain rock	15.68	cy	6.25/cy + tx		\$ 104
							\$ -
							\$ -
							\$ -
							\$ -
SUBTOTAL							\$ 104
CONTRACTOR SIGNATURE		SUMMARY					AMOUNT
		LABOR					\$ 48
		EQUIPMENT RENTAL					\$ 133
		PERMITS					
		SUPPLIES & MATERIAL					\$ 104
		SUBTOTAL					\$ 283
PETRA SUPERINTENDENT		PETRA OVERHEAD & PROFIT					\$ 28
					TOTAL	\$ 311	

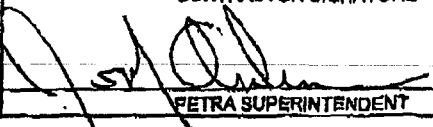
WORK ORDER

**PETRA
INCORPORATED**

JOB # _____
OWNER: City of Meridian

PROJECT NAME: Meridian City Hall DATE: 12/5/2007

ADDRESS: _____
DESCRIPTION OF WORK: repair BMP to site off Broadway.

LABOR MJS		STANDARD		OVERTIME		AMOUNT
NAME	OCCUPATION	HOURS	RATE	HOURS	RATE	
Jim	OPERATOR	1				
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
SUBTOTAL		1		0		
EQUIPMENT		DAYS	HOURS	RENTAL RATE		AMOUNT
950			1			
SUBTOTAL						
SUPPLIES & MATERIAL		INVOICE	QUANTITIES	UNITS	PRICE	AMOUNT
drain rock			16.88 yds			
SUBTOTAL						
CONTRACTORS		NOTES				AMOUNT
SUBTOTAL						
CONTRACTOR SIGNATURE		SUMMARY				AMOUNT
 PETRA SUPERINTENDENT		LABOR				
		EQUIPMENT RENTAL				
		PERMITS				
		SUPPLIES & MATERIAL				
		SUBCONTRACTOR				
		PETRA OVERHEAD & PROFIT				
		TOTAL				

Received Time Jan. 5. 12:07PM

MJ'S backhoe & Excavation, Inc.

1050

6679 S. Supply Way * Boise, ID 83716 * Phone (208) 433-0933 * Fax (208) 433-0935

Daily Report

JOB NAME/NO. Meridian C. by Hall
JOB ADDRESS _____
CONTRACTOR/SUPER. Jon

DATE 12-5-07
WEATHER/CONDITIONS Clear
TEMPERATURE: HIGH 45 LOW 40

MANPOWER	HOURS	EQUIPMENT	HOURS
<u>Jim</u>	<u>9</u>	<u>950</u>	<u>9</u>
<u>TRINITY</u>	<u>9</u>	<u>310 SG</u>	<u>4</u>
<u>Phillip</u>	<u>9</u>	<u>SKIDSTEER</u>	<u>0</u>
<u>Boss</u>	<u>10</u>	<u>BAT POWER</u>	<u>0.5</u>
<u>MARK</u>	<u>10.5</u>		
<u>BILL</u>	<u>4.5</u>		
<u>SCOTT</u>	<u>7</u>		

MATERIALS/SUBCONTRACT

- INV# TRK 12 - PISTRUN - 209.14 yds - ADA - PLAZA SUBGRADE
- INV# SK - DRAIN ROCK - 15.67 yds - ADA - REPAIR NORTH EMP #1
- INV# _____
- INV# TRK 12 - P/R - 95.24 yds - ADA - PLAZA SUBGRADE
- INV# _____
- INV# TRK 22 - P/R - 62.63 yds - ADA - PLAZA SUBGRADE
- INV# _____
- INV# TRK 32 - P/R - 127.19 yds - ADA - PLAZA SUBGRADE
- INV# _____
- INV# _____
- INV# _____
- INV# _____
- INV# _____

WORK COMPLETED/COMMENTS:

SEWER INSPECTED & BACKFILLED (NO PRESSURE TEST TO BE DONE DUE TO TAP) GRAYED W/ INSULATION (CITY OF MERIDIAN) 100% COMPLETE

BUILDING PLAZA GRADE W/ PISTRUN (NORTH HALF), WORKING LATE FOR PLANE PAD BUILDING.

400T DEMONSTRATED 3500 RENTAL / MOVED CAT ROLLER

OPENED ROADWAY FOR TRAFFIC (AHEAD) (NOTIFIED / APPROVED)

CLEAN SWEEP - CLEANING ROADWAY AVE

CHANGE ORDERS:

FOREMAN'S SIGNATURE: 

NOTES ON REVISION Received Time=Jan. 5.=12:07PM

WORK ORDER

**PETRA
INCORPORATED**

JOB #
OWNER: City of Meridian

PROJECT NAME: Meridian City Hall DATE: 12/20/2007
 ADDRESS:
 DESCRIPTION OF WORK: Repair east entrance from rain / weather

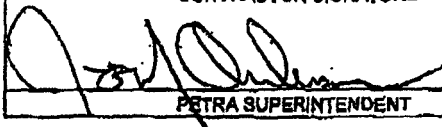
LABOR MJS		STANDARD		OVERTIME		AMOUNT
NAME	OCCUPATION	HOURS	RATE	HOURS	RATE	
JIM GORDON	FOREMAN	1.5	\$ 46			\$ 69
			\$ 36			\$ -
			\$ 36			\$ -
		0	\$ 36			\$ -
		0	\$ 36			\$ -
		0	\$ 36			\$ -
SUBTOTAL				0		\$ 69
EQUIPMENT		DAYS	HOURS	RENTAL RATE		
950 4-YARD LOADER			0	\$ 79		\$ -
315 EXCAVATOR			0	\$ 89		\$ -
310SG JD BACKHOE			1.5	\$ 54		\$ 81
260 SKIDSTEER			0	\$ 49		\$ -
TK #12 W/ PUP			0	\$ 54		\$ -
TK #62 ENDUMP			1.5	\$ 49		\$ 74
SUBTOTAL			0	\$ 49		\$ -
SUPPLIES & MATERIAL		INVOICE	QUANTITIES	UNITS	PRICE	\$ 155
Ada Sand & Gravel		Pit run	20	cy	2.75/cy + tx	\$ 59
SUBTOTAL						\$ 59
SUMMARY						AMOUNT
LABOR						\$ 69
EQUIPMENT RENTAL						\$ 155
CONTRACTOR SIGNATURE PERMITS						\$ -
SUPPLIES & MATERIAL						\$ 59
SUBTOTAL						\$ 283
PETRA OVERHEAD & PROFIT						\$ 28
PETRA SUPERINTENDENT TOTAL						\$ 311

WORK ORDER

**PETRA
INCORPORATED**

JOB #
OWNER: City of Meridian

PROJECT NAME: Meridian City Hall **DATE:** 12/20/2007
ADDRESS:
DESCRIPTION OF WORK: repair east entrance from rain / weather

LABOR M.J'S		STANDARD		OVERTIME		AMOUNT
NAME	OCCUPATION	HOURS	RATE	HOURS	RATE	
Jim	OPERATOR	1.5				
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
SUBTOTAL		1.5		0		
EQUIPMENT		DAYS	HOURS	RENTAL RATE		
310			1.5			
SUBTOTAL						
SUPPLIES & MATERIAL		INVOICE	QUANTITIES	UNITS	PRICE	
pit run			20 yards			
SUBTOTAL						
CONTRACTORS		NOTES				
SUBTOTAL						
CONTRACTOR SIGNATURE  PETRA SUPERINTENDENT		SUMMARY				AMOUNT
		LABOR				
		EQUIPMENT RENTAL				
		PERMITS				
		SUPPLIES & MATERIAL				
		SUBCONTRACTOR				
PETRA OVERHEAD & PROFIT						
				TOTAL		

Received Time Jan. 5. 12:07PM

002096

CM001705

MJS backhoe & Excavation, Inc.

2462

6679 S. Supply Way * Boise, ID 83716 * Phone (208) 433-0933 * Fax (208) 433-0935

Daily Report

JOB NAME/NO. CITY HALL
JOB ADDRESS _____
CONTRACTOR/SUPER. Jan

DATE 12-20-07
WEATHER/CONDITIONS RAINY
TEMPERATURE: 45 HIGH 40 LOW

MANPOWER	HOURS	EQUIPMENT	HOURS
<u>Jim</u>	<u>1.5</u>	<u>310 561</u>	<u>1.5</u>

MATERIALS/SUBCONTRACT

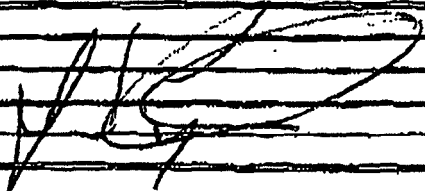
INV # <u>TRK 2</u>
INV # _____
INV # _____
INV # _____
V # _____
Y # _____
INV # _____
INV # _____
INV # _____
INV # _____
INV # _____
INV # _____
INV # _____
INV # _____
INV # _____

WORK COMPLETED/COMMENTS:

REPAIR EAST APPROX - REMOVE UNSUITABLE MATERIALS
AND REPLACE W/ BITUM

REALIZED 31056 / DEMOLISHED

CHANGE ORDERS: _____

FOREMAN'S SIGNATURE: 

NOTES ON RE Received Time Jan. 5 - 12:07PM

WORK ORDER

**PETRA
INCORPORATED**

JOB #
OWNER: City of Meridian

PROJECT NAME: Meridian City Hall DATE: 1/4/2008

ADDRESS: _____

DESCRIPTION OF WORK: Remove temp access ramp into the building at east side

LABOR M.J'S NAME	OCCUPATION	STANDARD		OVERTIME		AMOUNT
		HOURS	RATE	HOURS	RATE	
JR MOREL	SUPERINTENDENT	2	\$ 46			\$ 92
			\$ 36			\$ -
			\$ 36			\$ -
		0	\$ 36			\$ -
		0	\$ 36			\$ -
		0	\$ 36			\$ -
SUBTOTAL				0		\$ 92
EQUIPMENT		DAYS	HOURS	RENTAL RATE		
950 4-YARD LOADER			0	\$ 79		\$ -
315 EXCAVATOR			0	\$ 89		\$ -
310SG JD BACKHOE			2	\$ 54		\$ 108
260 SKIDSTEER			0	\$ 49		\$ -
TK #12 W/ PUP			0	\$ 54		\$ -
TK #62 ENDUMP			0	\$ 49		\$ -
SUBTOTAL						\$ -
SUPPLIES & MATERIAL		INVOICE	QUANTITIES	UNITS	PRICE	
						\$ 108
						\$ -
						\$ -
						\$ -
						\$ -
						\$ -
SUBTOTAL						\$ -
CONTRACTOR SIGNATURE		SUMMARY			AMOUNT	
		LABOR			\$	92
PETRA SUPERINTENDENT		EQUIPMENT RENTAL			\$	108
		PERMITS			\$	-
		SUPPLIES & MATERIAL			\$	-
		SUBTOTAL			\$	200
		PETRA OVERHEAD & PROFIT			\$	20
		TOTAL			\$	220

Apr. 1. 2008 11:32AM

MJ ACKHOE AND EXCAVATION, INC.

No. 3337 P. 11/13

T-403 P 002 F-413

WORK ORDER


**PETRA
INCORPORATED**

JOB #
OWNER: City of Meridian

PROJECT NAME: Meridian City Hall DATE: 1/4/2008

ADDRESS:

DESCRIPTION OF WORK: remove temp access ramp into the building at east side.

LABOR MJS		STANDARD		OVERTIME		AMOUNT
NAME	OCCUPATION	HOURS	RATE	HOURS	RATE	
JR	OPERATOR	2				
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
	OPERATOR					
SUBTOTAL		2		0		
EQUIPMENT		DAYS	HOURS	RENTAL RATE		
310			2			
SUBTOTAL						
SUPPLIES & MATERIAL	INVOICE	QUANTITIES		UNITS	PRICE	
SUBTOTAL						
CONTRACTORS	NOTES					
SUBTOTAL						
CONTRACTOR SIGNATURE  PETRA SUPERINTENDENT		SUMMARY				AMOUNT
		LABOR				
		EQUIPMENT RENTAL				
		PERMITS				
		SUPPLIES & MATERIAL				
		SUBCONTRACTOR				
		PETRA OVERHEAD & PROFIT				
				TOTAL		

Received Time Jan. 5. 12:07PM

002099

CM001712



MJ'S BACKHOE & EXCAVATION, INC.

6679 S. Supply Way * Boise, ID 83716
Phn: (208) 433-0933 * Fax (208) 433-0935

Ordered by: John Date: 1-4-08
SOLD TO: Petra
Job Location: City Hall
Customer P.O. No. _____ Job No. _____ Invoice No. _____

<u>EQUIPMENT USED</u>	<u>#</u>	<u>TOTAL HRS</u>	<u>RATE</u>	<u>SUBTOTAL</u>
Mobilization In / Out	<u># 62 4.0</u>	<u>2</u>		
Dump Truck / Single	<u>#</u>			
Dump Truck / End or Pup	<u>#</u>			
Backhoe (4 x 4)	<u>310 56</u>	<u>1</u>		
Mini Excavator				
Skidsteer				
Crawler / Dozer				
Trackhoe Excavator (316L)				
Loader (3 yd bucket)				
Drum Roller 48" / 68"				
Motor Grader (14' Blade)				
Water Truck (4,000 gal.)				
Laborer(s)				
Extra / Rental Equipment:				
Material(s)	<u>Inv. No.</u>			
Permit(s)	<u>No.</u>			
Other Subcontractor(s):	<u>Inv. No.</u>			
			INVOICE TOTAL	

Remarks / Work Done
Mob. on the site. Dig out pit and ramp w/ #10 on east side of building

Operator Jason Marshall Driver Scott
Authorized Signature _____ Date 1-4-08

ISSEE agrees that the owner and/or operators shall NOT be held responsible for any accident or damages resulting from the said equipment operated as directed on the rental basis. NOT responsible for delays beyond our control.
Costs for materials, permits, rental equipment & other subcontractors are subject to a minimum of 10% mark-up for overhead & profit.

Received Time Jan. 5. 12:07PM.

Petra

Contract Allowed Reimb
APPLICATION FOR PAYMENT
Meridian City Hall

City of Meridian
33 East Idaho Street
Meridian, ID 83642

APPLICATION #:
APPLICATION DATE:
PERIOD TO:
PROJECT NAME:
PROJECT NO:

017
3/31/2008
3/31/2008
Meridian City Hall
06-0675

A I T E M	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D ORIGINAL VALUE	E CHANGE ORDERS	F WORK COMPLETED		G TOTAL COMPLETED AND STORED TO DATE	H %	I BALANCE TO FINISH	J RETENTION 0%	K SUB CONTRACTOR	L NET PAYMENT AMOUNT
					FROM PREVIOUS APPLICATION	THIS PERIOD						
	Construction - Not to Exceed										Contract Allowed Re	\$ -
	Project Manager	-	-					0%	-	-		\$ -
	Project Engineer	52,877.00	52,877.00		49,250.70	3,627.00	52,922.70	100%	(45.70)	-		\$ 3,872.00
	Project Superintendent	125,808.00	125,808.00		47,389.20	5,938.80	53,328.00	42%	72,478.00	-		\$ 5,938.80
	Project Foreman	71,311.00	71,311.00		16,281.90	3,137.30	19,419.20	27%	51,891.80	-		\$ 3,137.30
		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
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		-	-					0%	-	-		\$ -
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		-	-					0%	-	-		\$ -
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		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
		-	-					0%	-	-		\$ -
	Total				\$ 112,921.80	\$ 12,748.10	\$ 125,889.90	50%	\$ 124,324.10	\$ -		\$ 12,748.10

e-MAIL K-BIRD -
MAYOR & COUNCIL THAT
THEY ARE AT 100%
OF PROJECT ENGINEERS
TIME.
THEY WILL USE THIS
FOR JUSTIFICATION

CHANGE ORDERS	
C/O #01	
TOTAL - Change Orders	
TOTAL CONTRACT AMOI	

			0%	-	-		\$ -
			0%	-	-		\$ -
			0%	-	-		\$ -
			0%	-	-		\$ -
\$			0%	-	-		\$ -
\$	112,921.80	12,748.10		125,889.90	50%	124,324.10	\$ -

**CITY HALL PROJECT
APPROVED FOR PAYMENT**

PO# 07-0186
Contract # _____
Purchasing Agent Approval: _____
Council Approval: _____

POSTED
08-376

*pd 5-1-08
ck 81485*

002101

PETA

LEEDS
APPLICATION FOR PAYMENT
Meridian City Hall

City of Meridian
33 East Idaho Street
Meridian, ID 83642

APPLICATION #:
APPLICATION DATE:
PERIOD TO:
PROJECT NAME:
PROJECT NO:

017
3/31/2008
3/31/2008
Meridian City Hall
06-0676

ITEM	DESCRIPTION OF WORK	SCHEDULED VALUE	ORIGINAL VALUE	CHANGE ORDERS	WORK COMPLETED		TOTAL COMPLETED AND STORED TO DATE	%	BALANCE TO FINISH	RETENTION 0%	K	NET PAYMENT AMOUNT
					FROM PREVIOUS APPLICATION	THIS PERIOD						
	LEED Wages	155,000.00	155,000.00		7,306.27	5,596.87	12,903.14	8%	142,096.86	-	LEEDS	\$ 5,596.87
	LEED Costs	50,000.00	50,000.00			1,455.97	1,455.97	3%	48,544.03	-		\$ 1,455.97
								0%				\$ -
								0%				\$ -
								0%				\$ -
								0%				\$ -
								0%				\$ -
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								0%				\$ -
								0%				\$ -
								0%				\$ -
								0%				\$ -
Total		\$ 205,000.00	\$ 205,000.00	\$ -	\$ 7,306.27	\$ 7,052.84	\$ 14,359.11	7%	\$ 190,640.89	\$ -		\$ 7,052.84

CHANGE ORDERS		C	D	E	F	G	H	I	J	K	L
C/O #01											
		-				-		0%			\$ -
								0%			\$ -
								0%			\$ -
TOTAL - Change Orders		\$ -	\$ -	\$ -	\$ -			0%			\$ -

TOTAL CONTRACT AMOUNT:	\$ 205,000.00	\$ 205,000.00	\$ -	\$ 7,306.27	\$ 7,052.84	\$ 14,359.11	7%	\$ 190,640.89	\$ -		\$ 7,052.84
------------------------	---------------	---------------	------	-------------	-------------	--------------	----	---------------	------	--	-------------

*Pd 5-1-08
CK 81485*

POSTED
08-3-08

CITY HALL PROJECT
APPROVED FOR PAYMENT
PO # 08-0136

Contract # _____
Purchasing Agent Approval: _____
Council Approval: _____

Date: 04/02/2008

*** JOB COST DETAIL - BY LINE ITEM ***

Report Code: 28.81

Time: 09:40:49 AM

(job history only)

Page: 1

Company No. 1 PETRA Incorporated

Printing: Open Jobs Only Job Range 060675 thru 060675

Phase Codes 01 thru 01 Cost Codes 180 thru 180 Period Range: 3, 2008 thru 3, 2008

TYPE	PHASE	COST	CHG	JOURN	---REFERENCE---	VEND	-----G/L-----	MTL/EQP	UNITS	LAB/EQP	PERIOD
		CODE	ORD	#	DATE	NO	CUST	PERIOD	ACCOUNT	HOURS	AMOUNT

Job No: 060675 Meridian City Hall

COST	01	180	LEED Activity								
	OTH		MERIDIAN CITY HALL	AP363	03/07/08	2265	ALLSIG	3	2008	4060	233.73
	OTH	4856200205255238	Gene B.	AP445	03/01/08	080301k	WFBUS	3	2008	4060	300.00
	OTH	4798531205486253	Jon A	AP496	03/11/08	080311x	USBANK	3	2008	4060	479.37
	OTH	4798531205486253	Jon A	AP496	03/11/08	080311x	USBANK	3	2008	4060	118.55
	OTH	4798531205486253	Jon A	AP496	03/11/08	080311x	USBANK	3	2008	4060	314.06
	OTH	4798531205486253	Jon A	AP496	03/11/08	080311x	USBANK	3	2008	4060	10.26
	BRD		frm 01-405	JC214	04/01/08		mjp	3	2008	4040	28.60
	LAB		frm 01-405	JC214	04/01/08		mjp	3	2008	4030	8.00 176.88
	LAB		P/R PE 03/01/08	PR097	03/01/08			3	2008	4030	42.00 977.52
	BRD		P/R PE 03/01/08	PR097	03/01/08			3	2008	4040	223.26
	LAB		P/R PE 03/08/08	PR098	03/08/08			3	2008	4030	52.00 1,238.84
	BRD		P/R PE 03/08/08	PR098	03/08/08			3	2008	4040	269.92
	LAB		P/R PE 03/15/08	PR099	03/15/08			3	2008	4030	49.00 1,142.62
	BRD		P/R PE 03/15/08	PR099	03/15/08			3	2008	4040	247.93
	LAB		P/R PE 03/22/08	PR100	03/22/08			3	2008	4030	45.00 1,061.79
	BRD		P/R PE 03/22/08	PR100	03/22/08			3	2008	4040	229.51
										196.00	7,052.84

Job Period Cost: 7,052.84



P.O. Box 9416
 Nampa, Idaho 83652
 (208) 468-0520
 FAX: 468-0020

Invoice

Date	Invoice #
3/7/2008	2265

Bill To
Petra Incorporated Attn. Accounts Payable 1097 N. Rosario Street Meridian, Idaho 83642

Ship To
McHall 060675 LEED

P.O. No.	Ship Date	Ship Via	Terms	Due Date
KC	3/7/2008	Delivered	Net 30	4/6/2008

Qty.	Description	Price Each	Amount
2	7" x 24", White Decals with Red lettering. Both in English & Spanish. "Cardboard Only"	21.00	42.00T
2	10" x 36", White Decals with Red lettering. Both in English & Spanish. "Cardboard Only"	39.75	79.50T
50	2" x 4" Custom Oval Shaped 3 Color Petra/Meridian Stickers.	1.98	99.00T

Job Name: McH
 Job Number: 060675
 Cost Code: 01-00 01-180
 Authorized by: [Signature]
 Date Posted: _____ By: _____
 Budget: _____
 Over Budget: _____
 LEED

ENTERED
MAR 7 2 2008

Subtotal	\$220.50
Sales Tax (6.0%)	\$13.23
Total	\$233.73
Payments/Credits	\$0.00
Balance Due	\$233.73

TERMS: Invoices unpaid within 30 days will be past due and subject to a 1.8% Service Charge per month, 21% Annual rate.

OFFICE DEPOT

LEED

Max

OFFICE DEPOT
OFFICE DEPOT

3545 E FAIRVIEW AVENUE
MERIDIAN, ID 83642

208-887-9628

SALE STR2087 REG001 TRN3496
02/08/08 09:41 EMP 528189 POS 5.05

785414106004	SCNR, FLTBD, 510	349.99
072782114574	INDEX MKD, BT B, 5ST	29.99
735854133160	CBL, USB 2. A/B 16'	39.99
021200513985	TAB, POST-IT, DURABL	6.29
097855033819	MSE, OPTL, CRDLS, LX5	14.99
039800035066	BAT, LITHIUM, AA, 4/P	10.99

SUBTOTAL 452.24

ID 6% SALES TAX 27.13

TOTAL 479.37

VISA 6253 479.37

06-06-08
01-140

For a chance to Win
One of 40-\$100 or 1-\$1000
Quarterly Shopping Sprees.

visit www.od.biznate.com
En Español

OFFICE DEPOT

ID: 3WKX9 32FX9 CZMV1



LVTAGAPMMQ5RECRF

060675
01-180



LOWE'S HOME CENTERS, INC.
305 WEST OVERLAND ROAD
MERIDIAN, ID 83642
(208)855-5160

-SALE-

SALES #: S2792SJ2 1212502 02-14-08

242129 100' 14/3 OUTDOOR CORD 111.84
4 @ 27.96

SUBTOTAL: 111.84

TAX: 6.71

INVOICE 10079 TOTAL: 118.55

BALANCE DUE: 118.55

[Handwritten signature]

VISA: 118.55

VISA XXXXXXXXXXXX6253 904124

AMOUNT: 118.55

[Handwritten signature]

2792 TERMINAL: 10 02/14/08 08:42:59

OF ITEMS PURCHASED: 4

THE HOME DEPOT 1804
1100 SO. PROGRESS MERIDIAN, ID 83642
STORE MGR. BRIAN JENSEN (208)887-9699

SALE 1804 0002 33502 02/27/08
61 MCC2FX 10:54 AM

*mzh
Lead*



*060675
01-180*

047034360991 HW RED RSN <A>	
12012.97	155.64
026703055550 HOMER BUCKET <A>	
204.98	9.96
021200958335 MASKING TAPE <A>	
3014.97	44.91
051115092213 LONG MASK <A>	32.97
084298012297 FOAM KNEEPAD <A>	
408.98	35.92
024500663305 HDRETKNIFE <A>	
203.97	7.94
820909330042 HSKYBLD/DISP <A>	8.94
	SUBTOTAL 296.28
	SALES TAX 17.78
	TOTAL \$314.06
XXXXXXXXXXXX6253 VISA	314.06
AUTH CODE 117255/3026989	TA



1804 02 33502 02/27/2008 8057

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES ON
A 1 90 05/27/2008

THE HOME DEPOT RESERVES THE RIGHT TO
LIMIT / DENY RETURNS. PLEASE SEE THE
RETURN POLICY SIGN IN STORES FOR
DETAILS.

NOBODY BEATS OUR PRICES... GUARANTEED.
SEE STORE FOR 10% PRICE GUARANTEE
DETAILS.

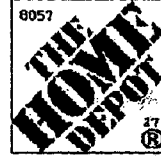
002107

CM001720

THE HOME DEPOT 1804
1100 SO. PROGRESS AVE. MERIDIAN, ID 83642
STORE MGR. BRIAN JENSEN (208)887-9699

SALE 1804 00002 33551 02/27/08
61 MCC2FX 11:03 AM

MCH
Lead



000025
01-180

070826161858 5LB RAGS <A> 9.68
SALES TAX 0.58
TOTAL \$10.26
XXXXXXXXXXXX6253 VISA 10.26
AUTH CODE 217240/3026990 TA



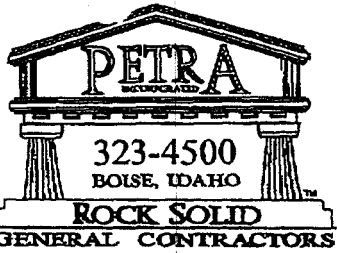
1804 02 33551 02/27/2008 8057

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES ON
A 1 90 05/27/2008

THE HOME DEPOT RESERVES THE RIGHT TO
LIMIT / DENY RETURNS. PLEASE SEE THE
RETURN POLICY SIGN IN STORES FOR
DETAILS.

NOBODY BEATS OUR PRICES...GUARANTEED.
SEE STORE FOR 10% PRICE GUARANTEE
DETAILS.

Last Name: Adam Johnson



TIME CARD

WEEK ENDING: 3/1/2008
Conversion Rate

EMPLOYEE:

JOB NUMBER	JOB NAME	DESCRIPTION	WORK CODE	02/24/08 Sunday	02/25/08 Monday	02/26/08 Tuesday	02/27/08 Wednesday	02/28/08 Thursday	02/29/08 Friday	03/01/08 Saturday	TOTAL HOURS
06-0675	Meridian City Hall		01-405								
06-0675	MCH-LEED Verification and Documentation		01-180		8.00	8.00	8.00	8.00	8.00		40
07-0710	Boise Neighborhood Library		01-405								
TOTAL PROJECT MANAGEMENT					8.00	8.00	8.00	8.00	8.00		40.00
TOTAL VACATION/PERSONAL HOURS**											
			Vacation								
			Personal								
			Holiday								
TOTAL OVERHEAD HOURS											
			Marketing 01-402								
			Bidding/Estimating 01-415								
TOTAL HOURS EACH DAY					8.00	8.00	8.00	8.00	8.00		40.00
										Must work	40.00

** Allocation of time is required under 'Project Management' hours to ensure proper distribution of time

PROJECT MANAGER APPROVAL

Hours Over (Under)

40

T-551 P.001/003 F-779
6 MAR 2008 11:14AM FROM

T-551 P.003/003 F-779



EMPLOYEE Scott

LAST NAME Trepagnier

Project Manager Approval _____

Week Ending 3-1-08

Project Superintendent Approval _____

OFFICE USE ONLY
SUPERINTENDENT APPROVAL
INITIAL EACH LINE ITEM

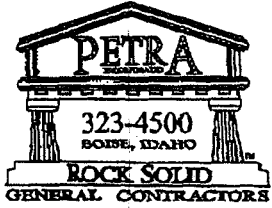
Job Number	Job Name	Description of Work	Work Code	Job Classification	S	M	T	W	T	F	S	Total Hours	Super Initials
	MCH			Assistant Superintendent									
06-0675	MCH		01-430			6	6	6	6	6		30	
	MCH	LEED	01-180			2	2	2	2	2		10	
	MCH	HOLIDAY											
	MCH	SICK LEAVE											
Total						8	8	8	8	8		40	

- | | | | | |
|-----------------------------------|-------------------------------------|-----------------------------|-------------------------|-------------------------------------|
| 01-485 Twice Weekly Clean-up | 03-1321 Foundation/Footing Formwork | 03-2331 Finish Slab | 03-3234 Panel Formliner | 03-3811 Sack Panel Seals |
| 02-805 Sidewalk - labor | 03-1331 Foundation Stem Walls | 03-2371 Slab Pour Strip | 03-3241 Panel Embed | 06-105 Rough Carpentry - Labor Only |
| 02-900 Landscaping | 03-1371 Drypack AB PL | 03-2811 Sack Slab/Floor | 03-3246 Panel Detailing | 06-200 Finish Carpentry |
| 03-0700 Concrete Clean-up | 03-200 Concrete Reinforcement/Rebar | 03-3111 Panel Layout | 03-3271 Panel Ledger | 09-250 Drywall |
| 03-1244 Foundation Rebar Template | 03-2111 Slab Layout | 03-3211 Panel 2x Edge Form | 03-3311 Panel Pour/Cure | 09-900 Painting |
| 03-1245 Foundation AB Templates | 03-2212 Slab 2x Edgeform | 03-3213 Plestar Form | 03-3331 Panel Finish | |
| 03-1310 Footings - Layout | 03-2240 Slab Embeds | 03-3221 Panel Plywood Forms | 03-3371 Grout Panels | |
| 03-1311 Pour Footing/Deadmen | 03-2311 Slab Pour and Cure | 03-3231 Panel Reveals | 03-3411 Set Panels | |

Yo certificado yo trabajar _____ hours for the week ending _____ sin dano. Firma _____

I certify that I have worked 40 hours for the week ending 3-1-08 injury free. Signature Scott

MAR-04-2008 11:15AM FROM-



EMPLOYEE Mr. JON
 Project Manager Approval _____
 Project Superintendent Approval _____

LAST NAME ANDERSON

Week Ending 3/08/2007 ²⁰⁰⁷

OFFICE USE ONLY
SUPERINTENDENT APPROVAL
INITIAL EACH LINE ITEM

Job Number	Job Name	Description of Work	Work Code	Job Classification	S	M	T	W	T	F	S	Total Hours	Super Initials
												0	
												0	
												0	
												0	
06-0675	M.C.Hall	meridian city hall	01-420	work like dog		8	8	7	6	7		36	
06-0675	M.C.Hall	leed	01-180	leed				1	2	1		4	
		vacation day										0	
		holiday day										0	
		death and terminally ill day		feel way bad								0	
					0	8	8	8	8	8	0	40	

ENTERED
MAR 1 10 2007

- | | | | | |
|-----------------------------------|-------------------------------------|-----------------------------|-------------------------|-------------------------------------|
| 01-485 Twice Weekly Clean-up | 03-1321 Foundation/Footing Formwork | 03-2331 Finish Slab | 03-3234 Panel Formliner | 03-3811 Sack Panel Seals |
| 02-805 Sidewalk - labor | 03-1331 Foundation Stem Walls | 03-2371 Slab Pour Strip | 03-3241 Panel Embed | 06-105 Rough Carpentry - Labor Only |
| 02-900 Landscaping | 03-1371 Drypack AB PL | 03-2811 Sack Slab/Floor | 03-3246 Panel Detailing | 06-200 Finish Carpentry |
| 03-0700 Concrete Clean-up | 03-200 Concrete Reinforcement/Rebar | 03-3111 Panel Layout | 03-3271 Panel Ledger | 09-250 Drywall |
| 03-1244 Foundation Rebar Template | 03-2111 Slab Layout | 03-3211 Panel 2x Edge Form | 03-3311 Panel Pour/Cure | 09-900 Painting |
| 03-1245 Foundation AB Templates | 03-2212 Slab 2x Edgeform | 03-3213 Pilaster Form | 03-3331 Panel Finish | |
| 03-1310 Footings - Layout | 03-2240 Slab Embeds | 03-3221 Panel Plywood Forms | 03-3371 Grout Panels | |
| 03-1311 Pour Footing/Deadmen | 03-2311 Slab Pour and Cure | 03-3231 Panel Reveals | 03-3411 Set Panels | |

DAVIS BACON CODE LEGEND

C = Carpenter
 L1 = Laborer Group 1
 L2 = Laborer Group 2
 L3 = Laborer Group 3
 PE01 = Power Equipment Operator Group 1
 PE02 = Power Equipment Operator Group 2

Yo certificado yo trabajar _____ hours for the week ending _____ sin dano. Firma _____
 I certify that I have worked 40 hours for the week ending 3-8-07 injury free. Signature _____

4



Last Name: Adam Johnson

TIME CARD

WEEK ENDING: 3/8/2008
Conversion Rate

EMPLOYEE:

JOB NUMBER	JOB NAME	DESCRIPTION	WORK CODE	03/02/08 Sunday	03/03/08 Monday	03/04/08 Tuesday	03/05/08 Wednesday	03/06/08 Thursday	03/07/08 Friday	03/08/08 Saturday	TOTAL HOURS
06-0675	Meridian City Hall		01-405								
06-0675	MCH-LEED Verification and Documentation		01-180		8.00	8.00	8.00	8.00	8.00		
07-0710	Boise Neighborhood Library		01-405								
TOTAL PROJECT MANAGEMENT					8.00	8.00	8.00	8.00	8.00		40.00
TOTAL VACATION/PERSONAL HOURS**											
			Vacation								
			Personal								
			Holiday								
TOTAL OVERHEAD HOURS											
			Marketing 01-402								
			Bidding/Estimating 01-415								
TOTAL HOURS EACH DAY					8.00	8.00	8.00	8.00	8.00		40.00
										Must work	40.00

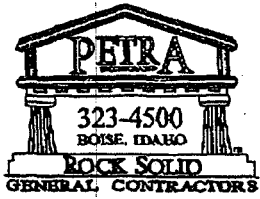
ENTERED
MAR 11 2008

* Allocation of time is required under 'Project Management' hours to ensure proper distribution of time

PROJECT MANAGER APPROVAL: Eugene Bonnett Adam Johnson

Hours Over (Under) 40

02112



EMPLOYEE Scott

LAST NAME Trepagnier

Project Manager Approval _____
 Project Superintendent Approval _____

Week Ending 3-8-08

"OFFICE USE ONLY"
SUPERINTENDENT APPROVAL
INITIAL EACH LINE ITEM

Job Number	Job Name	Description of Work	Work Code	Job Classification	S	M	T	W	T	F	S	Total Hours	Super Initials
	MCH			Assistant Superintendent									
06-0675	MCH		01-430			7	7	6	6	6		32	
	MCH	LEED	01-180			1	1	2	2	2		8	
	MCH	HOLIDAY											
	MCH	SICK LEAVE											
Total						8	8	8	8	8		40	

- 01-485 Typing Weekly Clean-up
- 02-805 Sidewalk - labor
- 02-900 Landscaping
- 03-0700 Concrete Clean-up
- 03-1244 Foundation Rebar Template
- 03-1245 Foundation AB Templates
- 03-1310 Footings - Layout
- 03-1311 Pour Footing/Deadmen
- 03-1321 Foundation/Footing Formwork
- 03-1331 Foundation Stem Walls
- 03-1371 Drypack AB PL
- 03-200 Concrete Reinforcement/Rebar
- 03-2111 Slab Layout
- 03-2212 Slab 2x Edgeform
- 03-2240 Slab Embeds
- 03-2311 Slab Pour and Cure
- 03-2331 Finish Slab
- 03-2371 Slab Pour Strip
- 03-2811 Sack Slab/Floor
- 03-3111 Panel Layout
- 03-3211 Panel 2x Edge Form
- 03-3213 Plaster Form
- 03-3221 Panel Plywood Forms
- 03-3231 Panel Reveals
- 03-3234 Panel Formliner
- 03-3241 Panel Embed
- 03-3246 Panel Detailing
- 03-3271 Panel Ledger
- 03-3311 Panel Pour/Cure
- 03-3331 Panel Finish
- 03-3371 Grout Panels
- 03-3311 Set Panels
- 03-3811 Sack Panel Seals
- 06-105 Rough Carpentry - Labor Only
- 06-200 Finish Carpentry
- 09-250 Drywall
- 09-900 Painting

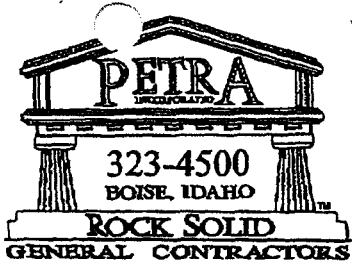
Yo certificado yo trabajar _____ hours for the week ending _____ sin dano. Firma _____

I certify that I have worked 40 hours for the week ending 3-8-08 injury free. Signature Scott J

ENTERED
MAR 10 2008

8

Last Name: Adam Johnson



TIME CARD

WEEK ENDING: 3/15/2008

Conversion Rate

EMPLOYEE:

JOB NUMBER	JOB NAME	DESCRIPTION	WORK CODE	03/09/08 Sunday	03/10/08 Monday	03/11/08 Tuesday	03/12/08 Wednesday	03/13/08 Thursday	03/14/08 Friday	03/15/08 Saturday	TOTAL HOURS
06-0675	Meridian City Hall		01-405								
06-0675	MCH LEED	Verification and Documentation	01-180		8.00	8.00	8.00	8.00	8.00		
07-0710	Boise Neighborhood Library		01-405								
TOTAL PROJECT MANAGEMENT					8.00	8.00	8.00	8.00	8.00		40.00
TOTAL VACATION/PERSONAL HOURS**											
			Vacation								
			Personal								
			Holiday								
TOTAL OVERHEAD HOURS											
			Marketing 01-402								
			Bidding/Estimating 01-415								
TOTAL HOURS EACH DAY					8.00	8.00	8.00	8.00	8.00		

** Allocation of time is required under 'Project Management' hours to ensure proper distribution of time. **Must work 40.00**

PROJECT MANAGER APPROVAL:

Adam Johnson

 MAR 17 2008

Hours Over (Under) 40

T-583 P.001/001 F-891

FROM: MAR-17-2008 02:03PM



EMPLOYEE Mr. JON LAST NAME ANDERSON

Project Manager Approval _____
 Project Superintendent Approval _____

Week Ending 3/ 15/ 2008

OFFICE USE ONLY
 SUPERINTENDENT APPROVAL
 INITIAL EACH LINE ITEM

Job Number	Job Name	Description of Work	Work Code	Job Classification	S	M	T	W	T	F	S	Total Hours	Super Initials
												0	
												0	
												0	
												0	
06-0675	M.C.Hall	meridian city hall	01-420	work like dog		8	8	8	6	8		38	
06-0675	M.C.Hall	leed	01-180	leed					2			2	
		vacation day										0	
		holiday day										0	
		death and terminally ill day		feel way bad								0	
					0	8	8	8	8	8	0	40	

- 01-485 Twice Weekly Clean-up
- 02-805 Sidewalk - labor
- 02-900 Landscaping
- 03-0700 Concrete Clean-up
- 03-1244 Foundation Rebar Template
- 03-1245 Foundation AB Templates
- 03-1310 Footings - Layout
- 03-1311 Pour Footing/Deadmen
- 03-1321 Foundation/Footing Formwork
- 03-1331 Foundation Stem Walls
- 03-1371 Drypack AB PL
- 03-200 Concrete Reinforcement/Rebar
- 03-2111 Slab Layout
- 03-2212 Slab 2x Edgeform
- 03-2240 Slab Embeds
- 03-2311 Slab Pour and Cure
- 03-2331 Finish Slab
- 03-2371 Slab Pour Strip
- 03-2811 Sack Slab/Floor
- 03-3111 Panel Layout
- 03-3211 Panel 2x Edge Form
- 03-3213 Pilaster Form
- 03-3221 Panel Plywood Forms
- 03-3231 Panel Reveals
- 03-3234 Panel Formliner
- 03-3241 Panel Embed
- 03-3246 Panel Detailing
- 03-3271 Panel Ledger
- 03-3311 Panel Pour/Cure
- 03-3331 Panel Finish
- 03-3371 Grout Panels
- 03-3411 Set Panels
- 03-3811 Sack Panel Seats
- 06-105 Rough Carpentry
- 06-200 Finish Carpentry
- 09-250 Drywall
- 09-900 Painting

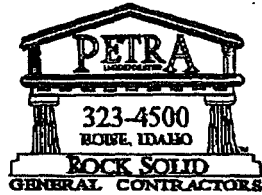
ENTERED
 MAR 17 2008

DAVIS BACON CODE LEGEND

C = Carpenter L1 = Laborer Group 1 L2 = Laborer Group 2 L3 = Laborer Group 3
 PE01 = Power Equipment Operator Group 1 PE02 = Power Equipment Operator Group 2

Yo certificado yo trabajar _____ hours for the week ending _____ sin dano. Firma _____

I certify that I have worked 40 hours for the week ending 3-15-08 injury free. Signature [Signature]



EMPLOYEE Scott

LAST NAME Trepagnier

Project Manager Approval _____

Week Ending 3-15-08

Project Superintendent Approval _____

OFFICE USE ONLY
SUPERINTENDENT APPROVAL
INITIAL EACH LINE ITEM

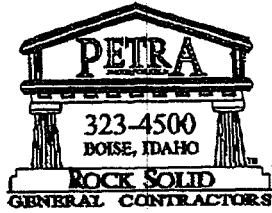
Job Number	Job Name	Description of Work	Work Code	Job Classification	S	M	T	W	T	F	S	Total Hours	Super Initials
	MCH			Assistant Superintendent									
08-0675	MCH		01-430			7	7	6	6	7		33	ST
	MCH	LEED	01-180			1	1	2	2	1		7	ST
	MCH	HOLIDAY											
	MCH	SICK LEAVE											
Total						8	8	8	8	8		40	

ENTERED
MAR 17 2008

- 01-485 Twice Weekly Clean-up
- 03-1321 Foundation/Footing Formwork
- 03-2331 Finish Slab
- 03-3234 Panel Formliner
- 02-805 Sidewalk - labor
- 03-1331 Foundation Stem Walls
- 03-2371 Slab Pour Strip
- 03-3241 Panel Embed
- 02-900 Landscaping
- 03-1371 Drypack AB PL
- 03-2811 Sack Slab/Floor
- 03-3246 Panel Detailing
- 03-0700 Concrete Clean-up
- 03-200 Concrete Reinforcement/Rebar
- 03-3111 Panel Layout
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- 03-3231 Panel Reveals
- 03-3411 Set Panels
- 03-3811 Sack Panel Seals
- 06-105 Rough Carpentry - Labor Only
- 06-200 Finish Carpentry
- 09-250 Drywall
- 09-900 Painting

Yo certificado yo trabajar _____ hours for the week ending _____ sin dano. Firma _____

I certify that I have worked 40 hours for the week ending 3-15-08 injury free. Signature Scott



EMPLOYEE Mr. JON

Project Manager Approval [Signature]

Project Superintendent Approval [Signature]

LAST NAME ANDERSON

Week Ending 3/ 22/ 2008

OFFICE USE ONLY
SUPERINTENDENT APPROVAL
INITIAL EACH LINE ITEM

MAR-21-2008 08:51AM FROM-

Job Number	Job Name	Description of Work	Work Code	Job Classification	S	M	T	W	T	F	S	Total Hours	Super Initials
												0	
												0	
												0	
												0	
												0	
06-0675	M.C.Hall	meridian city hall	01-420	work like dog		8	7	8	7	3		33	[Signature]
06-0675	M.C.Hall	lead	01-180	lead			1		1	1		3	
		vacation day										0	
		holiday day								4		4	[Signature]
		death and terminally ill day		feel way bad								0	
					0	8	8	8	8	8	0	40	[Signature]

- | | | | | |
|-----------------------------------|-------------------------------------|-----------------------------|-------------------------|-------------------------------------|
| 01-485 Twice Weekly Clean-up | 03-1321 Foundation/Footing Formwork | 03-2331 Finish Slab | 03-3234 Panel Formliner | 03-3811 Sack Panel Seats |
| 02-805 Sidewalk - labor | 03-1331 Foundation Stern Walls | 03-2371 Slab Pour Strip | 03-3241 Panel Embed | 06-105 Rough Carpentry - Labor Only |
| 02-900 Landscaping | 03-1371 Drypack AB FL | 03-2811 Sack Slab/Floor | 03-3246 Panel Detailing | 06-200 Finish Carpentry |
| 03-0700 Concrete Clean-up | 03-200 Concrete Reinforcement/Rebar | 03-3111 Panel Layout | 03-3271 Panel Ledger | 09-250 Drywall |
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| 03-1245 Foundation AB Templates | 03-2212 Slab 2x Edgeform | 03-3213 Plaster Form | 03-3331 Panel Finish | |
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| 03-1311 Pour Footing/Deadmen | 03-2311 Slab Pour and Cure | 03-3231 Panel Reveals | 03-3411 Set Panels | |

DAVIS BACON CODE LEGEND

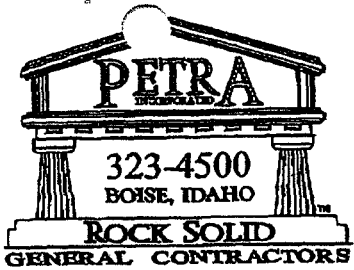
C = Carpenter L1 = Laborer Group 1 L2 = Laborer Group 2 L3 = Laborer Group 3
 PEO1 = Power Equipment Operator Group 1 PEO2 = Power Equipment Operator Group 2

Yo certificado yo trabajar _____ hours for the week ending _____ sin dano. Firma _____

I certify that I have worked 40 hours for the week ending 40 injury free. Signature [Signature] **ENTERED**
MAR 25 2008

T-594 P-003/003 F-934

3



Last Name: Adam Johnson

TIME CARD

WEEK ENDING: 3/22/2008

Conversion Rate

EMPLOYEE:

JOB NUMBER	JOB NAME	DESCRIPTION	WORK CODE	03/16/08 Sunday	03/17/08 Monday	03/18/08 Tuesday	03/19/08 Wednesday	03/20/08 Thursday	03/21/08 Friday	03/22/08 Saturday	TOTAL HOURS
06-0675	Meridian City Hall		01-405								
06-0675	MCH-LEED Verification and Documentation		01-180		8.00	8.00	8.00	8.00	4.00		
07-0710	Boise Neighborhood Library		01-405								
TOTAL PROJECT MANAGEMENT					8.00	8.00	8.00	8.00	4.00		36.00
TOTAL VACATION/PERSONAL HOURS**											
		Vacation							4.00		4.00
		Personal									
		Holiday									
TOTAL OVERHEAD HOURS											
		Marketing	01-402								
		Bidding/Estimating	01-415								
TOTAL HOURS EACH DAY					8.00	8.00	8.00	8.00	8.00		
											40.00

** Allocation of time is required under 'Project Management' hours to ensure proper distribution of time

Must work 40.00

PROJECT MANAGER APPROVAL: *Adam Johnson*

Hours Over (Under)

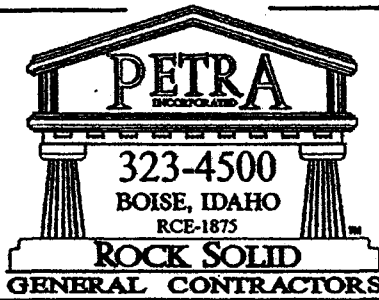
36

002118

MAR-21-2008 08:51AM FROM-

T-594 P.002/003 F-934

0001731



TRANSMITTAL
No. 00242

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

PROJECT: Meridian City Hall # 060675 **DATE:** 5/9/2007
TO: City of Meridian 33 E Idaho Avenue **REF:** CM Plan -- Updated
 Meridian, ID 83642 **PHONE:** 888.4433
ATTN: Keith Watts **FAX:** 887.4813
CELL: 631.6469

WE ARE SENDING	SUBMITTED BY	COMMENTS
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input checked="" type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input type="checkbox"/> Plans		<input type="checkbox"/> Submit
<input type="checkbox"/> Samples		<input type="checkbox"/> Returned
<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Returned for Corrections
<input checked="" type="checkbox"/> Other:	<input type="checkbox"/> Separate Cover Via: Hand Delivered	<input type="checkbox"/> Due Date:

ITEM NO. COPIES DATE ITEM NUMBER REV. NO. DESCRIPTION STATUS

1 1 5/9/2007 Construction Management Plan (Updated NA
5-09-07) without section a-iii and section
C.

Remarks: Keith:

I did not include the Project Phases & Bid Packages, as the Phases have not changed and the bid packages are currently being, based on the Phase III--Finishes & MEP design.

The budget section was also not copied again as the baseline cost is established for Phase II and Phase III is just getting ready to go out to bid.

RFP #15, Item #5

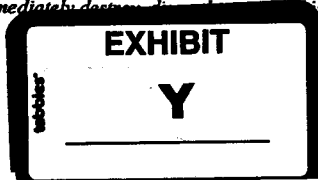
CC: File

Signed: _____

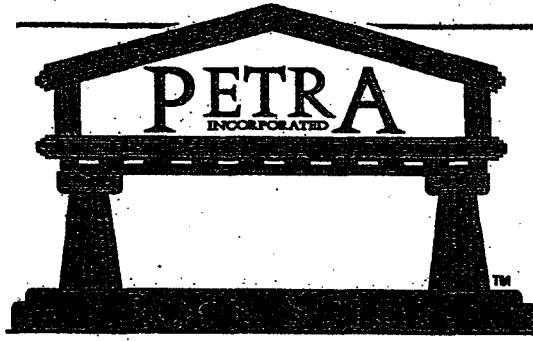
Wes Bettis

Expedition ©

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002 Petra93105



Item 33. a

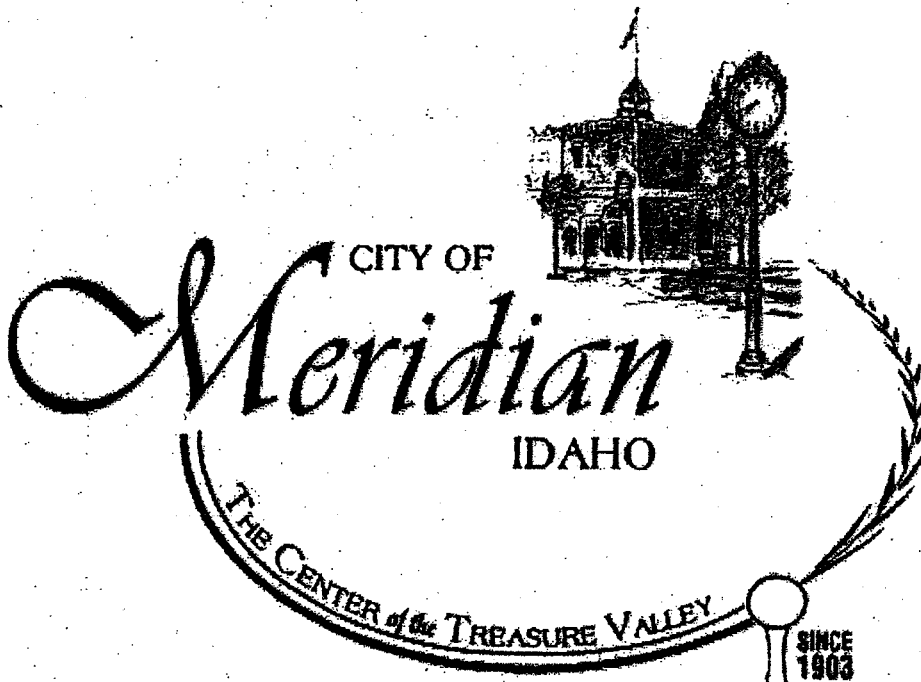
GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

CONSTRUCTION MANAGEMENT PLAN

FOR

THE NEW CITY HALL

FOR



Updated May 9, 2007

1097 N. ROSARIO ST. • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

WWW.PETRAINC.NET
RCE-1875

0027a1a93106

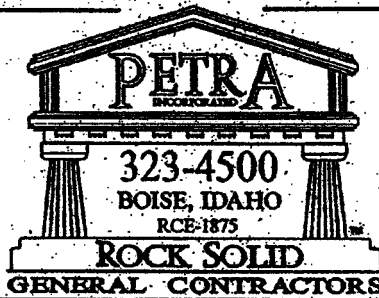


GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

**CITY OF MERIDIAN
CITY HALL PROJECT**

CONSTRUCTION MANAGEMENT PLAN INDEX

- i) Index
- ii) Project Directory
- a) CONSTRUCTION MANAGEMENT PLAN
 - i) Project Organization Charts
 - ii) Project Staffing Recommendations
 - iii) Project Phases & Bid Packages
 - iv) Construction Manager's Estimated General Conditions & Procurement Requirements
 - v) Project Contractor Coordination, Methods & Procedures
 - vi) Claims and Change Order Management
- b) PROJECT SCHEDULING
 - i.) Conceptual Schedule
 - ii.) Construction Schedule by Phase
- c.) PROJECT BUDGETS
 - i.) Conceptual Budget
 - ii.) Working Budgets
- d.) PROJECT COMMUNICATIONS PLAN
- e.) PROJECT QUALITY MANAGEMENT PLAN



Default Contact Addresses

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 5/9/2007

Project No: 06-0675

Page: 1 of 3

Company Name	Address	Role	Spec Section	Location	Phone	Fax
ABC Sanitation and Septic, Inc.		SUB	01556	ABCSAN		
Candace Cotner	P.O. Box 1700 Nampa, ID 83653				208-467-0089	208-467-0097
ABCO/Harris-Rebar		SUB	03200	ABCO		
Ken Reglin	2161 Lanark St. Meridian, ID 83642 eMail: kreglin@mindspring.com			OFFICE	208-888-0039	208-888-1188
American Walkover		SUB	09250	AMWALK		
Randy Pierce	2685 E. Lanark St. Meridian, ID 83642 eMail: randypierce@americanwalkover.com			MERIDIAN	208-887-1062	208-887-1129
Arvil Fence		SUB	02825	ARVFEN		
Mike Thompson	106 E. 46th. Place Boise, ID 83714				375-6767 x1-1-	375-6768
Architectural Building Supply		SUB	08100	ABS		
Stewart Jensen	960 E. Franklin Rd. Meridian, ID 83642 eMail: stewart@absdoors.com			MERIDIAN	208-884-8917	208-884-5641
Blue Rock Group				BLUROG		
Jake Cook	P.O. Box 104 Kuna, Idaho 83634				208-362-5151	208-362-1073
Boise Steel Erectors		SUB	05100	BOISTEE		
Brent Richards	6202 W. Gowen Rd. Boise, ID 83709 eMail: brent@boisesteel.com				208-562-0595	208-562-0599
City of Meridian		OWN		CITYMER		
Keith Watts	33 E Idaho Avenue Meridian, ID 83642 eMail: wattsk@meridiandcity.org				888.4433 x207	887.4813
Cummings Law Office		OTH		CUMGLAW		
Richard Cummings	412 E. Park Center Blvd Suite 325 PO Box 1545 Boise, Idaho 83701				208.367.0722	208.367.0892
Custom Glass		SUB	09400	CUSGLA		
David Larson	254 Loop Street Caldwell, ID 83605 eMail: David@automaticdoorsidaho.com			OFFICE	208-454-0340 x102	208-454-0391
Eldam & Associates		ENG	16800	ELDAM		
Geoff Johnson	815 Park Blvd, Suite 230 Boise, ID 83712 eMail: geoff@eldam-assoc.com				208-345-7127	208-345-7173



Default Contact Addresses

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

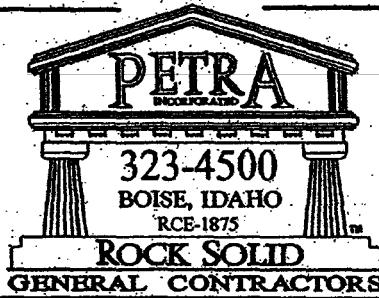
Project Name: Meridian City Hall

Date: 5/9/2007

Project No: 06-0675

Page: 2 of 3

Company Name	Address	Role	Spec Section	Location	Phone	Fax
Elk Mountain Engineering		ENG		ELKMT		
Warren Stewart	4286 E. Armita Rd., Suite 103 Nampa, ID 83687 eMail: warren@elkmitn.cc			OFFICE	466.4601	466-4608
Engineering Inc.		ENG		ENGINC		
Mike Wisdom	2222 Broadway Boise, Idaho 83706 eMail: mikew@engineeringinc.com				208-343-3663	208-343-9625
Hatchmueller, P.C.		DES		HATMUE		
Dell Hatch	611 Sherman Avenue Coeur d'Alene, ID 83814 eMail: dell@hatchmueller.com				(208) 676-8444	(208) 676-8555
Heery International, Inc.		OTH		HEERY		
Tim Landers	3201 Airport Way Suite 280 Boise, Id 83705 eMail: tlanders@heery.com				208-367-9151	208-367-9153
Idaho Power Company		OTH		IPCO		
Chad Helsley	P.O. Box 70 (83707) 10790 Franklin Rd Boise, ID 83709 eMail: chadhelsley@idahopower.com				208.388.6346	208.388.6924
Ideal Demolition Service		SUB	02050	IDEDEN		
David Aparicio	2299 S. Mill Road Emmett, ID 83617				208-365-1514	208-365-4915
ICArchitects, PA		ARC		ICARCH		
Steve Simmons	1221 Shoreline Ln. Boise, ID 83702 eMail: ssimmons1@icarch.com			OFFICE	208-345-6677	208-344-9002
Materials Testing & Inspection		ENG	01120	MATTES		
David Cram	2791 S. Victory View Way Boise, ID 83709 eMail: mtid@cyberhighway.net			OFFICE	208-376-4748	208-322-6515
McGraw-Hill Const./Dodge/Plan Room		OTH		MCGHIL		
Lori Sproat	4082 Chinden Blvd. Ste. A Boise, ID 83714 eMail: UNAVAILABLE			OFFICE	208-336-1339	208-336-1364
Meridian City Hall Jobsite Location		OTH		MERCIT		
Adam Johnson	27 E. Broadway St. Jobsite Trailer Meridian, ID 83642			OFFICE	323-4500	208-887-1297
MJ's Backhoe		SUB	02200	MJBACK		
Mike Apostolou	6679 S. Supply Way Boise, ID 83716 eMail: mike@mjsbackhoe.com			OFFICE	208-433-0933	208-433-0935



Default Contact Addresses

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

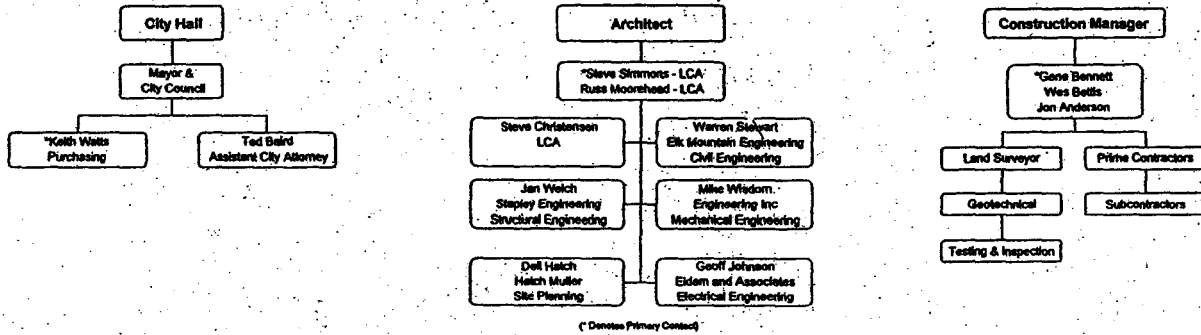
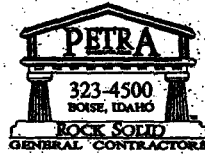
Project Name: Meridian City Hall

Date: 5/9/2007

Project No: 06-0675

Page: 3 of 3

Company Name	Address	Role	Spec Section	Location	Phone	Fax
Petra Incorporated		CON		PETRA		
Wes Bettis	1097 N Rosario St Meridian, Idaho 83642 eMail: wbettis@petrainc.net			OFFICE	208-323-4500	208-323-4507
QWEST		OTH	01060	QWEST		
Theresa Algie	1315 W Amity Boise, Id 83705 eMail: theresa.algie@qwest.com			OFFICE	208.385.2903	208.385.2417
Rule Steel		SUP	05120	RULSTE		
Bill Byerly	21986 Middleton Road Caldwell, ID 83605 eMail: bill_byerly@rulesteel.com			OFFICE	208 585-3031	208-585-2506
Sanitary Services Co.		OTH		SANSERV		
Dave Mason	2130 W Franklin Rd Meridian, ID 83642				888.3999	888.5052
Schindler Elevator Corp.		SUB	14200	SCHIELE		
Pete Skow	743 McGregor Court Suite 140 Boise, ID 83705-5225 eMail: www.us.schindler.com			OFFICE	208-577-5525 x5	208-577-5526
Seal Co.		SUB	07900	SEALCO		
Mike Devaney	P.O. Box 887, Meridian 83680 223 W Broadway Meridian, ID 83680-0887 eMail: office_sealco@qwest.net			OFFICE	208-887-3646	208-887-3882
Sidewalks, LLC		SUB		SDWLKS		
Ben Bardot	1735 S. Millenium Way Meridian, ID 83642			BOISE	955-9000	955-9050
Terracon		ENG	01400	TERRACON		
Mike Merhar	11849 West Executive Dr Suite G Boise, Idaho 83713 eMail: mmerhar@terracon.com				208-323-9520	208-323-9592
TRC Inc.		SUB	04200	TRCMAS		
Michelle Waltz	2313 W. Overland Boise, ID 83705 eMail: michelle@trcmasonry.com				208-331-8200	208-331-8301
Western Roofing		SUB	07500	WESTROOF		
Ted Davis	2609 Kelm Lane Nampa, ID 83687				208-466-8921	208-466-6999



Petra93111



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

CITY OF MERIDIAN
CITY HALL PROJECT

PROJECT STAFFING RECOMMENDATIONS

City Staffing Requirements:

It is recommended that the City provide a minimum of two contact sources for day to day operations so that in the case of unforeseen conditions that require City feedback or to address contractual issues. The current contact protocol of Keith Watts-Purchasing Agent, first contact; if unavailable or time sensitive communication the second contact would be Ted Baird—Asst. City Attorney.

Keith Watts is responsible for releasing the bid packages in each phase of the project, collecting the bid results, issuing the bid results to the City Council for ratification and approval, confirming with Ted Baird and the Construction Manager that the successful bidders meet the legal requirements for the project and collect the executed contracts, approved by the City Attorney's office. Copies of all executed contracts, purchase orders and/or service agreements are to be forwarded to the Construction Manager for the project files

All communication will be copied, as noted in the Project Communications Plan, to the Mayor--Tammy DeWeerd, City Councilman--Keith Bird, City Clerk Will Berg and Public Works Director Brad Watson in addition to the two primary contacts listed above which make-up the Mayor's Building Committee and the Mayor may appoint any of these individuals to act on time sensitive communication in the absence of the primary contacts.

Architect Staffing Requirements:

The primary contacts and staff for the course of design and construction of the City Hall Building at LCA Architects, PA are two of the Principals of the firm; Steve Simmons and Russell Moorehead. During the course of this project, if neither of them is available, the Project Director is Steve Christensen, who can respond to questions and provide additional insight into the design and construction of the facility.

The Architect will make regular site visits to review the work in progress and to provide input regarding the construction, clarifying any detail requirements and resolving and conflicts in design application.

These visits will typically be twice a month, more often as warranted. At no additional cost to the City, at least once a month Joe Conrad (ret), one of the former principals of the LCA Architects, PA will visit the site in place of Mr. Simmons or Mr. Moorehead to provide a visual inspection of the work in progress. Mr. Conrad will provide an experienced perspective in the form of an observation report distributed to all three parties. His wisdom and expertise will be beneficial to the project and assist in minimizing claims by noting potential issues before they become contractual problems.

Construction Manager Staffing:

The staffing for the City Hall Project by Petra Incorporated for the day to day and general administration of the project is detailed in the Project Organizational Chart. While the primary contact for the project is Gene Bennett; daily contact for the project includes Wesley Bettis – Project Engineer and Jon Anderson – Project Superintendent. In the event a contractual or operations issue requires immediate action and none of the three contacts above are available by the contact information in the project directory, or if additional input from Petra Incorporated is necessary, CEO Jerry Frank is available by contacting his Administrative Asst.

In addition to the primary contacts and the site specific staff noted in the organizational chart, Petra, Incorporated has internal staff to work on estimates, schedules, and project specific clerical requirements on an as-needed basis that are part of the service provided as the Construction Manager for the City of Meridian.

The Construction Manager/Project Engineer will be responsible for:

- Representing the City in the design process and providing insight to meeting the City's expectations for the project.
- Assisting the City with developing and issuing the bid packages for bid release, managing the bidding process to insure good budget and cost controls are established.
- Reviewing the bid results and recommending a course of action to the City Council.
- Developing and maintaining the project schedule; monitoring daily, weekly and monthly progress to obtain timely contract completion.
- Reviewing and distributing the submittals to manage the material and equipment to be installed in accordance with the design documents and contract schedule.
- Maintain and manage the communication and other document control logs for the best project efficiency.
- Attend weekly on site progress meetings and support Project Superintendent in maintaining an efficient and safe project site.
- Provide regular inspections of work in progress in support of Project Superintendent for the project duration.
- Provide regular public updates to the City on the job cost and schedule performance as a good steward of the public funds financing this project.

The Project Superintendent will be responsible for:

- The day to day operation and management of the project site, to maintain a clean, efficient and safe work site.
- Review all Submittals with the Project Engineer to insure the intent of the design is installed in the field.
- Manage and coordinate the sequencing of the work in progress in accordance with the project schedule to ensure timely completion of the project. Coordinate the various trades and materials to avoid conflicts with the contract documents and maintain efficient progress.
- Provide the front line of quality control in the installation of the contracted work and with the Construction Manager, insure timely response to questions or requests regarding the work in progress from all parties.

The Project Director/Project Manager is responsible for:

- Reviewing the design and estimating progress and providing input and direction for the CM/PE.
- Regular work in progress inspections and review with the Project Supt. and the CM/PE.
- Being available to the City to answer any questions, provide comments or suggestions and provide support regarding the project.

Other staff that is available to the Project from the Construction Manager during the course of the project includes:

- **Estimating:** To develop, update and monitor a project budget and provide additional dimension analysis and research to insure the most cost effective construction possible.
- **Field Office Engineer:** Available to assist with the processing and log status of all project communications.
- **Legal & Safety:** Providing support to address any legal or contractual concerns during the course of construction. Regular site inspections and support to insure a safe and efficient construction project site are a major responsibility of this position.



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

CITY OF MERIDIAN
CITY HALL PROJECT

PROJECT CONTRACTOR COORDINATION, METHODS & PROCEDURES

Petra Incorporated utilizes Expedition Project Management software by Primavera. This is the premier project management software for construction and engineering applications and is also used by the Project Management Institute in its Project Management training and by manufacturing firms as well for document and process tracking and control of projects and processes.

Petra Incorporated, as the Construction Manager, will be tracking the City Hall project utilizing the document control data base that is a part of Expedition. By entering this information into the Expedition data base, accounting for and tracking the progress of issues, letters, submittals, samples and contract action is made uniform and virtually inarguable. Some of the forms that will be utilized during this project follow in this section of the CMP. A brief description and use of the enclosed forms follows.

One of the repeated themes of the CMP is also one of the keys to the successful management of a construction project and that key is communication. The forms of communication that have been discussed include the project bid documents, the contract documents and schedule, and the correspondence providing direction to the Contractors and the City. Coordinating the various trades, material deliveries and daily progress requires attention to detail and that starts with communication both internally and externally.

Daily Field Report: Internal contractor coordination and communication starts with the daily field report that is filled out by the Project Superintendent. This is the "live report" on what trades and how many workmen are on site each day and what materials are delivered to help each trade meet their contracted delivery schedule. The daily reports are kept filed in chronological order and become the living history of the project activity from the beginning to the end of the project. Copies are sent to the Petra Office project file and the originals are kept on site for the duration of the project for ease of reference.

Transmittal: A transmittal is attached to all transfers of contractual nature such as plans, specifications, samples, mock-ups, schedules or other documents (except for direct letters, memos, e-mails) between Petra and all team members, bidders, vendors or other parties to document and track these actions for everyone's benefit. Copies of transmittals will be distributed to the City and the Architect regarding all milestone events and copies of all transmittals, numbered sequentially will be kept on file in the Project Office and at the Petra office in the project file.

Request for Information (RFI): A RFI is part of the communication plan to document and track questions, comments and details from bidding and contracted parties to the project to record the interpretation of

the contract documents and memorialize the answers for the record for the duration of the project. The original RFI and the response RFI are kept together and filed in the Project Office and at the Petra office in the project file. Copies of the original and response RFI's are also

Bulletin: A bulletin is a general communication tool that can be specific to one contractor or broadcast to several or all of the contractors on the site. A bulletin does not require recipient response, but does become part of the project documentation memorializing conversations, on site meetings, comments from an inspector or the City regarding a scope of work or work in place and records this information within the project log. This helps the City and Construction Manager better track directives and on site comments, and better manage selective memory loss.

Change In Condition (CIC): A Change in Condition is typically issued from the Construction Manager to a Contractor or the Design Team to document a change on site during the course of construction that differs from the contract documents. This is to help all parties remember when this issue was first documented, what direction is given and by whom in the best interest of the project. This can lead to the establishment of force accounts to keep work moving forward on an approved time and material basis or stop work due to a material change that will render the existing design or contracts for the work impractical, unsafe or otherwise untenable.

Notice to Proceed (NTP): A Notice to Proceed is a contractual document that may be used by the Construction Manager, with permission of the City, to authorize the start of a bid scope of work under specific conditions and liability to the City no greater than that covered by the City's contract, while waiting for the official City contract document to be released for execution. A NTP may also be used to start or extend a scope of work to further identify an unforeseen condition or CIC that requires additional work, outside of the contracted scope of work, to fully understand the impact to the contracted work. The NTP should always state the specific monetary liability assumed by the City for this work, to avoid all claims against the original contracted scope of work.

Change Sketches: A Change Sketches form with explanation may be used to in conjunction with or in lieu of a transmittal to transfer information regarding clarification of the contract documents to a Contractor from the Design Team or from a Contractor in the field to the Design Team to clarify existing conditions for further review and solution to avoid work stoppages or slow downs due to the work not being consistent with the intent of the design. A Change Sketches being issued does not automatically mean that a change order is pending, but does help to track the specifics of an issue and could become a change in condition that may be outside of the contractual scope of work definitions.

Non-Compliance Notice: A Non-Compliance Notice is a formal step in the quality control and contract management of a project. Typically it is utilized to notify a Contractor or Vendor that a scope of work or delivered material does not comply with the contract documents and must be removed, replaced or modified in accordance with specific criteria in a stated time frame to be within the contracted scope of work and avoid further contract action. A Non-Compliance Notice may also be used to notify a Contractor, the Design Team, the CM or the City that they have failed to meet a specific milestone of the contract and note what agreed corrective action will be taken to bring the contract out of non-compliance.

Correspondence Logs: Expedition is set-up to automatically or manually track the receipt or transmittal of correspondence that is directly related to the contract. At any time during the course of the project all correspondence generated or received can be identified by date, sender, and specification section. This is especially useful on large, complex design build projects to memorialize all of the discussions relating to scopes of work that are constantly making material changes to address the performance requirements.

Meeting Minutes: The meeting minutes are one of the key communication and coordination tools for the management of a project. Weekly progress meetings will be held and attended by the field supervisors for all contracted parties on site or scheduled to be on site in the next two week period to coordinate the work in progress. This meeting discusses the contract schedule and what work is necessary to maintain the schedule, individual contractor staffing, any details that are not clear in the contract documents that require Design Team response, on site safety issues and alerts, material shipment status and/or shortages, as well as good and bad events over the past week. The purpose of the meeting is to provide clarity and direction to the project and create a team effort atmosphere so that all Contractors are working together as a single team. The minutes from these meetings are recorded, memorialized and distributed to all attendees along with notice of specific items on the minutes that may require action or response from their company.

Once a month, just prior to the submittal of the monthly pay application, the weekly progress meeting becomes the Monthly Progress Meeting. Each Contractor on site is asked to have a representative on site to address their work in progress application for payment during a formal site inspection. At times this meeting and inspection may be held in conjunction with the Architect and City's inspection and at other times it will occur just prior to the City's inspection. Meeting Minutes will also be distributed after these inspection visits and may also include Non-Compliance Notices, Change Sketches, Change In Conditions or other directives as required to maintain project quality, limit claims exposure and manage change order requests.

Other Documents for Coordination and Management: As noted in the communications plan and the Claims and Change Order Management Plan, there are specific documents that are to be issued and logged into the project for managing the flow of the work and the flow of the associated paperwork generated by the Project. These include Change Order Requests, Proposed Change Orders, and Change Orders that are specific to the management of changes to the contracted scope of work. The Submittal Log and Submittal Transmittals are specific to the receipt, forwarding and tracking of the approval process for the materials and components that go into the project to insure that the City is receiving the best value for their construction dollar. This further shows how inter-related the communications, schedule management, change & claims management and the contractor coordination plans are as greater part of the Construction Management Plan.



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

CITY OF MERIDIAN
CITY HALL PROJECT

CLAIMS AND CHANGE ORDER MANAGEMENT

Change Order Management and Claims requires diligence on the part of the City, the Design Team and the Construction Manager beginning at the conceptual design phase. In fact, attention to detail and definition at each phase of the project is the best way to minimize claims against the contract for additional costs after the successful bidders are awarded contracts.

Claims avoidance starts with the conceptual design stage with the Design Team and the Construction Manager listening to the City and defining the expectations of the finished product in a format that all of the team understands. This repetitive, re-stating of the perceived expectations helps to set the tone for the design details that will become the basis for the conceptual and preliminary budgets and drive the construction documents phase.

During the construction documents phase the Design Team and Construction Manager begin formal communication to document the design details, as well as the discussions on the most cost effective and efficient way to construct the project. This team approach in interaction with the City is intended to not only reinforce the understanding of the City's expectations with the entire team, but also to identify areas of ambiguity that could lead to post bid claims and change order requests. These can then be addressed prior to and during the bidding process to minimize the opportunity for claims against the design and the actual construction conditions.

Occasionally site conditions, field inspection code interpretation or even a change in design driven by the Owner's request, in this case the City, may need to be addressed with one or several project participants. This does not automatically mean that any of the Contractors or Suppliers is entitled to an increase in their contract value or additional time in their contract schedule. To control this, the Construction Manager first identifies the issue, reviews the contract documents, discusses this issue with the Design Team and the Owner and documents the process from inception to completion.

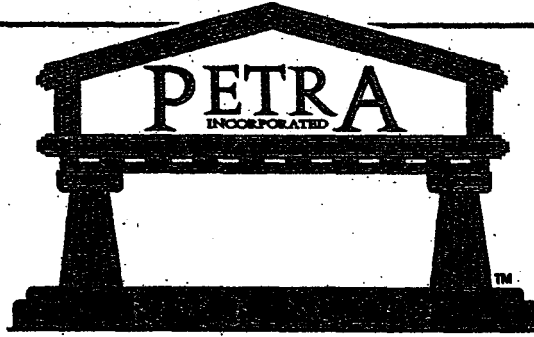
This documentation includes the project management protocol of utilizing Requests for Information (RFI), Requests for Proposal (RFP), Change Order Requests (COR) and Proposed Change Orders (PCO), before any Change Order is published and executed. During each step of this process the justification for any requested change must be detailed with reference to the

contract documents (drawings, specifications, pre-construction field reports, etc.), reason for the change in conditions or scope of work, detailed quantities of materials, labor and equipment and their associated costs, and impact on the contract schedule. Only after reviewing all of this information and confirming that a claim may be legitimate or necessary will the Construction Manager present a change order request or proposed change order with a recommendation for action and ask the City to make their decision to accept, reject or send back for additional information.

If a decision to approve a requested change is delivered by the City, a formal change order is issued with the full detail of the change in material, equipment, labor and schedule impact and fully executed prior to any payment for the additional work being authorized. If the decision from the City is a rejection or request for additional information the appropriate documentation will be transmitted to the claimant along with the justification for the decision and the direction to continue work without delay.

If unforeseen conditions are encountered without the benefit of knowing the full extent of the work, (such as contaminated soil that needs to be removed and replaced with engineered fill) the Construction Manager may recommend to the City that a "force account" be established and the actual additional work tracked on a unit basis, and the Contractor compensated for the actual unit of work completed at a negotiated per unit cost. All force account work will be verified by the Construction Manager's personnel, with the appropriate corresponding documentation such as load tickets, visual inspection and if necessary measured and quantified by a third party to insure proper compensation is made to the affected Contractor.

In all matters regarding claims and change requests, each request will be documented and addressed quickly to avoid delays in the schedule that could impact the project schedule and to protect the City against latent claims after the project is complete.



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

CITY OF MERIDIAN CITY HALL PROJECT

SCHEDULE AND SCHEDULE MANAGEMENT

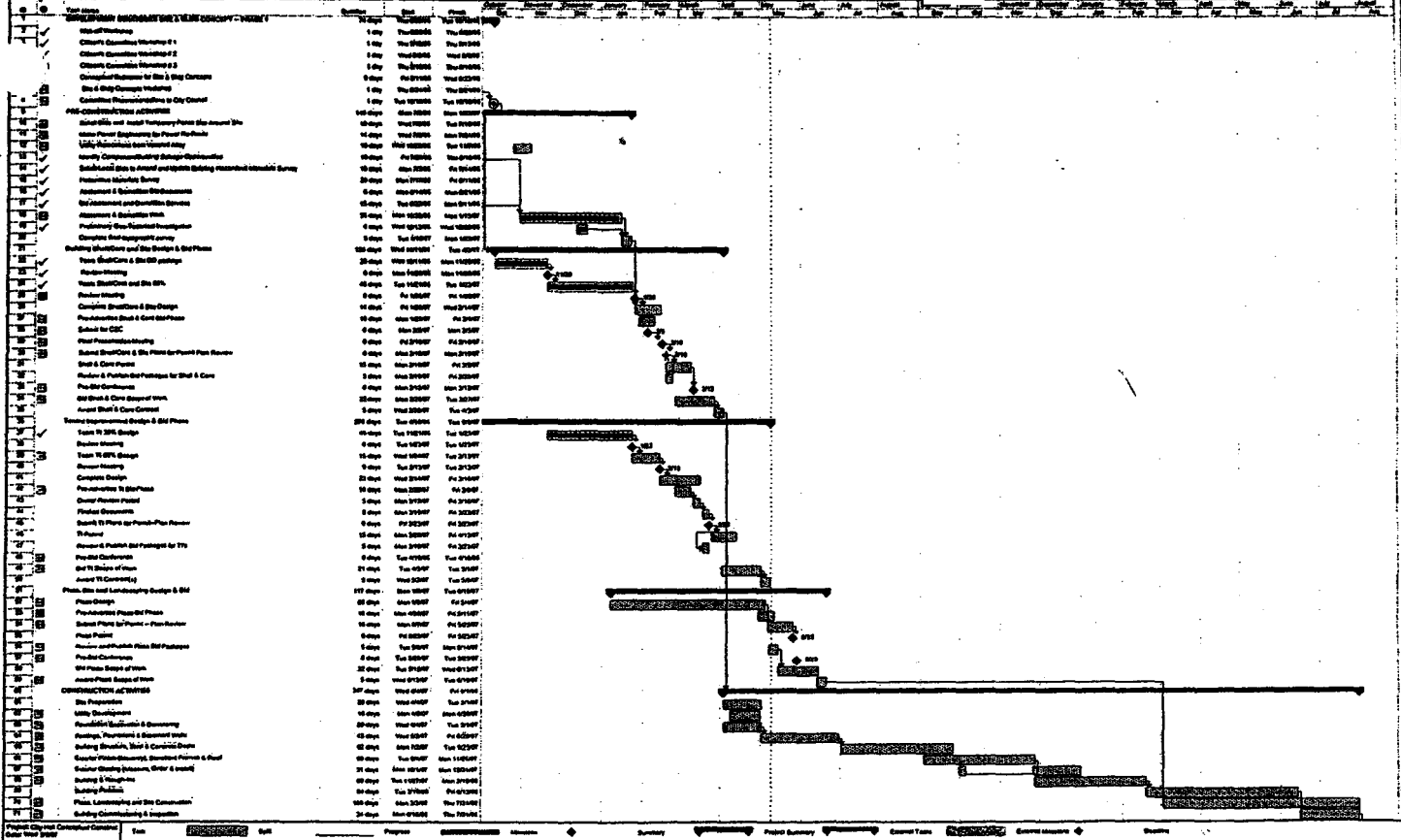
Management of the City Hall project will include a construction schedule that is created and updated in Microsoft Project software. The schedule that is included in this Construction Management Plan is a conceptual timeline for the organization and implementation of the design, bidding and construction of the City Hall project. It is an expansion of the schedule that has been followed through the preliminary design phase of the project and will continue to expand as the details of the work is released for bid and schedule commitments made with the successful contractors.

Once schedule commitments with Contractors are in place, an updated construction schedule will be published as the baseline for each phase of the construction. This schedule will be updated and distributed once a month at or just prior to the monthly progress meeting and Architect's inspection to status job progress for the entire project team.

The Construction Manager and Project Superintendent will be developing and publishing "micro-schedules" in the form of "Two Week Look Ahead" schedules for the weekly construction team progress meetings and developing "what if" analysis schedules of specific inter-related scopes of work. While these are important management tools, they are not contract schedules.

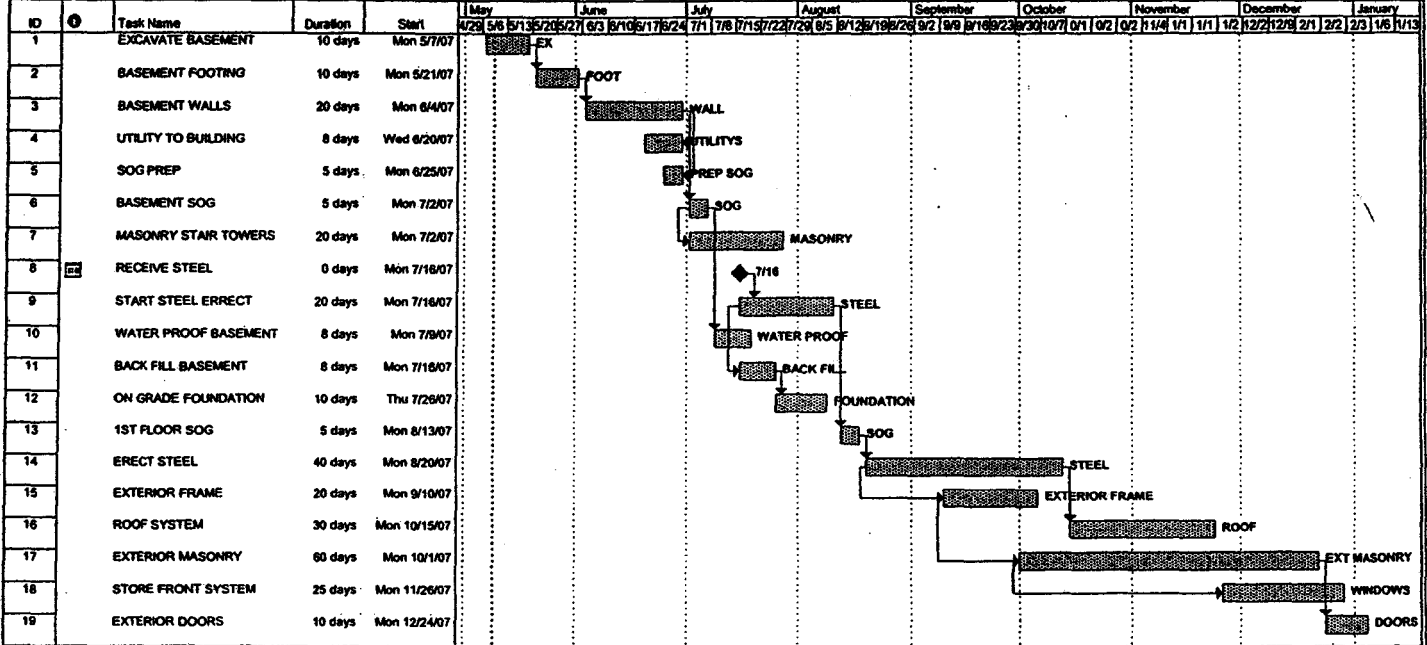
The Construction Schedule is a representation of a plan to sequence and complete the work in accordance with the contract design and is subject to both positive and negative adjustments due to weather, site conditions, design modifications, material availability, and code inspection interpretation. Any and all of these influences will be noted and tracked on the schedule to not only keep all the project participants up to date on progress and scope of work completion commitments, but also to assist in maintaining an organized and efficient project and avoid change order claims due to lack of planning and preparation.

GENERAL OFFICE
CONCEPTUAL DESIGN & DEVELOPMENT SCHEDULE



Petra93121

**MERIDIAN CITY HALL
PRODUCTION SCHEDULE**



± Production 05-08-07
Wed 5/9/07

Task		Summary		Rolled Up Progress		Group By Summary
Critical Task		Rolled Up Critical Task		Split		
Progress		Rolled Up Progress		External Tasks		
Milestone		Rolled Up Milestone		Project Summary		

Petra93122



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT
CITY OF MERIDIAN
CITY HALL PROJECT

COMMUNICATIONS PLAN

Petra Incorporated understands that above all else, the success of a construction project is due to the level of communication between the participants and the understanding of the roles of each of the participants and how they can effectively interact with minimal confusion. Below is a diagram showing the basis lines of communication for the City Hall project.

The Construction Manager will have a direct line of communication with the City, the Design Team, the Testing and Inspection Consultants, and with all of the Contractors, Subcontractors, and Suppliers involved with this project.

Additional definitions of the forms of communications follow below:

I.)

City

Mayor & Council
City Clerk
Mayor's Building Committee
Ted Baird-City Attorney's Office
*Keith Watts-Purchasing

Design Team

Architect—LCA
*Steven Simmons-Principal
Russ Moorehead-Principal
Steve Christensen-Project Manager
Russ Moorehead
Jan Welch, PE Structural Engineer
Mike Wisdom, PE - Mechanical Engineer
Geoffrey Johnson, PE - Electrical Engineer
Warren Stewart, PE - Civil Engineer
Hatch-Mueller - Site Designer
Heery International - Commissioning Agent & LEED Consultant

Construction Manager

Petra, Incorporated
*Gene Bennett-Project Manager
Wesley Bettis-Project Engineer
Jon Anderson-Project Superintendent
Prime Contractors
-Subcontractors
-Suppliers
MTI-Inspection & Testing

(*Denotes Primary Contract)

II.) The City has a Direct Line of Communication with:

The Design Team
The Construction Manager

The Primary Contacts for the City are Keith Watts—Purchasing Agent for the City and Ted Baird—Asst. City Attorney for all legal and contract matters.

The Design Team has a Direct Line of Communication with:

The City
The Construction Manager
All Design Consultants
Commissioning Agent
LEED Consultant

The Primary Contacts for the Design Team are Steve Simmons and Russ Moorehead -- LCA

The Construction Manager has a Direct Line of Communication with:

The Design Team
The City
All Prime Contractors (bidding and contracted)
All Subcontractors (bidding and contracted)
All Suppliers (bidding and contracted)
All Utility Providers

The Primary Contacts for the Construction Manager are
Gene Bennett—Project Director/Project Manager
Wesley Bettis—Construction Manager/Project Engineer,
Jon Anderson—Project Superintendent

III. Communication Protocol:

Since the communications plan is three way between the primary parties, it is recommended that all formal communication between any two primary parties, including letters, fax transmissions, e-mails, memos, bulletins and transmittals be copied to the third party so that all information is open and shared with the principal parties on this project to enhance and expedite communication and minimize any delays in the sharing of project specific information.

Contractual information between the Design Team and the City, and the Construction Manager and the City is not subject to the shared information recommendations and remains proprietary between the contracting parties, except as required by Idaho Public Works statutes.

The communication formats and tools are described in detail in the Construction Management plan and include a formal method of logging all sent and received correspondence during the course of the project, except for e-mails which are specific to each user. Electronic storage of all e-mail correspondence is recommended, and when practical, hard copies should be made and filed in the project files for future reference.

Examples of some of the Construction Management Plan communication tools to be used and tracked during the course of the project in the Expedition Project Management Software by Primavera, utilized by Petra Incorporated include:

- BUL (Bulletin)
- CIC (Change in Condition)
- CO (Change Order)
- COR (Change Order Request)
- NCN (Non Compliance Notice)
- NTP (Notice to Proceed)
- MTG (Meeting Minutes)
- PCO (Proposed Change Order)
- RFI (Request for Information)
- RFP (Request For Proposal)
- TRN (Transmittal)
- SUB (Submittal Log)

All communication with and from the Contractors and Vendors during the bidding process and during the course of construction will start and end with the Construction Manager. Whether it is a question from a bidder or Contractor or a request made about a specific scope of work, the Construction Manager will log the information into the project controls and forward the document to the appropriate party with a requested response time, copying the other parties. Then the document is followed through the process until the timely response is received, noted in the log and the information is distributed to all appropriate parties. This attention to detail keeps all of the project participants aware of the issues and progress in the project and also assists the Project Team with managing claims against the contract for additional work.



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

CITY OF MERIDIAN CITY HALL PROJECT

QUALITY MANAGEMENT PLAN

Petra Incorporated recognizes that the quality of construction has a direct relationship to the long term maintenance and ownership costs to the Building Owner. That is why the implementation of a comprehensive Quality Management Plan is important to the successful management of any construction project.

The Petra Incorporated Quality Management Plan includes four phases:

- I) The Design Phase
 - II) The Pre-Construction Phase
 - III) The Construction Phase
 - IV) The Commissioning and Occupancy Phase.
- I.) The **Design Phase** of the Quality Management Plan includes Petra's participation in the design process to insure a finished design that is efficient and cost effective in the construction of the facility. This is accomplished by:
- a) The participation in the Design process including regular attendance of design project meetings with all of the design consultants to insure that the City's input is timely and relevant to the design process.
 - b) Internal peer review by the Petra Project Team and Senior Management at various stages of the design to evaluate project "constructability" and to look for missing details that could lead to post bid change orders and project budget increases.
 - c) Internal value engineering for evaluation and possible to submittal to the City and the Design team to provide alternate construction suggestions from both a budgetary and long term building ownership cost.
- II.) The **Pre-Construction Phase** of the Quality Management Plan is focused on insuring that the tools and controls are in place at the start of construction so that all prime contractors are aware of the Quality Control requirements and who the various responsible parties are for the course of construction. These include:

- a.) Establishing and identifying the vertical and horizontal controls for the project site and the scopes of work, and confirming that the construction surveying contractor has been retained to provide continued support to the project through the course of construction.
- b.) Confirming the engagement of a qualified, third party inspection and testing firm in accordance with the Design Team's specifications, as well as State and Local building permit requirements.
- c.) Development of a preliminary plan for the construction of the project including; site access control, prime contractor scheduling, material deliveries, staging and waste control.
- d.) Internal Project Team meetings to review implementation of existing design and develop recommendations to the City for budget and design considerations prior to the bidding and construction phases of the project.
- e.) Review and publish bid packages for the scopes of work in each phase of the project. Assist City in the bidding process. Control the pre-bid RFI and addendum process to minimize the impact on the project constructability and optimize value engineering suggestions within the Idaho Public Works Construction Law statutes.
- f.) Review the bid results in detail with the City and collect any additional information to insure that the project value is in keeping with the intent of the bid documents prior to making recommendations for acceptance by the City.

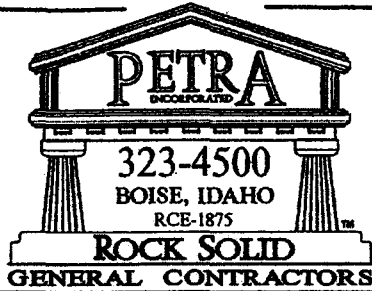
III.) **The Construction Phase of the Quality Management Plan is where the planning and organization of the Construction and Construction Management Team come together. The Petra Team is specifically responsible for:**

- a.) The collection, review and processing of the submittal packages prior to and after review by the Design Team to confirm that the intent of the design is being met, in accordance with the Project Communications Plan.
- b.) Weekly progress meetings on site with all prime contractors on site or scheduled to be on site to review work in progress, work quality controls by trade, quality assurance testing requirements that are scheduled or need to be scheduled.
- c.) Daily inspection for correctness and quality of work being installed by the Petra Project Management team confirming that the work is being installed in accordance with the contract design and best construction practices.
- d.) Monthly review with the City of the quality of the work in place, the schedule, any value engineering or design modification suggestions submitted by the Construction Team and how each of these would impact the quality, construction schedule and long term performance of the project.

IV.) **The Commissioning & Occupancy Phase of the Quality Management Plan is the stage where the City will learn how the City Hall Building works and begin occupying the facility. The Quality Management Plan focuses on the steps necessary to insure that all equipment and building components are operating correctly including:**

- a.) Assist the Commissioning Agent in the distribution of the Operations & Maintenance Manuals (O&M) from the prime contractors as required by the construction documents. Participate in the training process and documentation to insure a smooth transition between the construction and operation of the facility.

- b.) Schedule and direct the City and the Design Team in the Punch list process and then manage the punch list to insure that any corrections are completed in a timely manner in accordance with the best construction practices.
- c.) Implement the contract warranty procedure, and address any and all warranty calls from the City in a timely manner to minimize negative impact on the City and to insure proper material and equipment warranties and operation. Log and track all warranty reports to identify trends and notify the City of any potential patent or latent product or workmanship issues that may require further action by the City.
- d.) At the end of the one-year builder's warranty, deliver to the City a binder containing all warranty call back information, results and any warranty extensions or warranty claim documentation.



TRANSMITTAL

No. 00445

RECEIVED

SEP 14 2007

CITY OF MERIDIAN
CITY CLERK OFFICE

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

PROJECT: Meridian City Hall
TO: City of Meridian
33 E Idaho Avenue
Meridian, ID 83642

DATE: 9/14/2007
REF: COR 1 CM FEE
Contaminated Soil

PHONE: 888.4433
FAX: 887.4813
CELL: 631.6469

ATTN: Will Berg

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input checked="" type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input checked="" type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input type="checkbox"/> Plans		<input type="checkbox"/> Submit
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned
<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Returned for Corrections
<input type="checkbox"/> Other:	<input type="checkbox"/> Separate Cover Via: Hand Delivery	<input type="checkbox"/> Due Date:

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/12/2007			COR No.1 for CM FEE on Contaminated Soil Removal with supporting documentation.	OPN

Remarks:

Will:

Originals have been transmitted to Keith Watts and Ted Baird for review as well.

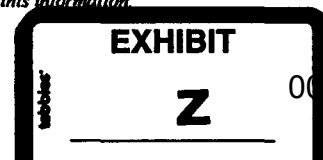
CC: File

Signed: 

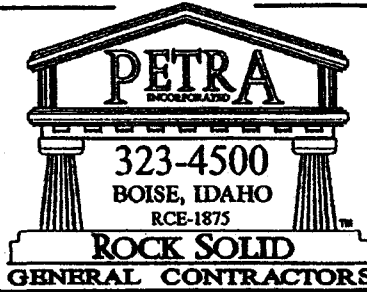
Wes Bettis

Expedition ©

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002144



CHANGE ORDER REQUEST
No. 00001

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

TITLE: Contaminated Soils Removal
PROJECT: Meridian City Hall

DATE: 6/27/2007
JOB: 060675

TO: Attn: Wes Bettis
Petra Incorporated
1097 N Rosario St
Meridian, Idaho 83642
Phone: 208-323-4500 Fax: 208-323-4507

CONTRACT NO: 1

RE: To: From: Number:

DESCRIPTION OF PROPOSAL:

Additional CM Fee , Supervision, General Conditions and Reimbursable's during the identification, classification and removal of the contaminated soils found on site. This increase in Fee is in accordance with The Construction Management Agreement between the City of Meridian and Petra Incorporated, Articles 6.2.2 (a), 6.2.2 (b) and 7 (b) relative to Changes in project complexity, size, and conditions.

Item	Description	Stock#	Quantity	Units	Unit Price	Tax Rate	Tax Amount	Net Amount
00001	CM Fee on Contaminated Soils Removal at 4.7% of \$422,000		1.000	LS	\$19,834.00	0.00%	\$0.00	\$19,834.00
00002	Project Engineer Time during Contaminated Soils Removal		169.500	Mnhrs	\$45.90	0.00%	\$0.00	\$7,780.05
00003	Project Superintendent Time during Contaminated Soils Removal		336.000	Mnhrs	\$40.40	0.00%	\$0.00	\$13,574.40
00004	% of Contractual GC's for 1 extra month of services due to unforeseen conditions.		1.000	LS	\$11,314.00	0.00%	\$0.00	\$11,314.00

Unit Cost: \$52,502.45
Unit Tax: \$0.00
Lump Sum: \$0.00
GC markup: \$0.00
Lump Tax: \$0.00
Total: \$52,502.45

APPROVAL:

By: _____
Keith Watts

By: _____
Wes Bettis

Date: _____

Date: _____

Expedition ©



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

September 12, 2007

Mr. Will Berg, City Clerk
Mr. Keith Watts, Purchasing Agent
CITY OF MERIDIAN
33 E. Idaho St.
Meridian, ID

RE: Construction Management Fee Change Order Request No. 1

Gentlemen:

Enclosed is Change Order Request No. 1 for the Construction Management Fee, General Conditions Reimbursable Expenses and Reimbursable Temporary Expenses in accordance with the *Agreement Between the City of Meridian and Petra Incorporated*, the Construction Manager of Record for the New City Hall construction project. In particular as noted in Articles 6.2.2 (a), 6.2.2 (b) and 7 (b) relative to changes in project size, complexity and conditions.

The *Agreement Between the City of Meridian and Petra Incorporated* called for an 80,000 SF building valued at \$12.2 Million dollars for the purpose of setting the CM Fee and establishing the construction schedule. During the Site Preparation Phase, unforeseen conditions were encountered that were not part of the Owner's Request for Services nor were these conditions identified in the Owner provided subsurface exploration documentation. These conditions consisted of petroleum based products found in the soil beginning at the South side of the old boiler house foundation and extending to the South property line. These deposits were found in multiple locations in the Southern 1/3 of the site and were anywhere from 3-0 below surface to 16-0 below surface.

A narrative timeline noting the process involved with the discovery and removal of the contaminated soils is included with this letter, along with a graphical representation of the additional work and the impact to the construction schedule these contaminated soils invoked on the project.

When initially uncovered, it appeared that the contaminated soils were confined to a small area corresponding to possible fuel oil storage tanks possibly located on the South side of the boiler house of the

H:\PROJECTS\2006\Wes\Meridian City Hall\Change Order Requests\CM Fee Contaminated Soil 09-12-07.doc

1097 N. ROSARIO ST. · MERIDIAN, ID 83642 · PHONE: (208) 323-4500 · FAX: (208) 323-4507

WWW.PETRAINC.NET
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original creamery complex. Exploratory excavation around this find supported an estimate of ~1,000 CY of removal required. Within just a few days after the initial contaminated soil discovery, a second pocket of "goeey dirt" was uncovered. More exploration found multiple sources of contamination that were migrating in a South to Northwest direction in the subsurface strata.

Compounding this issue was the confirmation of a clay layer or lens at approximately the 16-0 below surface level that was containing the ground water below the lens and the soil contamination above the lens. Extra care was utilized in association with the Geo-technical Consultant, Terracon; the Contamination Consultant, MTI; Petra, and Ideal Demolition to first confirm that no ground water contamination was occurring from the site due to the contaminated soil and secondly to keep the clay lens intact while the contaminated soil was removed to preserve the integrity of the protective membrane and insulate the City from creating a ground water contamination issue.

The discovery of the contaminated soils and the extent of the ground water under the clay lens eventually influenced the design of the City Hall building when no entity was found that would accept the discharge of the ground water during the construction dewatering or the long term dewatering that would be required to keep the basement dry due to ground water migration. Raising the building finish floor elevation ~ four feet put the bottom of the basement floor above the clay lens and out of any ground water influence, except for normal surface water migration. This decision required re-design of the site elevations, the building exterior elevations and the basement foundation drain, all after the Phase II-Shell and Core packages had been awarded.

Upon discovery of the contaminated soils, Petra Incorporated brought Project Superintendent Jon Anderson on site a full month before he was scheduled to start the site excavation which was to be April 4, 2007. Jon arrived on site March 5, 2007 and began directing the contaminated soil removal. Due to the extent of the contamination and the change in design, the contaminated soil removal and correction to the site elevations began on March 12, 2007 and the last load of contaminated soil left the site on May 14, 2007. The Site Contractor for the new construction, MJ's Backhoe and Excavation, Inc. mobilized on site on May 7, 2007 and began working on importing structural fill to replace the material removed as contaminated and removing unsuitable soils identified by Terracon, Inc. that did not meet the Geo-technical report requirements.

Petra Incorporated is asking for 336 of the 380 man hours that Mr. Anderson spent on the Meridian City Hall project during this period of contaminated soil removal from March 5, 2007 through May 14, 2007 managing the contaminated soil removal and well closures which were not part of the original scope of work in the Site Preparation Phase of Petra's CM agreement with the City of Meridian. In addition, Petra is asking for reimbursement for 169.5 man hours of Project Engineer time spent during this same time period of the 294 man hours spent by the Project Engineer. No request for compensation for Project Director/Manager Gene Bennett's 82.0 man hours has been requested. In comparison the contract for the Site Preparation Phase was to include 5% of the Project Manager and Project Engineer's time.

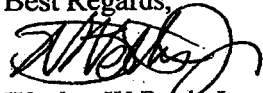
CM Fee Change Order No. 1
Page 3.
September 12, 2007

No Project Superintendent time was included since no extensive work was anticipated, based on the Brownsfield Report provided by the City.

The additional CM Fee that is being requested is in accordance with Articles 6.2.2 (a), 6.2.2 (b) and 7 (b) due to changes in project complexity, size and conditions. The total cost for the removal of the contaminated soils, as confirmed by Meridian City Purchasing is \$422,000.00 in compensation to Ideal Demolition, Inc. Petra is requesting 4.7% of the amount paid to Ideal Demolition, Inc. in additional CM Fee or \$19,384.00.

Since this was an unforeseen issue that could not be anticipated and included multiple participants including Hydrologic for the well closures, Terracon for soil and water testing beyond their original contract and MTI for all of the contamination testing, work plan and documentation with IDEQ; Petra has only included the costs for the actual contaminated soil removal by the abatement contractor rather than include the costs of all of the activities that Petra was managing during that time frame.

Best Regards,



Wesley W Bettis Jr.
Construction Manager

Encl

c: Ted Baird City Attorney's Office
File

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Date: 09/07/2007

*** DAILY JOB COST DETAIL

Report Code: 28.71

Time: 01:54:28 PM

Page: 1

Company No. 1 PETRA Incorporated

Printing: Open Jobs Only Job Range: Multiple Selected

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Transaction Date Range 02/26/07 thru 05/31/07

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02/26/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.75					
	01	420		Project Superintendent	Jon J. Anderson	4.00					
02/27/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.25					
02/28/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	4.50					
03/01/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	3.75					
03/02/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	4.25					
03/03/07	01	410		Project Manager	P/R PE 03/03/07						2,231.44
	01	420		Project Superintendent	P/R PE 03/03/07						176.42
03/05/07	01	410		Project Manager	Eugene R. Bennett	3.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.75					
	01	420		Project Superintendent	Jon J. Anderson	4.00					
03/06/07	01	410		Project Manager	Eugene R. Bennett	1.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.25					
	01	420		Project Superintendent	Jon J. Anderson	4.00					
03/07/07	01	410		Project Manager	Eugene R. Bennett	2.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	3.50					
03/08/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.75					
03/09/07	01	410		Project Manager	Eugene R. Bennett	2.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.25					
03/10/07	01	410		Project Manager	P/R PE 03/10/07						1,827.97
	01	420		Project Superintendent	P/R PE 03/10/07						352.84
03/12/07	01	410		Project Manager	Eugene R. Bennett	3.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.75					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
03/13/07	01	410		Project Manager	Eugene R. Bennett	1.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.25					

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Date: 09/07/2007

** DAILY JOB COST DETAIL

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Company No. 1 PETRA Incorporated

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Phase Codes 01 thru 01 Cost Codes 410 thru 420

Transaction Date Range 02/26/07 thru 05/31/07

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03/14/07	01	410		Project Manager	Eugene R. Bennett	2.00					
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	01	420		Project Superintendent	Jon J. Anderson	8.00					
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	01	420		Project Superintendent	Jon J. Anderson	8.00					
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	01	420		Project Superintendent	Jon J. Anderson	8.00					
03/21/07	01	410		Project Manager	Eugene R. Bennett	2.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.25					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
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03/23/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.50					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
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	01	420		Project Superintendent	Jon J. Anderson	8.00					
03/27/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.75					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
03/28/07	01	410		Project Manager	Eugene R. Bennett	2.00					

Date: 09/07/2007
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 Transaction Date Range 02/26/07 thru 05/31/07

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03/31/07	01	410		Project Manager	P/R PE 03/31/07						1,400.34
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04/02/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.75					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/03/07	01	410		Project Manager	Eugene R. Bennett	7.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.25					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/04/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.25					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/05/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.25					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/06/07	01	420		Project Superintendent	Jon J. Anderson	4.00					
04/07/07	01	410		Project Manager	P/R PE 04/07/07						2,074.34
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04/09/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.87					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.84					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/10/07	01	410		Project Manager	Eugene R. Bennett	7.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.27					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
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Date: 09/07/2007

** DAILY JOB COST DETAIL

Report Code: 28.71

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Page: 4

Company No. 1 PETRA Incorporated

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Phase Codes 01 thru 01 Cost Codes 410 thru 420

Transaction Date Range 02/26/07 thru 05/31/07

DATE	PHASE	COST	CHG	DESCRIPTION	TRANSACTION DESCRIPTION	LABOR	MATERIAL	MATL	EQUIP	EQUIP	JOB COST
		CODE	ORD			HOURS	UNITS	CODE	HOURS	CODE	\$
Job No. 060675 Meridian City Hall (continued)											
04/12/07	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/13/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.00					
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	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/17/07	01	410		Project Manager	Eugene R. Bennett	2.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.75					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/18/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.50					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/19/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.25					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/20/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	8.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/21/07	01	410		Project Manager	P/R PE 04/21/07						2,073.08
	01	420		Project Superintendent	P/R PE 04/21/07						1,764.30
04/23/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/24/07	01	410		Project Manager	Eugene R. Bennett	1.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	4.25					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/25/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.50					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/26/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.50					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
04/27/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	7.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					

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Date: 09/07/2007

** DAILY JOB COST DETAIL

Report Code: 28.71

Time: 01:54:28 PM

Page: 5

Company No. 1 PETRA Incorporated

Printing: Open Jobs Only Job Range: Multiple Selected

Phase Codes 01 thru 01 Cost Codes 410 thru 420

Transaction Date Range 02/26/07 thru 05/31/07

DATE	PHASE	COST	CHG	DESCRIPTION	TRANSACTION DESCRIPTION	LABOR	MATERIAL	MATL	EQUIP	EQUIP	JOB COST
		CODE	ORD			HOURS	UNITS	CODE	HOURS	CODE	\$
Job No. 060675 Meridian City Hall (continued)											
04/28/07	01	410		Project Manager	P/R PE 04/28/07						1,672.87
	01	420		Project Superintendent	P/R PE 04/28/07						1,742.55
04/30/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	5.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/01/07	01	410		Project Manager	Eugene R. Bennett	1.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	1.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/02/07	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/03/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	2.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/04/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	1.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/05/07	01	410		Project Manager	P/R PE 05/05/07						781.84
	01	420		Project Superintendent	P/R PE 05/05/07						1,742.55
05/07/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	3.75					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/08/07	01	410		Project Manager	Eugene R. Bennett	2.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	3.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/09/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	4.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/10/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	4.00					
05/11/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	8.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/12/07	01	410		Project Manager	P/R PE 05/12/07						1,513.51
	01	420		Project Superintendent	P/R PE 05/12/07						1,394.04
05/14/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	8.00					

Date: 09/07/2007

** DAILY JOB COST DETAIL

Report Code: 28.71

Time: 01:54:28 PM

Page: 6

Company No. 1 PETRA Incorporated

Printing: Open Jobs Only Job Range: Multiple Selected

Phase Codes 01 thru 01 Cost Codes 410 thru 420

Transaction Date Range 02/26/07 thru 05/31/07

DATE	PHASE	COST	CHG	DESCRIPTION	TRANSACTION DESCRIPTION	LABOR	MATERIAL	MATL	EQUIP	EQUIP	JOB COST
		CODE	ORD			HOURS	UNITS	CODE	HOURS	CODE	\$
Job No. 060675 Meridian City Hall (continued)											
05/14/07	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/15/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	8.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/16/07	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/17/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	8.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/18/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	8.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/19/07	01	410		Project Manager	P/R PE 05/19/07						2,094.09
	01	420		Project Superintendent	P/R PE 05/19/07						1,742.55
05/21/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	8.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/22/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	8.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/23/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	6.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/24/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	2.00					
	01	420		Project Superintendent	Jon J. Anderson	5.00					
05/25/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	2.00					
	01	420		Project Superintendent	Jon J. Anderson	8.00					
05/26/07	01	410		Project Manager	P/R PE 05/26/07						1,530.06
	01	420		Project Superintendent	P/R PE 05/26/07						1,611.85
05/28/07	01	420		Project Superintendent	Jon J. Anderson	8.50					
05/29/07	01	410		Project Manager	Eugene R. Bennett	4.00					
	01	410		Project Manager	Wesley Wayne Bettis, Jr.	1.75					
	01	420		Project Superintendent	Jon J. Anderson	7.50					
05/30/07	01	410		Project Manager	Wesley Wayne Bettis, Jr.	3.00					

- 82.0 matrs.
- 294.05 matrs
380 hrs

De Weerd: Any further questions?

Zaremba: No.

De Weerd: Mr. Bird?

Bird: I have nothing -- no questions, so let's do a very good job in providing for it and it's more than I wish we had to spend, but that's -- we want a quality building and we -- I feel that we are more paying for that access flooring is well worth the money. I think the extras we have, I think it's a building that we will be proud of forever. Fifty years from now this will be functional. I think we could have -- and I'll put myself up front, you as second, I think we could have put the thumbs on the departments a little more and my plan was to have about 20,000 square foot to lease out and it seems like we took -- it seems like we took everything out and that's our fault and I don't blame them, don't get me wrong.

De Weerd: I heard you. It's on the record.

Bird: I don't blame them at all. I just -- and, you know, the property being cleaned up, nobody could foresee that. I think we are getting a heck of a building for that money myself personally. I think it will be a beautiful building. I think it's -- I think will be classy, that's what we started out to do.

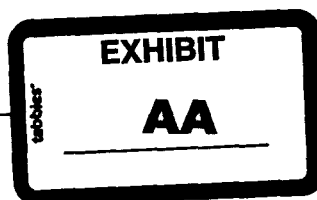
De Weerd: Thank you. So, no other questions?

Borton: Madam Mayor?

De Weerd: Mr. Borton.

Borton: Just one other. And I don't see how it's broken down. You got a footnote on it. What happened with the stand alone HVAC server. Is there -- I don't know what that change -- how much we are talking about, but is there -- was there ever a time when there wasn't a stand alone for the server room.

Bettis: Council President Borton, the server room was not identified as requiring a separate stand alone HVAC system in the additional criteria. This came about -- and, Mr. Watts, you may need to help me out here -- timing-wise it was less than 30 days ago when IT met with Mr. Bird and Mr. Watts, as well as the design team, said we really do need, because of the number of servers we are going to have, we are anticipating on having, we need a separately conditioned room. Now, with an access floor system and the way that this building has been designed, more air could be delivered to this room in a typical design and perform the same services. However, after reviewing it with the IT department, they were adamant that they needed to have this additional air-conditioning



Zaremba: Second.

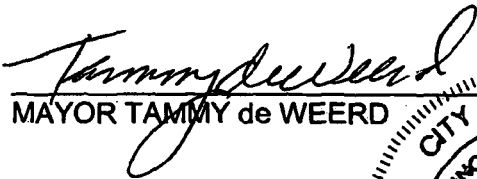
De Weerd: All those in favor.

MOTION CARRIED: THREE AYES. ONE ABSENT.

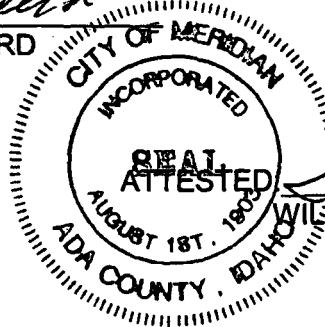
MEETING ADJOURNED AT 11:12 P.M.

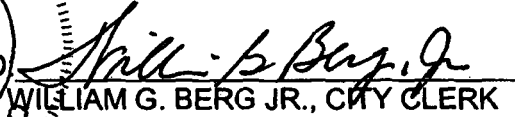
(TAPE ON FILE OF THESE PROCEEDINGS)

APPROVED:


MAYOR TAMMY de WEERD

8, 28, 07
DATE APPROVED




WILLIAM G. BERG JR., CITY CLERK

some chiller work that may have to be done. We will find out as the warm weather approaches. And, then, your mason, cleaning up the exterior of the building. So, those are the main two that are outstanding at this point and they know the work that they have to do there.

De Weerd: Okay. Mr. Watts?

Watts: There is one other and that is the – well, the masonry on the building and, then, the masonry on the front water feature as well. That's the third.

Bird: Madam Mayor?

De Weerd: Yes, Mr. Bird.

Bird: How about the concrete out here, those cracks in the curbing?

Watts: We will be – that is correct. That is Akleson Concrete. Tom Johnson from our inspection department has been in touch with them and they are working those details out to get that corrected.

De Weerd: Okay. Anything further from Council? I can say that it's been a joy to be in the building and we have gotten a lot of positive comments from our citizens and so we thank you.

Bennett: You're welcome. You will for a long time.

Bird: Been nice working with you, Gene.

Watts: Thanks, Gene and Tom.

B. Planning Department:

1. Follow Up on CDBG Discussion:

De Weerd: Okay. Item number B is our Planning Department. Hi, Matt.

Ellsworth: Madam Mayor, Members of the Council. Thank you. I am here this evening to provide a brief rundown on how things penciled out after last week's discussion of CDBG funds and use thereof and to seek Council's approval and/or any adjustments that you'd like staff to make in working things in that direction. So, if you will recall from last week, Council gave staff priorities as to how best to use CDBG funds that are currently available and last week after that direction was provided staff went back, assigned numbers, values to each of those, scored it like golf and this is what we came up with as far as low score to high. Centennial Park improvements was priority number one. Facade improvements. Number three was Five Mile Creek pathway. Number four was community center ADA upgrades. Number five the McFadden Market. And

MOTION CARRIED: ALL AYES.

EXECUTIVE SESSION:

Bird: Madam Mayor, I move we come out of Executive Session.

Zaremba: Second.

De Weerd: All those in favor? Motion passed.

MOTION CARRIED: ALL AYES.

De Weerd: Do I have a motion to adjourn?

Bird: So moved.

Hoaglun: Second.

De Weerd: All those in favor?

MEETING ADJOURNED AT 9:15 P.M.

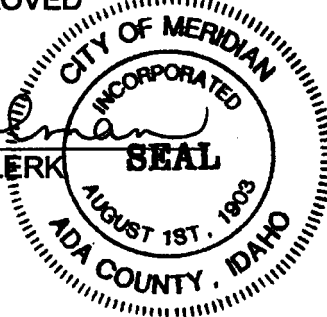
(AUDIO RECORDING ON FILE OF THESE PROCEEDINGS)



TAMMY de WEERD, MAYOR

4 / 14 / 2009
DATE APPROVED

ATTEST: 
JAYCEE L. HOLMAN, CITY CLERK





**MATERIALS
TESTING &
INSPECTION**

EXHIBIT "A"
PAGE # 1 OF 4

Rev. 02/16/07

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Creamery P2ESA.doc

Environmental Services Geotechnical Engineering Construction Materials Testing Special Inspections

MR. WESLEY BETTIS
PETRA, INC.
9056 W. Black Eagle Drive
Boise, Idaho 83709

Phone: 323-4500

Fax: 323-4507

**Re: Proposal for Phase II Subsurface Investigation
At the former Meridian Creamery
Meridian, Idaho**

Dear Mr. Bettis:

In response to your request, Materials Testing and Inspection, Inc. (MTI) is pleased to submit the following proposal for the performance of a Phase II Subsurface Investigation at the above referenced site. It is understood that a suspected petroleum release was discovered on a portion of the former Meridian Creamery, Meridian, Idaho. This investigation is to identify the contaminants of concern, determine the full lateral and vertical extent of the contamination and to determine the most appropriate approach for the project, such as performing a risk based analysis or through remediation by removal of the source area.

MTI proposes to investigate the presence and extent of soil and groundwater contamination associated with the above-defined areas in the following manner:

1. Install at least eight excavated test pits using a steel tracked hoe at separate locations on the site;
2. Perform on-site screening of test pit locations using field techniques and equipment;
3. Collect subsurface soil and ground water grab samples in at least eight locations on the site;
4. Submit the samples for confirmation analysis for site specific contaminants of potential concern;
5. Prepare a summary of our findings in a written report.

It is proposed that the fees for the performance of the outlined services be determined on a unit fee basis, and that services be provided in accordance with the attached MTI General Conditions for Environmental Site Assessment Services, which are incorporated into and made part of this proposal. Additional work required beyond the scope of services included in this proposal is not anticipated but if needed will be invoiced on a unit fee basis, in accordance with the unit rates listed below. The following estimated fees for your project are based upon the items and quantities quoted (this is not a "Not to Exceed" quote). All services and fees which are beyond the scope of this estimate will be charged at our standard rates.





MATERIALS TESTING & INSPECTION

EXHIBIT "A"
PAGE # 2 OF 4

Rev. 02/15/07

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Creamery P2ESA.doc

Environmental Services Geotechnical Engineering Construction Materials Testing Special Inspections

SCHEDULE OF FEES AND SERVICES

Environmental Site Assessment Services	Rate	Unit	Subtotal
ENVIRONMENTAL SERVICES			
Site Inspection	\$65.00	40	\$2,600.00
Project Management	\$75.00	6	\$450.00
Soil/Water Sample Analysis via TPH (Method 8015)	\$125.00	8	\$1,000.00
Soil/Water Sample Analysis via PAHs (Method 8270C)	\$208.00	16	\$3,328.00
Soil/Water Sample Analysis via BTEX+N+M (Method 8260B)	\$125.00	16	\$2,000.00
Analysis for RCRA 8 Metals	\$150.00	4	\$600.00
Report Preparation, per hour	\$75.00	16	\$1,200.00
MISCELLANEOUS SERVICES			
Excavation of Test Pits (includes mobilization & de-mob)	\$1,725.00	2	\$3,450.00
Expendables (supplies, containers, tubing, etc.)	\$50.00	1	\$50.00
Field Equipment Usage (PID, pumps, magnetic locator, etc.)	\$85.00	1	\$85.00
CADD Operator	\$30.00	2	\$60.00
Registered Professional Geologist Review	\$75.00	2	\$150.00
ESTIMATED PROJECT TOTALS:			\$14,973.00

This amount will not be exceeded without advanced justification to and authorization by our client. Please note if ground water contamination is disclosed, further investigation and notification to the Idaho DEQ may be required. MTI will proceed with the work upon receipt of a signed copy of this proposal, intact. MTI appreciates this opportunity to be of service to you. Please feel free to contact us to answer any questions you may have concerning this proposal.

Respectfully submitted,
MATERIALS TESTING AND INSPECTION, INC.

Rusty Boicourt, P.G.
Environmental Services Manager

Attached: Professional Services Contract



MATERIALS TESTING & INSPECTION

PAGE # 3 OF 4
FEBRUARY 15, 2007

DOCUMENT#

Environmental Services Geotechnical Engineering Construction Materials Testing Special Inspections

PROFESSIONAL SERVICES CONTRACT

THIS AGREEMENT is made and entered into effective this Thursday, February 15, 2007 by and between **PETRA, INC. ("CLIENT")** and **MATERIALS TESTING & INSPECTION, INC. ("CONSULTANT")** and is made with reference to the following facts and objectives:

RECITALS:

WHEREAS, CLIENT intends to have MTI Perform a Phase II Subsurface Investigation in accordance with the Proposal (Exhibit "A") on the above referenced site (hereinafter referred to as the "Project").

NOW, THEREFORE, in consideration of their mutual covenants, CLIENT and CONSULTANT herein agree, in respect of the performance of professional materials testing and construction inspection services by CONSULTANT and the payment for those services by CLIENT, as set forth below.

- I. **SCOPE OF SERVICE.** The services to be performed by CONSULTANT under this Agreement are described in Exhibit "A" attached hereto, and incorporated herein by this reference as though fully set forth. Any estimated quantities contained in Exhibit "A" are estimates only and CLIENT agrees that CONSULTANT is entitled to payment for reasonable services rendered in excess of the estimated quantities and/or cost figures as described in Exhibit "A".
- II. **PAYMENTS TO CONSULTANT.** CLIENT shall pay CONSULTANT for the services rendered hereunder in accordance with the fee and payment schedule attached hereto as Exhibit "A". CONSULTANT shall submit monthly statements for services rendered and for reimbursable expenses incurred. Administrative and/or management time for report review and preparation, schedule changes, and other project related activities will be added to the inspector's/technician's time. All monthly statements submitted to CLIENT shall be due and payable at the time of the billing unless otherwise specified in this Agreement. If CLIENT fails to pay CONSULTANT within thirty (30) days after receipt of monthly statements for services rendered and for reimbursable expenses incurred, CLIENT agrees to pay one percent (1%) interest per month until the monthly statements are paid in full. CLIENT further agrees that nonpayment of monthly statements beyond a seventy-five (75) day period constitutes a material breach of this Agreement with the exception of reasonably disputed amounts that upon written notice from CONSULTANT, the duty, obligations and responsibilities of CONSULTANT under this Agreement are terminated. In such event CLIENT shall promptly pay CONSULTANT for all fees, charges and services as outlined in Exhibit "A" provided by CONSULTANT up to the date of termination.
- III. **SERVICES.** CONSULTANT will act for CLIENT in a professional manner, using that degree of care and skill ordinarily exercised by and consistent with the standards of the professional practicing in the same or similar locality of the Project site. CONSULTANT makes no warranty, either expressed or implied, as to its findings, recommendations, specifications or professional advice. CONSULTANT will provide only those services that, in the option of CONSULTANT, lie within the technical and professional areas of expertise of CONSULTANT as set forth in Exhibit "A" and which CONSULTANT is adequately staffed and equipped to perform. CLIENT shall request in writing if CLIENT desires CONSULTANT to provide services outside of the scope of services described in Exhibit "A", attached hereto. CONSULTANT shall advise CLIENT in writing of any services that lie outside the technical and professional expertise of CONSULTANT.
- IV. **SAMPLE DISPOSAL.** Unless otherwise agreed to in writing, samples removed from Project site by CONSULTANT to a laboratory will, upon completion of testing, be disposed by CONSULTANT or the laboratory. CLIENT further agrees the cost for disposal of Hazardous Materials to include the characterization costs shall be borne by CLIENT.
- V. **CLIENT'S RESPONSIBILITIES.** CLIENT or CLIENT'S authorized representatives will provide CONSULTANT with all revised and updated plans, specifications, addenda, change orders, approved shop drawings and any other information for the proper performance of CONSULTANT pursuant to this Agreement. CONSULTANT shall not be responsible for any errors and/or omissions in the performance of CONSULTANT'S work or services rendered resulting from CLIENT'S failure to provide CONSULTANT with revised and updated plans, specifications, addenda, change orders, approved shop drawings and other information for the proper performance of CONSULTANT. (CLIENT will arrange and provide access to each area in which it will be necessary for CONSULTANT to perform its work).
- VI. **INSURANCE.** CONSULTANT shall secure and maintain throughout the full period of this Agreement sufficient insurance to protect it adequately from claims under applicable Workmen's Compensation Acts and from claims for bodily injury, death or property damage as may arise from the performance of services under this Agreement. In addition, CONSULTANT shall secure and maintain throughout the full period of Agreement sufficient Professional Liability insurance to protect it adequately from claims arising from errors or omissions resulting from Professional Services.
- VII. **EXEMPTIONS OF CONSULTANT'S RESPONSIBILITIES.** CONSULTANT shall not be responsible for acts and/or omissions of any party or parties involved in the design of the Project or the failure of any Contractor or Subcontractor to construct any aspect of the Project in accordance with the contract documents, or in accordance with recommendations contained in any correspondence or written recommendations issued by CONSULTANT. CONSULTANT is not authorized to revoke, alter, relax, enlarge or release any requirement of the Project's specifications or other contract documents, nor to approve or accept any portion of the work, unless specifically authorized in writing by CLIENT or his authorized representative. CONSULTANT shall not have the right of rejection or the right to stop work, except for such periods as may be required to conduct sampling, testing, or inspection of operations covered by this Agreement. CONSULTANT shall not be liable for damages resulting from the actions or inactions of any governmental agencies, including but not limited to, permit



**MATERIALS
TESTING &
INSPECTION**

DOCUMENT 2

- Environmental Services
- Geotechnical Engineering
- Construction Materials Testing
- Special Inspections

processing, environmental impact reports, governmental building inspections, dedications, general plans and amendments thereto, zoning matters, annexations or consolidations, use or conditional use permits and/or building permits.

- VIII. **CHANGES IN SCOPE OF WORK.** CLIENT, without invalidating this Agreement may order changes in the scope or character of services and/or work performed by CONSULTANT, either decreasing or increasing the amount of CONSULTANT'S work or services. All such changes in the work and/or services performed by CONSULTANT shall be authorized by a written change order signed by CLIENT and shall be performed under the applicable terms and conditions of this Agreement. CONSULTANT shall not be obligated to perform any changes in the scope or character of the work and/or services until CONSULTANT is in receipt of a written change order signed by CLIENT and signed by CONSULTANT indicating its agreement therewith.
- IX. **LIMITATION OF LIABILITY.** Should MTI or any of its professional employees be found to have been negligent in the performance of its work, or to have made and breached any express or implied warranty, representation or contract, Client, all parties claiming through Client and all parties claiming to have in any way relied upon MTI's work, agree that the maximum aggregate amount of the liability of MTI, its officers, employees and agents shall be limited to \$5,000.00 or the total amount of the fee paid to MTI under this Agreement or the limit of any optional, Client-purchased insurance, whichever amount is lesser.
- X. **COMPENSATION FOR SERVICES RENDERED.** CLIENT recognizes that the estimate noted in Exhibit "A" (if provided) was obtained through a diligent evaluation of the contract documents and scheduled discussions with the Owner, relevant subcontractors and the general contractor. CLIENT recognizes that the testing and inspection industry, and the services rendered herein under this contract, are schedule driven and are as mandated by the scheduling and manning of the contractor(s). Should such items, for example, as the quantity of concrete placement, field or shop steel welding schedules or masonry placement days alter from that quoted within our proposal, CONSULTANT shall be entitled to compensation for services rendered.
- XI. **OVERTIME AND BILLING MINIMUM.** CLIENT recognizes the attached Exhibit "A" which outlines billing minimums of two (2) hours for any services rendered on site. In addition, CLIENT recognizes that, on occasion, due to the schedule of the contractor or relevant subcontractors, occasional overtime will be encountered. Due to the nature of the construction business, CONSULTANT will have no notice of this until the day the said overtime occurs. CLIENT agrees to compensate CONSULTANT for such overtime.
- XII. **LIMITATION OF SERVICES PROVIDED.** The services provided pursuant to this agreement are intended solely for the use and benefit of the CLIENT as noted above. No other person or entity shall be entitled to rely on the services, opinions, recommendations, plans, or specifications provided pursuant to this agreement without the expressed written consent of CONSULTANT.
- XIII. **INDEMNITY.** CLIENT agrees to defend, indemnify, and hold CONSULTANT, its officers, directors, employees, agents and independent contractors harmless from any and all claims, suits or liability for personal injury, death, illness, property damage, damage to natural resources, fine or penalty arising or alleged to have arisen out of performance of CONSULTANT'S work to the extent that such claims or damages were due to the negligence of the CLIENT, except to the extent due to gross negligence or intentionally wrongful conduct of CONSULTANT. CLIENT further agrees to compensate CONSULTANT for all costs, expenses and fees reasonably incurred in defending any such claim, including court costs and attorney's fees. In the event CLIENT shall bring any action against CONSULTANT, to the extent CONSULTANT prevails in such action, CLIENT shall provide the same compensation.
- XIV. **PROVISIONS SEVERABLE.** The unenforceability or invalidity of any provision or provisions hereof shall not render any other provision or provisions unenforceable or invalid. Nothing in the Agreement shall relieve any party from its responsibilities under law or contract.
- XV. **LOCATION OF AGREEMENT AND DURATION OF PROPOSAL.** This agreement is governed by the laws of the State of Idaho, and is entered into the County of Ada, City of Boise. The attached Proposal shall remain valid and in effect for 180 days from the date written in below.

This agreement contains the entire and integrated Agreement between CLIENT and CONSULTANT and supersedes all prior negotiations, representations or agreements, either written or oral. This agreement cannot be amended or modified except by a written Agreement, executed by each of the parties hereto. This Agreement is covered by the laws of the state of Idaho.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date and year first above written, at Boise, Idaho.

Consultant:

Client:

Materials Testing & Inspection, Inc.

Company Name

Name & Title: Jon Zwick - Est. Proj. Mgr.

Name & Title: _____

Date: 2-15-07

Date: _____

Analytical Laboratories, Inc.

1804 N. 33rd Street
Boise, Idaho 83703
Phone (208) 342-5515

Date Report Printed: 3/7/2007 11:53:47 AM

Attn: JON KRUCK
MATERIALS TESTING & INSPECTION
2791 S VICTORY VIEW WAY
BOISE, ID 83709

Collected By:
Submitted By: J BABIONE

Source of Sample:
PROJECT: CREAMERY BORE HOLE PILE

Time of Collection: 16:55
Date of Collection: 2/14/2007
Date Received: 3/5/2007
Report Date: 3/7/2007

PWS: PWS

Laboratory Analysis Report

Sample Number: 0707409

EPA 8270C testing by Anatek Labs.(ATL)

Test Requested	MCL	Analysis Result	Units	MDL	Method	Date Completed	Analyst
Acenaphthene		5.31	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Acenaphthylene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Anthracene		3.24	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Benzidine		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Benzo(a)anthracene		5.55	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Benzo(a)pyrene		3.05	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Benzo(b)fluoranthene		3.03	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Benzo(ghi)Perylene		6.76	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Benzo(k)fluoranthene		1.83	mg/kg	1.25	EPA 8270	3/6/2007	ATL
4-Bromophenyl phenyl ether		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Butyl benzyl phthalate		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
4-Chloro-3-methylphenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
4-Chloroaniline		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Bis(2-chloroethoxy)methane		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Bis(2-chloroethyl)ether		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Bis(2-chloroisopropyl)ether		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2-Chloronaphthalene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2-Chlorophenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL

MCL = Maximum Contamination Level
MDL = Method/Minimum Detection Limit
UR = Unregulated

Laboratory Analysis Report

Sample Number: 0707409

EPA 8270C testing by Anatek Labs.(ATL)

Test Requested	MCL	Analysis Result	Units	MDL	Method	Date Completed	Analyst
4-Chlorophenyl phenyl ether		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Chrysene		6.59	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Di-n-butyl phthalate		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Di-n-octylphthalate		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Dibenzo(a,h)anthracene		5.90	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Dibenzofuran		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
1,2-Dichlorobenzene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
1,3-Dichlorobenzene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
1,4-Dichlorobenzene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
3,3'-Dichlorobenzidine		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2,4-Dichlorophenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Diethyl phthalate		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Dimethyl phthalate		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2,4,-Dimethylphenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2,4,-Dinitrophenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2,4-Dinitrotoluene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2,6-Dinitrotoluene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
1,2-Diphenylhydrazine		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Bis(2-ethylhexyl)phthalate		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Fluoranthene		1.69	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Fluorene		7.22	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Hexachlorobenzene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Hexachlorobutadiene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Hexachlorocyclopentadiene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Hexachloroethane		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Indeno(1,2,3-cd)pyrene		5.38	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Isophorone		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2-Methylnaphthalene		3.48	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2-Methylphenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
4-Methylphenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Naphthalene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2-Nitroaniline		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL

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Laboratory Analysis Report

Sample Number: 0707409

EPA 8270C testing by Anatek Labs.(ATL)

Test Requested	MCL	Analysis Result	Units	MDL	Method	Date Completed	Analyst
3-Nitroaniline		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
4-Nitroaniline		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Nitrobenzene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2-Nitrophenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
4-Nitrophenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
N-Nitrosodi-n-propylamine		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
N-Nitrosodimethylamine		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATI.
N-Nitrosodiphenylamine		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Pentachlorophenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Phenanthrene		14.1	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Phenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Pyrene		9.87	mg/kg	1.25	EPA 8270	3/6/2007	ATL
1,2,4-Trichlorobenzene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2,4,5-Trichlorophenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
2,4,6-Trichlorophenol		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Phenols		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Carbazole		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Azobenzene		<1.25	mg/kg	1.25	EPA 8270	3/6/2007	ATL
Acetone		<0.125	mg/kg	0.125	EPA 8260	3/6/2007	DMB
Benzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Bromochloromethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Bromodichloromethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Bromoform		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Bromomethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
n-Butylbenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
sec-Butylbenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
tert-Butylbenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Carbon tetrachloride		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Chlorobenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Chloroethane		<0.050	mg/kg	0.05	EPA 8260	3/6/2007	DMB
2-Chloroethyl vinyl ether		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Chloroform		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB

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Laboratory Analysis Report

Sample Number: 0707409

EPA 8270C testing by Anatek Labs.(ATL)

Test Requested	MCL	Analysis Result	Units	MDL	Method	Date Completed	Analyst
Chloromethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
2-Chlorotoluene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
4-Chlorotoluene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Dibromochloromethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Dibromomethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Dichlorodifluoromethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,2-Dibromo-3-chloropropane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Ethylene Dibromide		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,2-Dichlorobenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,3-Dichlorobenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,4-Dichlorobenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Trans-1,4-Dichloro-2-Butene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,1-Dichloroethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,2-Dichloroethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,1-Dichloroethene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
cis-1,2-Dichloroethene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
trans-1,2-Dichloroethene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Methylene chloride		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,2-Dichloropropane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
2,2-Dichloropropane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
cis-1,3-Dichloropropene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
trans-1,3-Dichloropropene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Ethylbenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Hexachlorobutadiene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
2-Hexanone		<0.125	mg/kg	0.125	EPA 8260	3/6/2007	DMB
Isopropylbenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
p-Isopropyltoluene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Methyl ethyl ketone		<0.125	mg/kg	0.125	EPA 8260	3/6/2007	DMB
4-Methyl-2-pentanone (MIBK)		<0.125	mg/kg	0.125	EPA 8260	3/6/2007	DMB
Naphthalene		<0.125	mg/kg	0.125	EPA 8260	3/6/2007	DMB
n-Propylbenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Styrene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB

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Laboratory Analysis Report

Sample Number: 0707409

EPA 8270C testing by Anatek Labs.(ATL)

Test Requested	MCL	Analysis Result	Units	MDL	Method	Date Completed	Analyst
1,1,1,2-Tetrachloroethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,1,2,2-Tetrachloroethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Tetrachloroethene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Toluene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,2,3-Trichlorobenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,2,4-Trichlorobenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,1,1-Trichloroethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,1,2-Trichloroethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Trichloroethene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Trichlorofluoromethane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,2,3-Trichloropropane		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Vinyl chloride		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Xylene, Total		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,3,5-Trimethylbenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
1,2,4-Trimethylbenzene		<0.025	mg/kg	0.025	EPA 8260	3/6/2007	DMB
Diesel Range Organics	11,500		mg/kg	50	EPA 8015	3/6/2007	CY
Gasoline Range Organics	<40.0		mg/kg	40	EPA 8015	3/6/2007	CY
Oil Range Organics	12,400		mg/kg	50	EPA 8015	3/6/2007	CY

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Thank you for choosing Analytical Laboratories for your testing needs.

If you have any questions concerning this report,

please contact: David Bennett

Page 5 of 5

002167
PETRA85751



**MATERIALS
TESTING &
INSPECTION**

**ASTM C-1314 Compressive
Strength of Masonry Prisms**

PAGE #1 OF 1
REVISION DATE 8/17/2007
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- Environmental Services
- Geotechnical Engineering
- Construction Materials Testing
- Special Inspections

Keith Watts
City of Meridian
33 East Idaho Avenue
Meridian, ID 83642

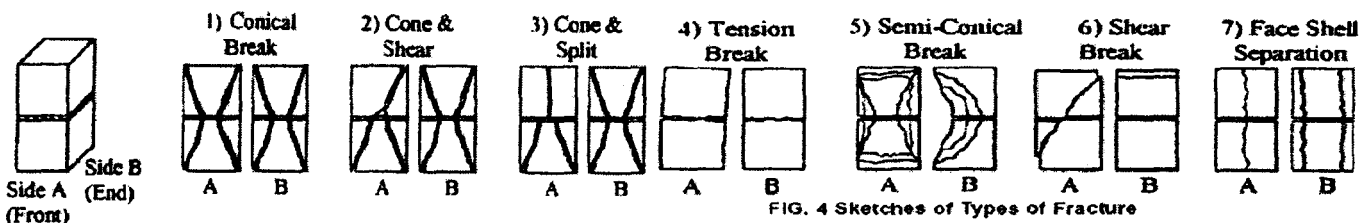
Phone: (208) 898-5500
Fax: (208) 888-4218
Other:

Project: Meridian City Hall

Contractor: Petra	Inspector: Clark	Ticket #: 76809724
Supplier: ICCO	Truck #: 3102	Report #: 071sm
Mix ID: 3136522	# Of Yards: 6.5	
Location: North stair tower, elevation 4' to 8'		

Date Made: 7/16/07	Specified CMU f'm (psi): 1500
Type of CMU: Normal wt. smooth face	GROUT f'c (psi): 2000
Nominal Size (in.): 8x8x16	Mortar f'c (psi): 1800
Ambient Temperature(°F): 93°	Time Grout Batched: 10:30am
Temperature of Grout(°F): 86°	Time Grout Placed: 11:10am
Mortar Type:	Temperature of Mortar (°F):
Min / Max Temp. F first 48 hours:	Diameter of Spherical Seat 6.5 in.
Upper/Lower Platen Diameter 11.5 in.	Required Upper/Lower Bearing Plate Thickness: 2.85 in.
Provided Upper/Lower Bearing Plate Thickness 2.85 in.	

CMU Prism ID	Date Received	Test Age in Days	Date Tested	Prism Grouted ?	Prism Width (inches)	Prism Length (inches)	Prism Height (inches)	Height : least lateral prism dimension	Correcti on Factor	Percent Net Area ASTM C140	Net Area (sq. in.)	Failure Load (lbs)	Corrected Compressive Strength (psi)	Failure Mode 1-7 below
5758	Jul 19, 07	7	Jul 24, 07	yes	7.60	7.60	15.90				57.76	131,460	2,280	
5759	Jul 19, 07	28	Aug 14, 07	yes	7.60	7.60	15.85				57.76	107,280	1,860	
5760	Jul 19, 07	28	Aug 14, 07	yes	7.60	7.60	15.50				57.76	109,480	1,900	
Compressive Strength of Masonry (average for the set of 28 day prisms (psi)):													1,880	



If you have questions concerning this report (cmu5758), please contact us immediately.

Respectfully submitted,
MATERIALS TESTING & INSPECTION INC.

Reviewed by: George DuPont
Corporate Construction Services Manager

ORIGINAL

NO. _____
A.M. 10:24 FILED PM

APR 08 2010

J. DAVID NAVARRO, Clerk
By KATHY J. BIEHL
DEPUTY

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Attorneys for Defendant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

**MEMORANDUM IN OPPOSITION TO
MOTION FOR LEAVE TO FILE FIRST
AMENDED COMPLAINT AND ADD
CLAIM FOR PUNITIVE DAMAGES
PURSUANT TO IDAHO CODE
SECTION 6-1604**

43

Petra Incorporated (“Petra” or the “Construction Manager”) submits this Memorandum in Opposition to Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages Pursuant to Idaho Code § 6-1604 filed by the City of Meridian (“Meridian” or “City”).

1. INTRODUCTION

This case involves a contract dispute between Meridian and Petra arising out of the services Petra performed as the construction manager on the Project¹ and Meridian’s failure to pay Petra all of the money to which it is entitled. As argued below: (1) Petra’s work conformed to the terms and conditions of the Construction Management Agreement dated August 1, 2006 (“Construction Management Agreement”) as evidenced by the inspections and punch list sign-offs by City representatives, the certifications by Meridian’s own building inspectors, certifications by the City’s architects, inspections and certifications by inspection and testing companies hired by the City, and sign-off by the City’s commissioning agent; (2) Meridian knew of and approved the all extra labor and materials the contractors and vendors provided as a result of the substantial changes Meridian ordered and approved for the Project, which in turn required Petra to perform additional construction management services; (3) Petra is entitled to an

¹ See Affidavit of Jerald S. Frank dated April 7, 2010 and Exhibit A thereto. See also the Construction Management Agreement (Bates Nos. CW002684 – CM002711) describes the subject project at Recitals B (Bates No. CM002687) as follows: “Owner desires to abate and demolish the existing structure on the Site and develop a new city hall facility thereon consisting of a four story structure with approximately 80,000 square feet of standard Class A office space and related improvements with surface parking (the “Project”).” As is noted below, the size and scope of the Project was dramatically increased by Meridian during the course of Petra’s performance of its services under the Construction Management Agreement.

“equitable adjustment” in compensation under the express terms of the Construction Management Agreement and Idaho law; (4) Meridian has not offered any admissible expert testimony to support its allegations in the proposed First Amended Complaint that Petra violated the applicable standard of care, and (5) Meridian’s proposed First Amended Complaint suffers from the same lack of required particularity as its original complaint.

With regard to the lack of particularity in the proposed First Amended Complaint and as a supplement to the law and arguments set forth below, Petra’s Motion to Dismiss Plaintiff’s Complaint under I.R.C.P. 12(b)(6) and the supporting Memorandum are incorporated herein.²

PUBLIC COMMENTS BY CITY OFFICIALS

Also by way of introduction it is important to note that City officials were very complimentary in their public comments regarding the Project and the services that Petra provided. As reported in the Affidavit of Jerald S. Frank dated April 7, 2010 Mayor Tammy DeWeerd and City Council President Charlie Roundtree gave speeches at the Grand Opening held on November 21, 2008.

Mr. Frank noted the following verbatim comments by Mayor DeWeerd:

² Petra’s motion to dismiss was made because the Complaint fails to state a claim for which relief can be granted. It contains only naked allegations and legal conclusions which are devoid of the required factual basis and it does not contain any plausible basis for relief. The insignificant factual allegations of the Complaint and proposed First amended Complaint are not enough to raise Meridian’s claims for relief above the speculative level. See United States Supreme Court’s holdings in *Bell Atlantic Corp. v. Twombly*, 550 U. S. 544, 127 S. Ct. 1955 (2007) and *Ashcroft v. Iqbal*, ___ U.S. ___, 127 S. Ct. 1937 (2009).

Mayor DeWeerd's Comments

This building is symbolic of the site that it replaced. The creamery was the economic center of the City of Meridian. We believe this building will create that economic activity back into the heart of the community.

This was designed with a beautiful and meaningful purpose and thus you have the design of this building and this plaza built in the heart of our community. This is built to serve our public for a century.

What you see here is an amazing building.

We know that this was the heart of Meridian. The selection of this downtown location was a commitment by former councils to keep local government in the heart and soul of our community.

The City Hall has a lifespan of 200 people (sic) or 200 years.

It will serve the next century. And we know that it will serve our citizens proudly.

As many of you know, we have been here for several weeks now. I want to share a couple of comments we have received:

...

During the construction of this building, we did have a couple of surprises. The soil underneath this plaza gave us a couple of interesting experiences, contaminated materials and soils.

So, we hauled out 6,000 tons of contaminated materials and 8,600 cubic yards of soil and also found a very high water table.

This did increase the cost of our project. We also found opportunity. We added 20,000 feet in the basement, an expensive space that one day will be put to use for the future.

The City Council also committed to building an energy efficient and LEED certified structure.

Investing wisely in energy efficiency and technology now, will serve, as you have heard, save money and precious resources for the future. This will produce a long term cost savings to the City of 30%.

With the raised floor system it becomes easy to integrate new technologies.

Many steps have been taken to promote healthy and sustained environment for our employees.

80% of our construction waste was recycled.

The City of Meridian has a new City Hall that was planned and saved for for over a decade; we paid cash. And assuring that growth was paid for for this expansion facility. No bond or other financing was necessary.

It sets a standard for downtown community development.

Mr. Frank also noted the following verbatim comments by Council President Roundtree:

Council President Roundtree's Comments

It is my honor today as a City Council President to recognize a few folks, and not everybody, who made this possible. There's been a lot of long hours, a lot of hard work, a lot of vision, a lot of planning. We went out and and got the planning expertise of architects and we went out and hired folks who could actually build things. We worked with on daily basis to start, on a weekly and monthly basis with LCA architects, uh, uh, Steve and Steve. We appreciate your efforts and the help you gave the City staff and the council to get to where we have come today.

We utilized the expertise of Petra, and and worked with their staff on an almost daily basis with our staff. And Jerry, thank you to you and your folks and Gene and Jack and Nick, the the people that were on the ground to make sure that things got done in a timely manner so we could enjoy this weather today, Our gratitude and appreciation.

We will enjoy this City Hall forever for some of us, for a long time for the rest of you.

It has been a labor of love for all us in terms of once we made the jump, these folks that I've introduced that put their blood sweat and tears in actually making it happen and made it happen, and I can't say anything more than we certainly appreciate and recognize what you've gone through to make this happen for our great city.

Enjoy what we think we have created for the community. Not just the government legal structure.

Meridian Representations in its Audited Financial Statements

As noted below Meridian claims that Petra misled the City regarding the cost of the Project. However, in its public statements included in the April 10, 2007 Facilities Inventory and Capital Improvement Plan, the City represented to the public that "The entire cost [of the Project] is estimated to be over \$20 million." See Exhibit C to the Affidavit of Thomas G. Walker dated April 7, 2010.

City Council Meeting Minutes

Having recognized that the cost of the Project would exceed \$20 million, Councilman Keith Bird made the following statements during the City Council Meeting held on July 24, 2007:

Bird: I have nothing – no questions, so let's do a very good job in providing for it and its more than I wish we had to spend, but that's – we want a quality building and we – I feel that we are more paying for that access flooring is well worth the money. I think the extras we have, I think it's a building that we will be proud of forever. Fifty years from now this will be functional. I think we could have – and I'll put myself up front, you as second, I think we could have put the thumbs on the departments a little more and my plan was to have about 20,000 square foot to lease out and it seems like we took – it seems like we took everything out and that's our fault and I don't blame them, don't get me wrong.

De Weerd: I heard you. It's on the record.

Bird: I don't blame them at all. I just – and, you know, the property being cleaned up, nobody could foresee that. I think we are getting a heck of a building for that money myself personally. I think it will be a beautiful building. I think it's – I think will be classy that's what we started out to do.

See Exhibit AA to the Bennett April 7, 2010 Affidavit.

In addition, Eugene Bennett, Petra's superintendent on the Project, and Tom Coughlin, Petra's Project Manager, attended a City Council Meeting on March 24, 2009, approximately 17 months after the City occupied the Project. As noted in Exhibit AA to the Bennett April 7, 2010

Affidavit the following exchange between Mayor DeWeerd, Councilman Keith Bird, City

Purchasing Agent Watts, Mr. Bennett and Mr. Coughlin:

DeWeerd: Okay. Anything further from Council? I can say that it's been a joy to be in the building and we have gotten a lot of positive comments from our citizens and so we thank you.

Bennett: You're welcome. You will for a long time.

Bird: Been nice working with you, Gene.

Watts: Thanks, Gene and Tom.

Amazingly, the City sued Petra on April 16, 2009, just 23 days after the March 24, 2009 City Council Meeting.

2. MERIDIAN'S ALLEGATIONS REGARDING PUNITIVE DAMAGES

Meridian seeks to amend its complaint to add a claim for punitive damages based upon the following claims:

2.1 Petra misrepresented the Maximum Price for the Project to be \$12.2 million dollars, Meridian relied upon this representation and the City had the right to rely upon the representation;

2.2 Petra conducted itself as though the Project was a "cost plus" project;

2.3 Petra did not properly administer the Prime Contracts;

2.4 Petra represented that it would act as a construction manager when in fact it intended to act as a general contractor without having obtained the Project through a public bidding process;

2.5 Petra breached a fiduciary duty allegedly owed to Meridian;

2.6 Petra breached its duty to Meridian “. . . by willfully, wantonly, and intentionally misrepresenting the cost of the Project, the schedule of the project, and the compliance or non-compliance of Prime Contractors with the schedule and the requirements of the Prime Contracts, both before and during construction;

2.7 Petra did not act with honesty in its dealings with the City; and

2.8 Meridian was damaged by Petra’s acts and omissions.

3. APPLICABLE LAW

2.1 Standards Governing Motion to Amend.

Under Rule 15(a)³ “a party may amend a pleading only by leave of the court or by written consent of the adverse party; and leave shall be freely given when justice so requires, and the court may make such order for the payment of costs as it deems proper.” I.R.C.P. 15(a). “The Court has recognized . . . that a trial court has not abused its discretion in denying a request for leave to amend a complaint if the new claims proposed to be inserted fail to state a valid claim.”

³ References to “Rule” or “Rules” are to the Idaho Rules of Civil Procedure.

Stonewall Surplus Lines, Ins.Co.v. Farmers Ins. Co., 132 Idaho 318, 325, 971 P.2d 1142, 1149 (1998). In addition, “a trial court properly refuses permission to amend a complaint when the record contains no allegations that, if proven, would entitle the party to the relief claimed.” *Hines, v. Hines*, 129 Idaho 847, 853, 934 P.2d 20, 26 (1997).

2.2 Application of Idaho Code § 6-1604 Standards.

Idaho Code § 6-1604 provides in relevant part as follows:

[A] party may, pursuant to a pretrial motion and after hearing before the court, amend the pleadings to include a prayer for relief seeking punitive damages. The court shall allow the motion to amend the pleadings *if, after weighing the evidence presented, the court concludes that, the moving party has established at such hearing a reasonable likelihood of proving facts at trial sufficient to support an award of punitive damages.*

I.C. § 6-1604(2) (Emphasis added.)

The requirements of new Idaho Code § 6-1604 are significantly different from the old § 6-1604. The old statute is mentioned only to provide historical context and to aid in the interpretation of the post-July 2003 statute because there are eight reported appellate cases that address the new statute substantively. *See Myers v. Workmen’s Auto Insurance Co.*, 140 Idaho 495, 95 P.3d 977 (2004); *Vendelin v. Costco Wholesale Corp.*, 140 Idaho 416, 95 P.3d 34 (2004); *Gunter v. Murphy’s Lounge, LLC*, 141 Idaho 16, 105 P.3d 676 (2005); *Seiniger Law Office, P.A. v. North Pacific Ins. Co.*, 145 Idaho 241, 178 P.3d 606 (2008); *Hall v. Farmers Alliance Mut. Ins. Co.*, 145 Idaho 313, 179 P.3d 276 (2008); *Todd v. Sullivan Construction, LLC*,

146 Idaho 118, 191 P.3d 196 (2008); *Saint Alphonsus Diversified Care, Inc. v. MRI Associates, LLP*, 148 Idaho 479, 224 P.3d 1068 (2009); *Bach v. Bagley*, __ P.3d __, 2010 WL 937270 (Idaho). Additionally, Idaho Code § 6-1604 is substantively discussed in *Balek v. Short*, 2009 WL 2929321 (Idaho Dist.).

The most obvious differences between the former and current code provisions are that the burden of proof at trial is changed from a preponderance under the old statute to clear and convincing under the new statute and, as noted above, the court must now weigh the evidence presented.

Regarding the burden of proof the old statute provided as follows:

In any action seeking recovery of punitive damages, the claimant must prove *by a preponderance of the evidence*, oppressive, fraudulent, *wanton*, malicious or outrageous conduct by the party against whom the claim for punitive damages is asserted.

I.C. § 6-1604(1) (Effective prior to July 1, 2003) (Emphasis added.)

While the new statute provides:

In any action seeking recovery of punitive damages, the claimant must prove, *by clear and convincing evidence*, oppressive, fraudulent, malicious or outrageous conduct by the party against whom the claim for punitive damages is asserted.

I.C. § 6-1604(2) (Emphasis added.)

In this case, the record is devoid of any admissible evidence that support a finding that there is a reasonable likelihood Meridian will be able to prove, by clear and convincing evidence,

facts at trial sufficient to support an award of punitive damages. The inadmissibility of the affidavit testimony by Theodore W. Baird, Jr. is addressed in Petra's Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr. Mr. Baird does not offer any admissible testimony that Petra's alleged acts or omissions described in the proposed First Amended Complaint were (1) oppressive, fraudulent, malicious or outrageous, *and* (2) that the alleged acts constituted an extreme deviation from reasonable standards of conduct, *and* (3) that Petra acted with an understanding of or a disregard for the likely consequences of his actions. Therefore, Meridian does not have a reasonable likelihood of proving, by clear and convincing evidence, that it is entitled to an award of punitive damages.

The type of conduct that supports an award of punitive damages has been described in a number of Idaho decisions. The Idaho Supreme Court has articulated its position on punitive damages noting that the plaintiff must show: (1) the defendant acted in a manner that was an extreme deviation from reasonable standards of conduct; and (2) the defendant acted with an understanding of or disregard for the likely consequences of his actions. *Garnett v. Transamerica Insurance Services*, 118 Idaho 769, 781; 800 P.2d 656, 669 (1990); *Jones v. Panhandle Distributions, Inc.*, 117 Idaho 750, 755, 792 P.2d 315, 320 (1990); *Sliman v. Aluminum Company of America*, 112 Idaho 277, 285; 731 P.2d. 1267, 1275 (1986); *Cheney v. Palos Verdes Investment Corp.*, 104 Idaho 897, 905, 665 P.2d 661, 669 (1983); and *Hatrock v. Edward D. Jones and Co.*, 750 F.2d 767, 772 (9th Cir. 1984). The defendant must have acted with an

extremely harmful state of mind, whether it be termed “malice, oppression, fraud or gross negligence.” *Id.* The Idaho Supreme Court has also stated:

In Idaho so long as the evidence shows that there has been an injury to the plaintiff from an act which is in extreme deviation from the reasonable standards of conduct and the act was performed by the defendant with an understanding of or a disregard for its likely consequences (and in the words of prior cases, with fraud, malice or oppression), it is appropriate for the trier of fact to award punitive damages.

Lin Scott v. Rainier Nat'l Life Ins. Co., 100 Idaho 854, 606 P.2d 958 (1980).

In *Eddins Construction, Inc. v. Bernard*, 119 Idaho 340, 806 P.2d 433 (1991), which involved a construction contract, a dispute arose between the primary contractor and others who performed work on the project, the Supreme Court found that the trial court abused its discretion in submitting the issue of punitive damages to the jury because there was no substantial evidence to support an award. In *Polk v. Larrabee*, 135 Idaho 303, 17 P.3d 247 (2000) the Supreme Court found that the trial court did not abuse its discretion not allowing punitive damages to go to the jury. “It’s my opinion that what we have in this case is a contract dispute.” *Polk*, 135 Idaho at 315, 17 P.3d at 259.

In *Cuddy Mountain Concrete, Inc. v. Citadel Const., Inc.*, 121 Idaho 220, 824 P.2d 151 (Ct.App.1992), the court did find punitive damages appropriate. However, that case is clearly distinguishable from the case at hand. The court found the mere fact that the defendant breached its contract by failing to give seven-day notice alone would not support an award of punitive

damages. However, coupled with the fact that (1) the decision to terminate was done unprofessionally and (2) in an angry manner and that the termination caused a financial hardship to plaintiff because they were unable to pay their loan and then were not able to obtain credit and (3) defendant knew that plaintiff depended on money from the job, and (4) defendants revised the daily work reports after the termination, that the conduct did rise to the level to support a punitive damages award. Even with all the aforementioned factors the court still deemed it to be a “close question.” *Cuddy Mountain*, 121 Idaho at 228, 824 P.2d at 159. When addressing the issue of the altered work reports the court stated,

There is no conduct here which rises to the level of outrage similar to that usually found in the commission of a crime or an intentional tort. We note that Hueter ordered Walther to rewrite his daily reports and that this could be construed as evidence of fraudulent intent. On the other hand, while altering business records shows a lack of integrity and common sense, the criticisms which were added seem to reflect an honest frustration with [plaintiff’s] level of performance.

Id. Clearly, the facts in this case are not close to the facts in *Cuddy Mountain* and that case was a close call at best. As noted elsewhere in this memorandum, in this case the City has not suffered any injury as a result of anything that Petra did or failed to do. There was no financial hardship, like in *Cuddy Mountain*. The court explained that when the subject matter involved arises in a business context,

In addition to oppressive behavior in a business context, there are other factors which play a determinative role in deciding whether there is substantial evidence of an extreme deviation from standards of reasonable conduct: (1) the presence of expert testimony; (2) whether the unreasonable conduct actually caused harm to

the plaintiff; (3) whether there is a special relationship between the parties, as in the Garnett insured-insurer relationship; (4) proof of a continuing course of oppressive conduct; and (5) proof of the actor's knowledge of the likely consequences of the conduct.

Cuddy Mountain, 121 Idaho at 229-230, 824 P.2d at 160-161. Applying these factors to the case at hand, it is clear that the alleged conduct does not warrant punitive damages. The evidence submitted, which is discussed in detail below, does not support a claim by Meridian for punitive damages.

3. FACTS, LAW AND ARGUMENT

3.1 Petra did not represent that the maximum price of the Project was \$12.2 million.

Meridian and Petra entered into a Construction Management Agreement dated August 1, 2006 ("Construction Management Agreement").⁴ The Construction Management Agreement was prepared by Franklin Lee, an attorney hired by Meridian and presented to Petra for signature with a tight deadline for execution.⁵ Meridian represented to Petra in the Construction Management Agreement that the Maximum Price was \$12.2 million for a four-story 80,000

⁴ Affidavit of Eugene R. Bennett dated April 7, 2010 ("Bennett April 7, 2010 Affidavit") and Construction Management Agreement attached thereto as Exhibit A. See Complaint at ¶ 4; Answer at ¶ 51.

⁵ Affidavit of Eugene R. Bennett dated April 7, 2010 at ¶ 9; see Meridian City Council meeting minutes dated July 25, 2006 attached thereto as Exhibit B, which gave Petra just a few days to sign the Construction Management Agreement.

square foot Standard Class A office building and related improvements with surface parking.⁶ Upon review of the proposed \$12.2 million dollar budget figure, Petra notified Meridian that the Project could possibly not be constructed within that budget.⁷ This budget was established by Meridian in order to negotiate the Construction Management Agreement prior to the preparation of any specifications or drawings.⁸ On January 15, 2007, Petra presented the City with a preliminary budget of \$15,475,160 for the building based on the initial 20% Shell & Core documents.⁹ The 20% documents consisted of building floor plans and elevations and did not include structural, mechanical, electrical or plumbing, or Plaza documents and represented a 100,000+ square foot, three story structure with a basement. The City, represented by Councilman Keith Bird, reported that they would find the extra \$2,275,000 required to construct this version of the building in lieu of the original concept.¹⁰

On February 12, 2007 Petra updated the budget based on 60% Shell and Core drawings and 20% MEP drawings. The building budget was estimated at \$16,254,033¹¹.

⁶ Construction Management Agreement at Recitals B and ¶ 4.4.1(f).

⁷ Bennett April 7, 2010 Affidavit at ¶ 12 and email from Pat C. Kershnik, Petra's in-house counsel at the time, to Franklin Lee, Meridian's outside counsel at the time attached as Exhibit C thereto ¶ 14.

⁸ Bennett April 7, 2010 Affidavit at ¶ 14.

⁹ Bennett April 7, 2010 Affidavit at ¶ 15; see also Keith Watts Timeline at Petra Bates No. 93028 (Exhibit D to the Bennett April 7, 2010 Affidavit); see also initial budget dated January 15, 2007 at Bates No. CM088801 attached as Exhibit E to the Bennett April 7, 2010.

¹⁰ Bennett April 7, 2010 Affidavit at ¶¶ 18 and 19 and Exhibit D at Bates No. Petra 93028.

¹¹ Bennett April 7, 2010 Affidavit at ¶¶ 20 and 21 and Exhibit F attached thereto.

to notify the Construction Manager to work with the Architect and Owner to identify cost saving measures to bring the Project below the \$12.2 million budget.⁴⁹ The Construction Management Agreement recognized that the Maximum Price would change once the plans and specifications were completed. Paragraph 4.5.9 of the Construction Management Agreement provides in relevant part:

As soon as practical after Architect's submission of the Construction Documents and in accordance with the Project Schedule, Construction Manager shall submit to Owner a final written estimate of the anticipated price for constructing the Project (the "Final Cost Estimate"). The Final Cost Estimate shall be detailed and shall be divided into bid packages and work categories. If the Final Cost Estimate exceeds the Maximum Price, Owner may require Construction Manager, with no increase in the not-to-exceed allowance for preconstruction services set forth in Section 6.2.2(a) below, to (i) consult With Owner and Architect to identify cost savings measures, (ii) assist Architect in revising the Construction Documents to reflect approved cost savings measures, and (iii) revise the Final Cost Estimate to reflect the anticipated savings from approved cost savings measures, as necessary to bring the Final Cost Estimate below the Maximum Price. ***Absent clear and convincing evidence of gross negligence, and provided Construction Manager completes its obligations under this Section, Construction Manager shall not be financially responsible to Owner for the failure of the Final Cost Estimate to be within the Maximum Price.*** (Emphasis added.)⁵⁰

During February 2008, the Final Cost Estimate of \$21,773,078 was established, presented to and approved by the City Council.⁵¹ Also, in recognition of the likelihood that the Project

⁴⁹ Construction Management Agreement at paragraphs 4.4.3 and 4.5.9.

⁵⁰ Construction Management Agreement at paragraph 4.5.9.

⁵¹ See February Budget Financial Report at Bates Petra 94208-209 and February 12, 2009 Meridian City Council Special Workshop Meeting at CM 081230-81238.

for LEED certification work; \$800,000 in value engineering rejected by the City; and \$605,000 for furniture, fixtures and equipment that the City added to Petra's scope of the work.¹⁶

More particularly, Meridian made many changes to the size and scope of the Project that increased the complexity of the Project, all of which were presented to and approved by the City Council, including changes in the following nine principal areas:

(1) **Building size and configuration:** The City Hall building was increased in size from 80,000 square feet to 104,000 square feet and the configuration was changed from four story above-ground structure to a three story structure with a basement.¹⁷

(2) **Structural System:** The City increased the size of the City Council chambers, which dictated column to beam moment welds in four directions throughout the structure, which was more than the two directional moment welds that were initially anticipated by the Design Team¹⁸ and Petra. This change added time to the Project during the rainy season when cold temperatures and wet conditions made it more difficult to weld.¹⁹

(2) **Building exterior:** The City's delayed request to have an exterior that would stand the "test of time" dictated the use of stone and brick that is a more expensive and time

¹⁶ Bennett April 7, 2010 Affidavit at ¶ 26; see February 2008 Monthly Report attached as Exhibit H (Bates Nos.CM073856 – CM073918).

¹⁷ Bennett April 7, 2010 Affidavit at ¶ 28

¹⁸ Bennett April 7, 2010 Affidavit at ¶ 29. The Design Team consisted of Lombard-Conrad, Elk Mountain Engineers, Hatchmueller Landscape, Stapley Engineers, Engineering, Inc. Eidam & Associates and AAtronics. See Bennett April 7, 2010 Affidavit at ¶ 27.

¹⁹ Bennett April 7, 2010 Affidavit at ¶ 30 .

consuming construction method than typically used on other Class A commercial buildings. The City Council decided it wanted a 200-year structure.²⁰

(3) **Mechanical:** The City ordered that mechanical system be upgraded to state-of-the-art incorporating access floor/under floor duct throughout the building with a two pipe hydronic system providing under floor control to individual VAV boxes at individual work stations, which provides the better control, comfort, and flexibility for future office changes compared to the usual rooftop system with the single thermostat for large work areas.²¹

(4) **Electrical:** The City also required that the electrical system be upgraded to state-of-the-art with “daylight harvesting” controls, CO₂ monitoring, standby generator and UPS systems – all requiring additional time to install.²² Because of the complexity of the upgraded mechanical and electrical systems, Petra employed a mechanical/electrical superintendent in lieu of a standard construction foreman to ensure the success of the Project.²³

(5) **Leadership Energy Efficient Design (“LEED”):** After the Construction Management Agreement was signed, the City decided it wanted the building to qualify for LEED certification. The certification process required additional construction management work to insure compliance with the LEED requirements.²⁴ LEED certification was not contemplated at

²⁰ Bennett April 7, 2010 Affidavit at ¶ 31.

²¹ Bennett April 7, 2010 Affidavit at ¶ 32.

²² Bennett April 7, 2010 Affidavit at ¶ 33.

²³ Bennett April 7, 2010 Affidavit at ¶ 34.

²⁴ Bennett April 7, 2010 Affidavit at ¶ 35.

the time the initial budget was set because a LEED certified building was not one of the original criteria for the facility.²⁵ The certification for LEED required a state-of-the-art mechanical, electrical and plumbing (“MEP”) system which added complexity, cost and time to the overall Project.²⁶

(6) **Plaza and site design:** The City ordered the addition of an extensive and elaborate plaza design that had to be value engineered and re-bid. The re-bid and delayed start on construction required additional coordination and re-sequencing of activities.²⁷

(7) **East Parking Lot:** The late addition by the City of the east parking lot required extra coordination and revision to the interface with the plaza. Petra maintained a superintendent full time after the completion of the Project in October 2007 to manage the construction of the East Parking Lot pursuant to an agreement with Keith Watts, Meridian’s Purchasing Agent.²⁸

(8) **Total volume of contract changes and revisions:** Petra had to actively manage changes resulting from 168 Architect’s Supplemental Instructions (“ASIs”), two Proposal Requests (“PRs”), 230 Requests for Information (“RFIs”) and miscellaneous City requested

²⁵ Bennett April 7, 2010 Affidavit at ¶ 36 and Exhibit I; reference to specification in Construction Management Agreement at Recitals Item B, Article 3.1 and Article 6.2.2 and Budget Updates dated 7/12/2007 at Bates No. Petra 60729; see LEED Presentation to City, Bates Nos. 93565-93615; LEED Project Points Check Sheet, Bates Nos. 93616-19; LEED Cost Impact Budget, CM 002775.

²⁶ Bennett April 7, 2010 Affidavit at ¶ 37.

²⁷ Bennett April 7, 2010 Affidavit at ¶ 39 .

²⁸ Bennett April 7, 2010 Affidavit at ¶ 40.

changes.²⁹ The majority of these changes resulted from the City and design driven changes and/or site conditions that the City did not disclose to Petra prior to execution of the Construction Management Agreement.³⁰ The management and supervision of these changes increased the complexity of sequencing and scheduling. The City continued to request that Petra implement changes to the Project even after the October 15, 2008 substantial completion of the Project.³¹

(9) **Contaminated Soils and Materials:** The discovery and supervision of the removal and replacement of contaminated soils and materials, disposal of hazardous waste and monitoring of contaminated groundwater required additional Petra resources and time.³²

As of February 2008 the final project budget of \$21,474,078, excluding the east parking lot, was established, presented to and approved by the City Council.³³ Between the initial budget given by Petra to the City in January 2007 and the final budget being established as of February 2008, periodic updates were provided to and reviewed with the Mayor, the City Council and City staff during the meetings of the Mayor's Building Committee and City Council workshop

²⁹ Bennett April 7, 2010 Affidavit at ¶ 41; see ASI log attached thereto as Exhibits J and K (Bates Nos. Petra 92473 to 92542 and RFI log at Bates Nos. Petra 94149-94196).

³⁰ *Id.*

³¹ Bennett April 7, 2010 Affidavit at ¶ 44.

³² Bennett April 7, 2010 Affidavit at ¶ 45.

³³ Bennett April 7, 2010 at ¶ 46. See February Budget Financial Report at Bates CM073870 -073871 (Exhibit I) and February 12, 2008 Meridian City Council Special Workshop Meeting at CM 081230-81238.

meetings.³⁴ A budget line item of \$376,408 was included in the August 28, 2007 budget³⁵ as an estimate of Petra's additional fee for extra work that was subsequently formally requested in Change Order No 2.³⁶ This line item was included in all subsequent budgets.³⁷ All budgets, bids and contract awards were received by and approved by the City Council.³⁸

Ultimately the Project was completed for \$21,513,416.34, \$259,653.60 under budget.³⁹ The \$9.6 million, or 79%, increase from the initial budget of \$12.2 million to the final budget of \$21.8 million was a direct result of increases in scope, size and complexity of the Project driven by City requirements added after the Construction Management Agreement was executed.⁴⁰

Notwithstanding numerous value engineering recommendations made by Petra and the Architects, which Meridian chose not to implement, the City did not at any time during the Project period direct Petra, the Architects or any of the Prime Contractors or suppliers to stop

³⁴ Bennett April 7, 2010 at ¶¶ 48 and 49. See also Exhibit L, list of meetings held by Petra at Bates Nos. Petra 94412-94416; also see also excerpts of Monthly Reports from December 2007 to November 2008. See also Exhs. M&N Mayor's Building Committee Meeting Minutes and City Council Workshop Meeting Minutes.

³⁵ Bennett April 7, 2010 Affidavit at ¶ 50.

³⁶ Bennett April 7, 2010 Affidavit at ¶ 50 and Exhibit Q (Change Order No. 2 Request and supporting documentation attached thereto as Bates Nos. CM023878-023902). See also, revised Change Order No. 2 attached as Exhibit A to the Affidavit of Jerald S. Frank dated April 7, 2010.

³⁷ Bennett April 7, 2010 Affidavit at ¶¶ 51 and Exhibit P.

³⁸ Bennett April 7, 2010 Affidavit at ¶ 53.

³⁹ Bennett April 7, 2010 Affidavit at ¶¶ 54-57; see final cost summary attached thereto as Bates Nos. Petra 60868-60933, Final Pay Application No. 30 in April 2008 at Bates Nos. Petra 91526-91461 and Final Budget Summary at Bates Nos. Petra 50038-39, Exhs. R-T attached thereto.

⁴⁰ Construction Management Agreement at Recitals B compared to final scope of approved work by the City described in the April 2008 Monthly report.

implementing the numerous changes the City had ordered and approved.⁴¹ At no time during the Project did the City provide any direction that the budget or the design needed to be revised or changed significantly.⁴² Importantly, in this regard the Construction Management Agreement provides as follows:

If Owner learns of any failure to comply with the Construction Contract by Contractor, or of any errors, omissions, or inconsistencies in the services of Construction Manager, and in the further event that Construction Manager does not have notice of the same, Owner shall inform Construction Manager.⁴³

At all times from and after August 1, 2006, Petra kept the City informed of the ever increasing cost of the Project which were the result of the City's changes.⁴⁴ Notwithstanding these reports, the City did not halt the Project. Rather, the Mayor informed Petra that the Council has expressed that they want a full building as designed regardless of the fact that the \$12.2 million maximum price would be substantially exceeded.⁴⁵ Also germane to this issue is paragraphs 3.2.3 and 4.4.2 of the Construction Management Agreement provide:

Owner shall timely review documents provided by or through Construction Manager and timely render its direction, decision, consent or approval on matters identified by Construction Manager for Owner's direction, decision, consent or approval.⁴⁶

⁴¹ Bennett April 7, 2010 Affidavit at ¶ 58.

⁴² Bennett April 7, 2010 Affidavit at ¶ 59.

⁴³ Construction Management Agreement at paragraph 3.2.6. See also, Construction Management Agreement at paragraph 10.14 that requires such notices to be in writing.

⁴⁴ Bennett April 7, 2010 Affidavit at ¶ 60.

⁴⁵ Minutes of Mayor's Building Committee attached as Exhibit M to the Bennett April 7, 2010 Affidavit.

⁴⁶ Construction Management Agreement at paragraph 3.2.3.

Owner shall timely review and approve or disapprove the documents set forth above. If Owner disapproves any document, Owner shall set forth the reasons therefore in writing. Construction Manager shall then revise the disapproved document as required by the reasons for disapproval and resubmit the revised document to Owner for approval, which approval shall not be withheld or delayed. This process shall repeat until Owner approves the documents set forth above.⁴⁷

The City never required the project be redesigned to stay within the budget. The Construction Management Contract recognizes that should the estimate of the bids received result in a project cost that exceeds the \$12.2 million project budget, the City had an obligations to notify the Construction Manager to work with the Architect and Owner to identify cost saving measures to bring the Project below the \$12.2 million budget.⁴⁸

The Construction Management Agreement recognized that the Maximum Price would change once the plans and specifications were completed. Paragraph 4.5.9 of the Construction Management Agreement provides in relevant part:

As soon as practical after Architect's submission of the Construction Documents and in accordance with the Project Schedule, Construction Manager shall submit to Owner a final written estimate of the anticipated price for constructing the Project (the "Final Cost Estimate"). The Final Cost Estimate shall be detailed and shall be divided into bid packages and work categories. If the Final Cost Estimate exceeds the Maximum Price, Owner may require Construction Manager, with no increase in the not-to-exceed allowance for preconstruction services set forth in Section 6.2.2(a) below, to (i) consult With Owner and Architect to identify cost savings measures, (ii) assist Architect in revising the Construction Documents to reflect approved cost savings measures, and (ill)

⁴⁷ Construction Management Agreement at paragraph 4.4.2.

⁴⁸ Construction Management Agreement at paragraphs 4.4.3 and 4.5.9.

revise the Final Cost Estimate to reflect the anticipated savings from approved cost savings measures, as necessary to bring the Final Cost Estimate below the Maximum Price. *Absent clear and convincing evidence of gross negligence, and provided Construction Manager completes its obligations under this Section, Construction Manager shall not be financially responsible to Owner for the failure of the Final Cost Estimate to be within the Maximum Price.* (Emphasis added.)⁴⁹

During February 2008, the Final Cost Estimate of \$21,773,078 was established, presented to and approved by the City Council.⁵⁰

Also, in recognition of the likelihood that the Project could cost more than \$12.2 million, the Construction Management Agreement provided for an equitable adjustment of the Construction Manager's Fee:⁵¹

7. Changes.

Changes in Construction Manager's services (not involving a cardinal change to the scope of the services) may be accomplished after the execution of this Agreement upon Owner's request or if Construction Manager's services are affected by any of the following:

⁴⁹ Construction Management Agreement at paragraph 4.5.9.

⁵⁰ See February Budget Financial Report at Bates Petra 94208-209 and February 12, 2009 Meridian City Council Special Workshop Meeting at CM 081230-81238.

⁵¹ Paragraph 6 of the Construction Management Agreement divides Petra's fee into three components: (a) a fee of \$574,000 based on a total project cost estimate of \$12,200,000, or 4.7%; (b) reimbursable expenses for direct personnel expense (i.e., payroll plus related taxes, insurance and customary benefits) of the project engineer, project superintendent and project foreman; and (c) General condition reimbursables at cost. Bennett April 7, 2010 Affidavit at ¶ 64.

Reimbursable expenses are subject to adjustment under Paragraph 6.2.2 of the Agreement for material changes including: size of the structure (i.e., 80,000 square feet), complexity (i.e., four story, surface parking), project Budget (i.e., \$12,200,000), procurement method (i.e., no long lead time and/or expedited materials), and/or bidding process (i.e., two bid packages, no rebids). Bennett April 7, 2010 Affidavit at ¶ 64.

(a) A change in the instructions or approvals given by Owner that necessitate revisions to previously prepared documents or the reperformance of previously performed services;

(b) Significant change to the Project, including, but not limited to size, quality, complexity, Owner's schedule, budget or procurement method;

(c) Construction Manager performs additional services because of active Owner interference pursuant to Section 5.2, or

(d) Preparation for and attendance at a dispute resolution proceeding or a legal proceeding except where Construction Manager is a party thereto or where the Construction Manager's performance is an issue in such proceeding.

Except as otherwise set forth in this Agreement, if any of the above circumstances materially affect Construction Manager's services, Construction Manager shall be entitled to an equitable adjustment in the Schedule of Performance, the Construction Manager's Fee and/or the not-to-exceed limits for reimbursable expenses, as mutually agreed by Owner and Construction Manager. Prior to providing any additional services, Construction Manager shall notify Owner of the proposed change in services and receive Owner's approval for the change. Except for a change due to the fault of Construction Manager, a change shall entitle Construction Manager to an equitable adjustment in the Schedule of Performance, Construction Manager's Fees and/or the not-to exceed limits for reimbursable expenses as mutually agreed by Owner and Construction Manager.

3.2 Petra did not conduct itself as though the Project was a "cost plus" project.

Petra did not conduct itself as though the Project was a "cost plus" project. Rather each and every Prime Contract was awarded by the City after compliance with the bidding requirements for public projects. None of the contracts were "cost plus."⁵²

⁵² A "cost plus" contract is one in which payment is based on a fixed fee or a percentage added to the actual cost incurred. C.J.S. Contracts § 386.

With regard to the Construction Management Agreement it provided for an initial Construction Manager's Fee of \$574,000,⁵³ plus reimbursable expenses.⁵⁴

3.3 Petra administered the Prime Contracts in accordance with the applicable standard of care.

In conducting its services under the Construction Management Agreement, Petra exercised ordinary and reasonable care with the same degree of professional skill, diligence and judgment as is customary in this community among construction managers of similar reputation performing work for projects of a size, scope and complexity similar to the Project ("Applicable Standard of Care").⁵⁵ Petra provided its services in compliance with the Construction Management Plan, Project Schedule and Project Budget as referenced in Article 4.7.3 of the Construction Management Agreement. Petra's compliance is evidenced by the record in this case, including the documents attached to the Bennett April 7, 2010 Affidavit. This evidence confirms that Petra organized and conducted Weekly Job Progress Meetings and the Mayor's Building Committee meetings.⁵⁶ Petra held regularly scheduled weekly progress meetings with the prime contractors, the Architects and City representatives to monitor, review and report on all

⁵³ Construction Management Agreement at paragraph 6.1.

⁵⁴ *Id.* at paragraph 6.2

⁵⁵ Construction Management Agreement at paragraph 1.1.

⁵⁶ Bennett April 7, 2010 Affidavit at ¶65 and Exhs. M and N.

aspects of the Project, including quality issues, coordination, design and constructability issues, approvals, safety, LEED silver certification, and other items as required.⁵⁷

In addition Petra and Lombard-Conrad Architects, P.A. (“Lombard-Conrad” or “Architect”) typically met with Meridian City Council and staff at a monthly City Council workshop or meetings starting February 2007 to discuss design, scheduling, budget and city action items.⁵⁸ In addition, Petra presented a detailed report during each of the monthly City Council meetings.⁵⁹ Numerous design and constructability issues were addressed through Requests for Information (“RFIs”) and Architect’s Supplemental Instructions (“ASIs”).⁶⁰

In discharging its duties identified in Section 4.7.9 of the Construction Management Agreement to protect Meridian from “continuing deficient or defective Work. . .,” Petra had, at the minimum, one full-time superintendent on site during the initial Project period.⁶¹

As the Project progressed, Petra provided additional supervision to monitor and coordinate the Mechanical, Electrical and Plumbing (“MEP”) work and LEED compliance.

⁵⁷ Bennett April 7, 2010 Affidavit at ¶ 67 and Meeting Minutes List detailing all meetings held on this matter, not including the City Council and Executive Sessions that the City had Petra attend and provide reports at Bates Nos. Petra 94412 through 94416.

⁵⁸ Bennett April 7, 2010 Affidavit at ¶ 68.

⁵⁹ Excerpts of Petra’s Monthly Progress Reports: December 2007 through November 2008 attached thereto as Exhibit D. See also, Weekly Progress Meetings attached thereto as Bates Nos. 50595 through 50641, Mayor’s Building Committee Meetings attached thereto as Exhibits M and N; and City Purchaser Weekly Meeting minutes attached thereto as Exhibit V.

⁶⁰ Bennett April 7, 2010 Affidavit ¶ 69; see ASI log attached thereto as Exhibit J and RFI log attached thereto as Exhibit K.

⁶¹ Bennett April 7, 2010 Affidavit at ¶ 70.

Notably, neither an under floor HVAC duct plenum nor LEED certification was one of the criteria included in the Construction Management Agreement.⁶² Petra also provided a full time superintendent to oversee and coordinate the Plaza construction due to the time constraints and fast track nature of that portion of the Project.⁶³

During construction Lombard-Conrad and the engineers hired by the City conducted periodic site inspections and produced site inspection reports.⁶⁴ Lombard-Conrad's contract also included a duty of inspection and they signed off on the Project as well.⁶⁵ The commissioning agent hired by the City, Heery International, Inc., conducted periodic onsite inspections.⁶⁶ Continuously throughout the construction Project, Petra coordinated with City Inspectors and Materials Testing & Inspection ("MTI") to insure that special inspections were performed as required.⁶⁷ MTI produced and submitted inspection reports for steel, concrete, soil compaction and masonry attesting that the work met specifications.⁶⁸ MTI also signed off on the work that was done on this project.⁶⁹

⁶² Bennett April 7, 2010 Affidavit at ¶ 71.

⁶³ Bennett April 7, 2010 Affidavit at ¶ 72. (Plaza supervisors Drew Brown and Pat Child).

⁶⁴ Bennett April 7, 2010 Affidavit at ¶ 73.

⁶⁵ Bennett April 7, 2010 Affidavit at ¶ 74.

⁶⁶ Bennett April 7, 2010 Affidavit at ¶ 75. The commissioning agent is Heery International whose responsibility is to verify systems work (Mechanical and Electrical).

⁶⁷ Bennett April 7, 2010 Affidavit at ¶ 76 and attached documents from Materials Testing & Inspection.

⁶⁸ Bennett April 7, 2010 Affidavit at ¶ 77; see samples of reports and testing attached thereto as Exhibit BB.

⁶⁹ Bennett April 7, 2010 Affidavit at ¶ 78.

3.4 Petra acted only as the construction manager and not as a general contractor.

Petra was not a general contractor on the Project. It was the construction manager.⁷⁰ The duties and responsibilities of the construction manager are set forth in the Construction Management Agreement, but generally Petra was hired to assist Meridian, in coordinating the activities of the various contractors, subcontractors and suppliers to enable them to complete their assigned tasks in an organized and efficient manner; to implement quality control; to maintain records for the Project; to keep Meridian apprised of the status of the Project; to provide an on-site representative to respond to issues as they arose; and to act as an independent contractor only to the extent provided for in the Construction Management Agreement.⁷¹

Petra was not responsible to perform construction work on the Project or to independently enter into any contracts or subcontracts for the performance of such work under the Construction Management Agreement.⁷² It is undisputed that Meridian, with the advice and counsel of its own City attorneys, entered into contracts with each of the contractors,

⁷⁰ As the construction manager, Petra was not responsible for (i) construction means, methods, techniques, sequences and procedures employed by the various contractors, (ii) cutting, fitting or patching to make sure that the several parts of the work fit together properly, (iii) the failure of any contractor to carry out the work in accordance with the contract documents, or (iv) defective work.

⁷¹ See Construction Management Agreement at paragraph 4. *See also*, Bennett April 7, 2010 Affidavit at ¶ 80.

⁷² Bennett April 7, 2010 Affidavit at ¶ 81.

subcontractors and vendors who provided construction labor, services, materials and equipment for the Project.⁷³

Petra was not required to, and did not provide warranties with respect to the labor or materials provided by the various manufacturers, vendors, contractors or subcontractors.⁷⁴ The warranties were provided directly to the City by the various providers of labor and materials.⁷⁵

In short, Petra, as a construction manager, had very different duties and responsibilities from a general contractor.⁷⁶ See e.g., *Fifth Day LLC v. Bolotin*, 172 Cal. App. 4th 939, 91 Cal. Rptr. 3d 633 (Cal fifth Dist., 2009)(Holding Construction Manager was not required to have contractors' license under California law in order to be paid as a construction manager because the duties of construction manager are very different from the duties of contractor).

Petra fulfilled its duties and responsibilities as construction manager on or before August 4, 2009 when the last of the Punch List items were signed off by the City's officials, certifying that Petra's work on the Project was complete and accepted.⁷⁷ The act of final acceptance of the work carries with it significant ramifications, including full transfer of risk of loss to the owner. See *City of Gering v. Patricia G. Smith Co.*, 215 Neb. 174, 337 N.W.2d 747 (1983) (City could

⁷³ See, Construction Management Agreement at § 3.4 which states: "...[C]onstruction Manager understands that Owner plans to retain multiple prime contractors (the "Contractors") to provide construction labor, services, materials and equipment for the Project." See Bennett April 7, 2010 Affidavit at ¶ 82.

⁷⁴ Bennett April 7, 2010 Affidavit at ¶ 83.

⁷⁵ Bennett April 7, 2010 Affidavit at ¶ 84. See discussion regarding the City's assumption of the duties and responsibilities necessary for the administration of the warranties it received.

⁷⁶ Bennett April 7, 2010 Affidavit at ¶ 85.

⁷⁷ Bennett April 7, 2010 Affidavit at ¶ 86.

not recover for defects known to its agent where city accepted the work as agent's knowledge was imputed to city.) See also, *Havens Steel Co. v. Randolph Engineering Co.*, 613 F. Supp. 514, 527 (W.D. Mo. 1985), judgment aff'd, 813 F.2d 186 (8th Cir. 1987) ("Where the owner accepts a structure without complaining, within a reasonable time, of defects or contract deviations which are known to him or which are open, obvious and apparent, he is precluded from seeking damages for those defects or deviations") (citing numerous cases). (See further discussion at § 3.2 *infra*).

3.5 Petra did not breach any duties that it owed to Meridian.

3.5.1 Petra substantially performed its duties and responsibilities under the Construction Management Agreement.

Notwithstanding the City's claims to the contrary, the evidence in this case supports a finding that Petra substantially performed its duties and responsibilities under the Construction Management Agreement. "...[S]ubstantial performance is performance which, despite deviation from the contract, provides the essential benefits of the contract to the promisee". *Roberts v. Wym*, 135 Idaho 690,697, 23 P.3d 152, 159 (Ct. App. 2001). In *Roberts*, the Idaho Court of Appeals held that there was no material breach of contract where substantial performance had been rendered. *Weed v. Idaho Copper Co.*, 51 Idaho 737, 746, 10 P.2d 613, 621 (1932) (If employer had problem with Weed's services, proper course was to proceed through internal

management; not to wait until after Weed's services had been accepted by the corporation and then seek to avoid payment.)

3.5.2 *Meridian's building inspectors accepted the Project and certified it as complete.*

Meridian's qualified building inspectors issued a Certificate of Substantial Completion and Temporary Certificates of Occupancy on October 15, 2008, the date the City took possession of the Project.⁷⁸ *Seawane v. Bailey*, 24 Misc. 2d 385, 208 N.Y. S. 2d 387 (New York. 1960) (Issuance of certificate of occupancy by municipality considered completion of dwelling and compliance with agreement and judgment entered against homeowners challenging work); *James Taylor v. City and County of Honolulu*, 25 Haw. 58, 1919 WL 1303 (Ha 1919)(The acceptance of a public improvement by the city engineer and board of supervisors must, in the absence of fraud, be regarded as conclusive; alleged variances from specifications did not constitute fraud or relieve parties from paying assessment).

From and after October 15, 2008, and except as noted above with regard to administration of the warranties, Petra's duties and responsibilities under the Construction Management Agreement were limited to administering change orders for additions by the City to

⁷⁸ All Punch List items were certified as complete by Meridian City officials no later than August of 2009. Bennett April 7, 2010 Affidavit at ¶ 87 and Exhibit W (Punch Lists and Occupancy Permits). See also Exhibit A to Affidavit of Thomas G. Walker.

the scope of the Project, supervising completion of Punch List items, and payment by the City of the retentions it has withheld from various contractors.⁷⁹

3.5.3 *Meridian's claim that Petra failed to properly perform services under the Construction Management Agreement is barred by the certifications issued by the professionals hired by Meridian and Meridian's own building inspectors.*

Petra completed its duties as Construction Manager, as certified by the independent professionals hired by Meridian and its own building inspectors. Petra's billings for its services and reimbursable expenses were approved by Meridian's purchasing agent, Keith Watts.⁸⁰ Mr. Watts has express, implied and apparent authority as Meridian's purchasing agent to bind Meridian to the pay applications he approved for payment. Under Idaho law, there are three separate types of agency any of which are sufficient to bind the principal to a contract entered into by an agent with a third party. *Bailey v. Ness*, 109 Idaho 495, 497, 708 P.2d 900, 902 (1985). The three types are: express authority, implied authority, and apparent authority. *Id.* Both express and implied authority are forms of actual authority. *Id.* Express authority refers to that authority which the principal has explicitly granted the agent to act in the principal's name. *Id.* Implied authority refers to that authority "which is necessary, usual, and proper to accomplish or perform" the express authority delegated to the agent by the principal. *Id.* Apparent authority differs from express and implied authority in that it is not based on the words and conduct of the

⁷⁹ *Id.*

⁸⁰ Bennett April 7, 2010 Affidavit at ¶ 90.

principal toward the agent, but on the principal's words and conduct toward a third party. *Tri-Circle, Inc. v. Brugger Corp.*, 121 Idaho 950, 954-55, 829 P.2d 540, 544-45 (Ct.App.1992). Consequently, apparent authority cannot arise from the acts and statements of the agent alone; it must be based upon the principal's words and conduct. *See Idaho Title Co. v. American States Ins. Co.*, 96 Idaho 465, 468, 531 P.2d 227, 230 (1975). An agent may bind a principal if the agent has express, implied or apparent authority. *Caballero v. Wikse*, 140 Idaho 329, 332, 92 P.3d 1076, 1079 (2004). Mr. Watt's had express, implied and apparent authority to act on Meridian's behalf regarding the pay applications he approved for payment. *Id. See also N&D Fashions v. DHJ Industries Inc.*, 548 F. 2d 722, (8th Cir. 1977)(Purchasing agent's contract binding upon employer).

In addition, Lombard-Conrad provided the following certification with respect to each pay application:

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge information and belief, the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.⁸¹

The City, has, however, attempted to belatedly rescind certain of those authorizations because "Petra had a duty to provide an itemization of . . . what constitutes 'general conditions'

⁸¹ See for example Deposition Exhibit 17 (CM001532-CM001732) attached to the Bennett April 7, 2010 Affidavit as Exhibit X, representing a typical pay application with supporting documentation.

designated for procurement by the Construction Manager ‘under the Construction Management Plan.’ (Citing Construction Management Agreement section 6.2.3).⁸² Section 6.2.3 of the Construction Management Plan states:

‘General Conditions’ Reimbursables. Owner shall reimburse Construction Manager for the ‘general conditions’ items designated for procurement by the Construction Manager under the Construction Management Plan at the cost thereof incurred by the Construction Manager.⁸³

Apparently Meridian’s counsel is now asserting that this provision required Petra to include a description of the “items designated for procurement” in the Construction Management Plan. However, during the implementation of the Construction Management Plan, Gene Bennett on behalf of Petra and Keith Watts on behalf of the City agreed that the “items designated for procurement” would be set forth in the various pay applications. From and after reaching that agreement, the parties adopted this course of dealing.⁸⁴ Consequently, the “budget” amount for the general conditions was established pursuant to the itemized breakdown included in each monthly pay application; see for example Pay Application No 17, March 31, 2008.⁸⁵ These amounts were summarized and included in the Project budgets.⁸⁶ All budgets were reviewed and

⁸² See letter from Kim J. Trout dated October 23, 2009 at pg. 1 paragraph 2(a) attached as Exhibit B to the Walker April 7, 2010 Affidavit.

⁸³ Construction Management Agreement § 6.2.3; see also Meridian’s assertion set forth in the October 23, 2009 letter from Kim J. Trout, Meridian’s counsel to Thomas G. Walker, Petra’s counsel, attached as Exhibit B to the Walker April 7, 2010 Affidavit.

⁸⁴ Bennett April 7, 2010 Affidavit at ¶ 94.

⁸⁵ Bennett April 7, 2010 Affidavit at ¶ 95 and Exhibit X attached thereto.

⁸⁶ Bennett April 7, 2010 Affidavit at ¶ 96.

approved by the City.⁸⁷ The total budget amount for Petra general conditions remained unchanged throughout the duration of the Project.⁸⁸

Regarding the general conditions, there were two categories: Petra General Conditions and the Project General Conditions/Work Orders.⁸⁹ The budget for Petra General Conditions was set at \$362,058.⁹⁰ During the Project period it became apparent to Mr. Bennett that Petra was under-running the budget for Petra General Conditions by \$70,000.⁹¹ Mr. Bennett and Mr. Coughlin discussed this matter with Keith Watts and Mr. Watts decided that a special account be set up to charge the Project General Conditions/Work Orders to General Conditions as opposed to preparing Contractor Change Orders for minor work items.⁹² An account “Cost Code 01-110” was established by Petra in August 2008 in response to Mr. Watts’ request to reimburse various contractors and vendors for work ordered by either Petra or the City.⁹³ The parties adopted this course of dealing.⁹⁴

The general conditions were not “hidden from the City in a single line of the Project Budget” as alleged by Meridian’s counsel, who was obviously not informed of Mr. Watts’ request that resulted in the establishment of the account entitled Cost Code 01-110. The fact is

⁸⁷ Bennett April 7, 2010 Affidavit at ¶ 97.

⁸⁸ Bennett April 7, 2010 Affidavit at ¶ 98.

⁸⁹ Bennett April 7, 2010 Affidavit at ¶ 99.

⁹⁰ Bennett April 7, 2010 Affidavit at ¶ 100.

⁹¹ Bennett April 7, 2010 Affidavit at ¶ 101.

⁹² Bennett April 7, 2010 Affidavit at ¶ 102.

⁹³ Bennett April 7, 2010 Affidavit at ¶ 103.

⁹⁴ Bennett April 7, 2010 Affidavit at ¶ 103.

that the City received an itemized list of the all general conditions items, reviewed the list and approved the payments each month.⁹⁵

The City was reminded of this in Transmittal #242, dated 5/9/07, Bates No Petra93105.⁹⁶ Budget updates were transmitted to the City periodically and discussed regularly during the Mayor's Building Committee meetings and City Council workshops.⁹⁷ All general condition items were itemized and the backup provided to the City monthly.⁹⁸ No question as to what constituted general conditions was raised by the City during the Project period.⁹⁹

Once Petra's work on the Project was accepted and the Certificate of Substantial Completion and the Temporary Occupancy Permit were issued, Petra's duties under the Construction Management Agreement were concluded, except administering change orders for additions by the City to the scope of the Project, supervising completion of Punch List items, and payment by the City of the retentions it has withheld from various contractors.¹⁰⁰ These certifications bar Meridian's belated and contradictory claims that Petra failed to do its job properly. *E.G. Schafer Construction Co. v. Gallagher Transfer and Storage Co.*, 495 So. 2d 348 (La. Ct. App. 1986)(Owner who had signed certificates that construction was complete supported finding that construction company had completed work on the warehouse and that contractor's

⁹⁵ Bennett April 7, 2010 Affidavit at ¶ 104.

⁹⁶ Bennett April 7, 2010 Affidavit at ¶ 105.

⁹⁷ Bennett April 7, 2010 Affidavit at ¶ 106.

⁹⁸ Bennett April 7, 2010 Affidavit at ¶ 107.

⁹⁹ Bennett April 7, 2010 Affidavit at ¶ 107.

¹⁰⁰ Construction Management Agreement at paragraph 4; Bennett April 7, 2010 Affidavit at ¶ 108.

work was not defective). *See also, Black v. Peter Kiewitt Sons Co.*, 94 Idaho 755, 497 P.2d 1056 (1972)(Where work of contractor is completed and accepted by owner, responsibility for property and any defects shifts to the owner and contractor properly dismissed as party defendant upon summary judgment). *See also, Jones v. P.S. Development Co.*, 166 Cal. App. 4th 707, 82 Cal. Rptr. 3d 882 (Cal. Ct. App. 2008)(By acceptance and subsequent use, the owner assumes to the world the sufficiency and safety of the project and contractor properly dismissed upon summary judgment); *Evans v. Buffington Harbor River Boats*, 799 N.E. 2d 1103 (Ind. Ct. App. 2004)(Construction manager properly dismissed upon summary judgment where work had been accepted as complete by owner); *Sanchez v. Swinerton & Walberg Co.*, 47 Cal. App. 4th 1461, 55 Cal. Rptr. 2d 415 (Cal. App. 2nd Dist. 1996)(Contractor dismissed as party upon summary judgment where project had been completed and accepted by owner; where alleged defect was patent and thus liability passed to owner).

3.6 Petra did not misrepresent the cost of the Project, the schedule of the Project, or the compliance or non-compliance of Prime Contractors.

Even considering some of the testimony offered in the Baird Affidavit, there is no evidence that Petra misrepresented the cost of the Project (see section 3.1 above), the schedule of the Project (Paragraph 7 of the Construction Management Agreement with provides for “an equitable adjustment in the Schedule of Performance. . .” if there was a significant change to the Project, including, but not limited to size, quality, complexity.). In addition, with regard to

scheduling the Project was delayed for months because of the discovery of contaminated soils and materials on the site. These problems were not discovered until after the Construction Management Agreement was signed on or about August 1, 2006.¹⁰¹

At all times during the course of the regularly conducted meetings between Petra and City personnel, including the Mayor's Building Committee meetings and City Council Meetings, Petra kept the City informed regarding the schedule slippage due to contaminated soil.¹⁰² With respect to the masonry contractor, TMC, Inc., Petra informed the City that the masonry contractor would substantially complete its work by August 28, 2008, which included all Change Order work. And further, that in order to meet the occupancy date of October 15, 2008, the masonry contractor had to complete the exterior masonry by the spring of 2008 which TMC fulfilled. This was in spite of having to work through winter conditions due to the contaminated soil.¹⁰³

Petra fully informed Meridian of all changes during weekly, bi-weekly and monthly status meetings held throughout the Project and Meridian approved all changes.¹⁰⁴ First, Meridian's "we didn't know" claims are completely refuted by the written reports, minutes, voice recordings, budgets, bids and other documents that were exchanged between Petra and

¹⁰¹ Bennett April 7, 2010 Affidavit at ¶ 112.

¹⁰² Bennett April 7, 2010 Affidavit at ¶ 113.

¹⁰³ Bennett April 7, 2010 Affidavit at ¶ 114.

¹⁰⁴ Bennett April 7, 2010 Affidavit at ¶ 115.

Meridian on a weekly, bi-weekly (every other Monday morning) and monthly (the first Tuesday of every month) basis.¹⁰⁵ It is undisputed that Meridian received and approved all budgets and bids and that it awarded and entered into contracts with each of the manufacturers, vendors, contractors and subcontractors who provided labor and/or materials to the Project.¹⁰⁶ Notably, the changes to the Project design and budget were reviewed by Meridian's employees and agents numerous times during the Mayor's Building Committee meetings.¹⁰⁷ The Mayor and at least one City Council member, usually Keith Bird, were present during these meetings with representatives of Petra. Mr. Watts was also present.¹⁰⁸

The design and the budget for the Project were also reviewed during the monthly City Council Meetings.¹⁰⁹ Meridian consistently directed Petra and Lombard-Conrad to proceed with the design and budget as reviewed and approved.¹¹⁰

Given the numerous meetings of the Mayor's Building Committee as well as the City Council Meetings dealing with the Project details that took place throughout the Project period, Meridian cannot now claim that it was unaware of and did not approve the Project changes. In fact, change orders submitted by contractors and vendors were routinely authorized by the City for the numerous changes it ordered. *Harrington v. McCarthy*, 91 Idaho 307, 420 P.2d 790

¹⁰⁵ Bennett April 7, 2010 Affidavit at ¶ 116.

¹⁰⁶ Bennett April 7, 2010 Affidavit at ¶ 117.

¹⁰⁷ Bennett April 7, 2010 Affidavit at ¶ 118.

¹⁰⁸ Bennett April 7, 2010 Affidavit at ¶¶ 116 and 118.

¹⁰⁹ Bennett April 7, 2010 Affidavit at ¶ 119.

¹¹⁰ Bennett April 7, 2010 Affidavit at ¶ 120.

(1966)(Where owner authorized and requested changes in building plans which were followed by contractor, contractor entitled to additional compensation for changes and owner was estopped to rely on provision in contract that changes must be in writing). Likewise, Petra submitted Change Order No.1 for identification, classification and removal of the contaminated soils found on the site in the amount of \$422,000, plus a Construction Manager's fee of \$19,834, i.e., 4.7% of the amount of the \$422,000 and other reimbursables.¹¹¹ Petra also submitted Change Order No. 2 for the extra work performed and reimbursable expenses incurred as a result of the Project's increased size, quality, complexity, schedule, budget and procurement methods.¹¹²

3.7 Petra acted with honesty in its dealings with the City.

As evidenced by the foregoing, Petra acted with forthrightness and honesty in its dealings with the City. Although immaterial errors in work or documentation may have occurred during the course of the Project, such errors can, and usually do, occur in a complex \$21+ million project. The Construction Management Agreement addressed this possibility in paragraph 2.1.4 as follows:

Construction Manager shall prepare all documents and provide all services required under this Agreement in such a manner that increases in Project costs

¹¹¹ Bennett April 7, 2010 Affidavit at ¶ 122. See also Change Order No 1 (Bates No. CM002712 – CM002722) attached to Bennett April 7, 2010 Affidavit as Exhibit Y.

¹¹² Bennett April 7, 2010 Affidavit at ¶ 123; see also Exhibit A to the Affidavit of Jerald S. Frank for revised Change Order No. 2.

resulting from Construction Manager's errors or omissions do not exceed one percent (1%) of the total construction price of the Project

Thus, Petra's errors and omissions would have to result in increased costs to the City exceeding \$215,134 before Petra violated the terms and conditions of the Construction Management Agreement. As noted below, there is no evidence that the City suffered any damage because of anything that Petra did or failed to do.

3.8 Meridian was not damaged by anything Petra did or failed to do.

Under Idaho law, an essential element of claims for breach of contract, negligence or fraud is actual loss or damages. *Molyneux v. Twin Falls Canal Co.*, 54 Idaho 619, 35 P.2d 651 (1934) (finding contractor suing for breach of construction contract has burden of proving extent of damages and elements reasonably necessary to establish lost profits); *Dunn v. Ward*, 105 Idaho 354, 670 P.2d 59 (Ct.App. 1983) (finding that because plaintiff failed to provide evidence showing any loss of business, loss of customers or loss of profit attributable to defendant's breach it was proper for the trial court to enter judgment to defendant); *see also* JAMES ACRET, CONSTRUCTION LITIGATION HANDBOOK, SECOND EDITION, VOLUME I, § 11:1 (The function of an award of damages for breach of contract is to put the promisee in the same position that it would have occupied if the promisor had performed the contract.)

Even assuming there are defects in the Project, each such defect is covered under various manufacturer, vendor and contractor warranties.¹¹³ Accordingly, Meridian will not suffer any actual loss because of defects.

Pursuant to the Construction Management Agreement, Meridian had one year from the date of possession of October 15, 2008 to raise these warranty claims with the proper manufacturers, vendors and contractors.¹¹⁴ Petra's management understands that the City has provided written warranty claims to various manufacturers, vendors and contractors.¹¹⁵ So even assuming Meridian could prove that Petra did not discharge its quality assurance responsibilities, and that correction of any alleged defect was Petra's responsibility, nonetheless, Meridian will not suffer any actual loss.¹¹⁶ Without actual loss or damages, there can be no viable claim for breach of contract, negligence or fraud under Idaho law.

Meridian's claims of breach of contract, negligence and fraud are also precluded because the damages do not amount to 1% of the cost of the Project as required by the express terms of the Construction Management Agreement.¹¹⁷ See paragraph 3.7 above for additional information on this issue.

¹¹³ Bennett April 7, 2010 Affidavit at ¶ 127.

¹¹⁴ Bennett April 7, 2010 Affidavit at ¶ 125.

¹¹⁵ Bennett April 7, 2010 Affidavit at ¶ 126.

¹¹⁶ Bennett April 7, 2010 Affidavit at ¶ 127.

¹¹⁷ Bennett April 7, 2010 Affidavit at ¶ 128.

4. CONCLUSION

Petra respectfully requests that this Court deny the Meridian's Motion for Leave to Amend and to Add Claim for Punitive Damages.

COSHO HUMPHREY, LLP

DATED: April 8, 2010.

By: 

THOMAS G. WALKER

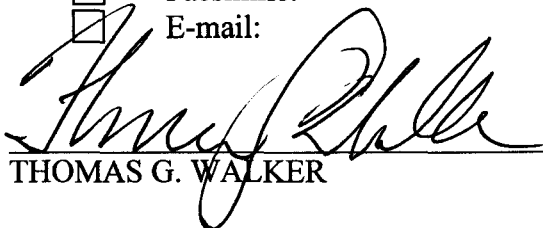
Attorneys for Defendant/Counterclaimant

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on the 8th day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile:
- E-mail:



THOMAS G. WALKER

NO. _____
FILED 3:30
A.M. P.M.

APR 08 2010

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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA

★ ★ ★ ★ ★

THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff/Counterdefendant,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant/Counterclaimant.

Case No. CV OC 0907257


AMENDED NOTICE OF HEARING

PLEASE TAKE NOTICE, That the undersigned, attorneys for Petra Incorporated, ("Petra"), the Defendant/Counterclaimant in the above-entitled matter, will bring before the Honorable Ronald J. Wilper of the above-entitled Court, for hearing at the Ada County Courthouse, 200 West Front Street, Boise, Idaho 83702, on **Thursday, the 22nd day of April,**

2010, at the hour of 1:30 p.m. or as soon thereafter as counsel can be heard, Defendant, Petra Incorporated's Motion to Strike the Affidavit of Theodore W. Baird.

DATED: April 8, 2010.

COSHO HUMPHREY, LLP

By: 

THOMAS G. WALKER
Attorneys for Defendant Petra Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on this 8th day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

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- Overnight Courier
- Facsimile
- E-mail:



THOMAS G. WALKER

FILED 412

APR 08 2010

By L. AMES DEPUTY

KIM J. TROUT, ISB #2468
TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.
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Telephone: (208) 331-1170
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Attorneys for Plaintiff

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-07257


AMENDED NOTICE OF HEARING

TO: THE ABOVE NAMED PARTIES AND THEIR COUNSEL OF RECORD:

PLEASE TAKE NOTICE, that the hearing on Plaintiff's Motion for Leave to File First Amended Complaint which was scheduled to be heard on the 15th day of April, 2010, at the hour of 3:30 p.m., has been vacated and is now scheduled to be heard on April 22, 2010, at the hour of 1:30 p.m., or as soon thereafter as the parties may be heard. The hearing is scheduled at the Ada County Courthouse located at 200 W. Front St., Boise, ID 83702.

DATED this 8th day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

By: 

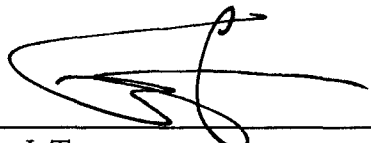
Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 8th day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
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800 Park Blvd., Ste. 790
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Fax: (208) 639-5609

Hand Delivered
U.S. Mail
Fax
Fed. Express
Email



Kim J. Trout

APR 12 2010

J. DAVID NAVARRO, Clerk
By A. GARDEN
DEPUTY

ORIGINAL

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Mackenzie Whatcott (ISB No. 6774)
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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

PETRA'S MOTION FOR LEAVE TO FILE SUBSTITUTE MEMORANDUM

Defendant, Petra Incorporated ("Petra"), by and through its attorneys of record and pursuant to Rule 7(b) of the Idaho Rules of Civil Procedure, moves this Court for leave to file a substitute Memorandum in Opposition to Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages, to conform with the 35 page limit pursuant to the Court's

20

Order Granting Petra's Motion for Petra enlargement of the page limitation. This motion is filed for the reason that Petra had already filed and served its Memorandum prior to receiving the order.

Oral argument is requested.

DATED: April 12, 2010.

COSHO HUMPHREY, LLP

By:


THOMAS G. WALKER

Attorneys for Defendant/Counterclaimant, Petra
Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 12th day of April, 2010, a true and correct copy of the
within and foregoing document was served upon:

Kim J. Trout, Esq.
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APR 12 2010

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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA

★ ★ ★ ★ ★

THE CITY OF MERIDIAN, an Idaho Municipal
Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho
corporation,

Defendant.

Case No. CV OC 0907257

**PETRA'S MOTION TO SHORTEN
TIME FOR HEARING**

The above-named Defendant, Petra Incorporated ("Petra"), by and through its attorney of record, Thomas G. Walker, of the law firm Cosho Humphrey, LLP moves this Court pursuant to Rule 7(b)(3) of the Idaho Rule of Civil Procedure for an Order shortening the required period for hearing Petra's Motion for Leave to File Substitute Memorandum.

This motion is made because there is insufficient time to give the notice required by Rule 7(b)(3) prior to the hearing scheduled for Thursday, April 22, 2009 at 1:30 p.m.

Oral argument is requested.

DATED: April 12, 2010.

COSHO HUMPHREY, LLP

By:


THOMAS G. WALKER

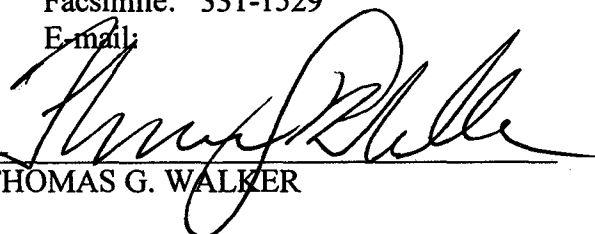
Attorneys for Defendants/Counterclaimant

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 12th day of April, 2010, a true and correct copy of the
within and foregoing document was served upon:

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THOMAS G. WALKER

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NO. _____ FILED _____
A.M. _____ P.M. 3:25

APR 12 2010

J. DAVID NAVARRO, Clerk
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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff/Counterdefendant,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant/Counterclaimant.

Case No. CV OC 0907257

NOTICE OF HEARING

PLEASE TAKE NOTICE, That the undersigned, attorneys for Petra Incorporated, ("Petra"), the Defendant/Counterclaimant in the above-entitled matter, will bring before the Honorable Ronald J. Wilper of the above-entitled Court, for hearing at the Ada County Courthouse, 200 West Front Street, Boise, Idaho 83702, on **Thursday, the 22nd day of April,**

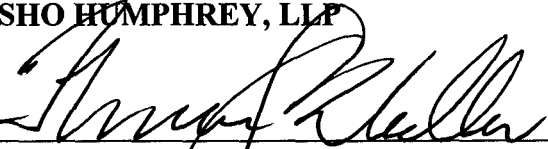
AD

2010, at the hour of 1:30 p.m. or as soon thereafter as counsel can be heard, Defendant, Petra Incorporated's Motion to Shorten Time and Motion for Leave to File Substitute Memorandum.

DATED: April 12, 2010.

COSHO HUMPHREY, LLP

By:



THOMAS G. WALKER
Attorneys for Defendant Petra Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on this 12th day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

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Boise, Idaho 83701

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THOMAS G. WALKER

ORIGINAL

NO. _____ FILED _____
A.M. 842 P.M. _____

APR 13 2010

BY: DAVID NAVARRO: Clerk
BY: E. BURNETT
DEPUTY

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Mackenzie Whatcott (ISB No. 6774)
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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

PETRA'S CORRECTED *ex parte* MOTION FOR LEAVE TO FILE SUBSTITUTE MEMORANDUM

Defendant, Petra Incorporated ("Petra"), by and through its attorneys of record and pursuant to Rule 7(b) of the Idaho Rules of Civil Procedure, moves this Court for leave to file a substitute Memorandum in Opposition to Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages, to conform with the 35 page limit pursuant to the Court's

pb

Order Granting Petra's Motion for Petra enlargement of the page limitation. This motion is filed for the reason that Petra had already filed and served its Memorandum prior to receiving the order and that the substitute memorandum needs to be filed with the Court prior to the hearing on April 22, 2010. Oral argument is not requested.

DATED: April 13, 2010.

COSHO HUMPHREY, LLP

By:


THOMAS G. WALKER

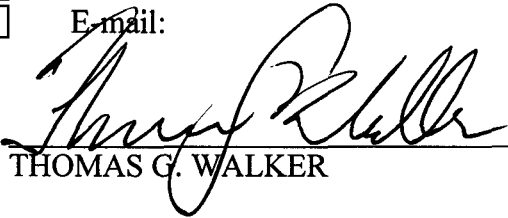
Attorneys for Defendant/Counterclaimant, Petra
Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 13th day of April, 2010, a true and correct copy of the
within and foregoing document was served upon:

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Boise, Idaho 83701

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THOMAS G. WALKER

ORIGINAL

RECEIVED

APR 13 2010

Ada County Clerk

NO. _____ FILED _____
A.M. _____ P.M. 4:00

APR 13 2010

By J. DAVID NAVARRO, Clerk
INGA JOHNSON
DEPUTY

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mwhatcott@cosholaw.com

Attorneys for Defendant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF

THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA

★ ★ ★ ★ ★

THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff/Counterdefendant,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant/Counterclaimant.

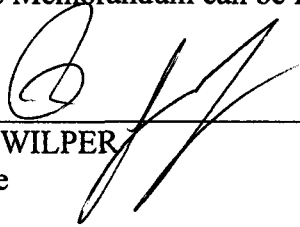
Case No. CV OC 0907257

ORDER GRANTING MOTION FOR LEAVE TO FILE SUBSTITUTE MEMORANDUM

Defendant's corrected *ex parte* Motion for Leave to File Substitute Memorandum, having come before the Court, and good cause appearing therefor;

IT IS HEREBY ORDERED that Defendant's Motion for Leave to File Substitute Memorandum is granted and the Defendant's Substitute Memorandum can be filed.

DATED: April 13, 2010.



RONALD J. WILPER
District Judge

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 13 day of April, 2010, a true and correct copy of

the within and foregoing document was served upon:

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J. DAVID NAVARRO
INGA JOHNSON

CLERK

ORIGINAL

NO. _____ FILED _____
A.M. _____ P.M. 5:00

APR 13 2010

J. DAVID MAAHRO, Clerk
By _____
TRICA JOHNSON

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Erika Klein (ISB 5509)
Mackenzie Whatcott (ISB 6774)
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mwhatcott@cosholaw.com; eklein@cosholaw.com

Attorneys for Defendant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

SUBSTITUTE MEMORANDUM IN OPPOSITION TO MOTION FOR LEAVE TO FILE FIRST AMENDED COMPLAINT AND ADD CLAIM FOR PUNITIVE DAMAGES PURSUANT TO IDAHO CODE SECTION 6-1604

Petra Incorporated ("Petra" or the "Construction Manager") submits this Substitute Memorandum in Opposition to Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages Pursuant to Idaho Code § 6-1604 filed by the City of Meridian ("Meridian" or "City").

SUBSTITUTE MEMORANDUM IN OPPOSITION TO MOTION FOR LEAVE TO FILE FIRST AMENDED COMPLAINT AND ADD CLAIM FOR PUNITIVE DAMAGES PURSUANT TO IDAHO CODE SECTION 6-1604
560169_5

1. INTRODUCTION

This case involves a contract dispute between Meridian and Petra arising out of the services Petra performed as the construction manager on the Project¹ and Meridian's failure to pay Petra all of the money to which it is entitled. As argued below: (1) Petra's work conformed to the terms and conditions of the Construction Management Agreement dated August 1, 2006 ("Construction Management Agreement") as evidenced by the inspections and punch list sign-offs by City representatives, the certifications by Meridian's own building inspectors, certifications by the City's architects, inspections and certifications by inspection and testing companies hired by the City, and sign-off by the City's commissioning agent; (2) Meridian knew of and approved the all extra labor and materials the contractors and vendors provided as a result of the substantial changes Meridian ordered and approved for the Project, which in turn required Petra to perform additional construction management services; (3) Petra is entitled to an "equitable adjustment" in compensation under the express terms of the Construction Management Agreement and Idaho law; (4) Meridian has not offered any admissible expert testimony to support its allegations in the proposed First Amended Complaint that Petra violated the applicable standard of care, and (5) Meridian's proposed First Amended Complaint suffers from the same lack of required particularity as its original complaint.

¹ See Affidavit of Jerald S. Frank dated April 7, 2010 and Exhibit A thereto. See also the Construction Management Agreement (Bates Nos. CW002684 – CM002711) describes the subject project at Recitals B (Bates No. CM002687) as follows: "Owner desires to abate and demolish the existing structure on the Site and develop a new city hall facility thereon consisting of a four story structure with approximately 80,000 square feet of standard Class A office space and related improvements with surface parking (the "Project")." As is noted below, the size and scope of the Project was dramatically increased by Meridian during the course of Petra's performance of its services under the Construction Management Agreement.

With regard to the lack of particularity in the proposed First Amended Complaint and as a supplement to the law and arguments set forth below, Petra's Motion to Dismiss Plaintiff's Complaint under I.R.C.P. 12(b)(6) and the supporting Memorandum are incorporated herein.²

PUBLIC COMMENTS BY CITY OFFICIALS

Also by way of introduction it is important to note that City officials were very complimentary in their public comments regarding the Project and the services that Petra provided. As reported in the Affidavit of Jerald S. Frank dated April 7, 2010 Mayor Tammy DeWeerd and City Council President Charlie Roundtree gave speeches at the Grand Opening held on November 21, 2008. Mr. Frank noted the following verbatim comments by Mayor DeWeerd:

Excerpts from Mayor DeWeerd's Comments

This [project] was designed with a beautiful and meaningful purpose and thus you have the design of this building and this plaza built in the heart of our community. This is built to serve our public for a century. *** What you see here is an amazing building. *** The City Hall has a lifespan of . . . 200 years. *** It will serve the next century. And we know that it will serve our citizens proudly. *** During the construction of this building, we did have a couple of surprises. The soil underneath this plaza gave us a couple of interesting experiences, contaminated materials and soils. So, we hauled out 6,000 tons of contaminated materials and 8,600 cubic yards of soil and also found a very high water table. This did increase the cost of our project. We also found opportunity. We added 20,000 feet in the basement, an expensive space that one day will be put to use for the future. *** The City Council also committed to

² Petra's motion to dismiss was made because the Complaint fails to state a claim for which relief can be granted. It contains only naked allegations and legal conclusions which are devoid of the required factual basis and it does not contain any plausible basis for relief. The insignificant factual allegations of the Complaint and proposed First amended Complaint are not enough to raise Meridian's claims for relief above the speculative level. See United States Supreme Court's holdings in *Bell Atlantic Corp. v. Twombly*, 550 U. S. 544, 127 S. Ct. 1955 (2007) and *Ashcroft v. Iqbal*, ___ U.S. ___, 127 S. Ct. 1937 (2009).

building an energy efficient and LEED certified structure. *** Investing wisely in energy efficiency and technology now, will serve, as you have heard, save money and precious resources for the future. This will produce a long term cost savings to the City of 30%. *** With the raised floor system it becomes easy to integrate new technologies. *** Many steps have been taken to promote healthy and sustained environment for our employees. *** 80% of our construction waste was recycled. *** The City of Meridian has a new City Hall that was planned and saved for for over a decade; we paid cash. And assuring that growth was paid for for this expansion facility. No bond or other financing was necessary. *** It sets a standard for downtown community development.

Mr. Frank also noted the following verbatim comments by Council President Roundtree:

Excerpts from Council President Roundtree's Comments

It is my honor today as a City Council President to recognize a few folks, and not everybody, who made this possible. There's been a lot of long hours, a lot of hard work, a lot of vision, a lot of planning. We went out and . . . got the planning expertise of architects and we went out and hired folks who could actually build things. *** We utilized the expertise of Petra, and . . . worked with their staff on an almost daily basis with our staff. And Jerry, thank you to you and your folks and Gene and Jack and Nick, the . . . people that were on the ground to make sure that things got done in a timely manner so we could enjoy this weather today, Our gratitude and appreciation. *** It has been a labor of love for all us in terms of once we made the jump, these folks that I've introduced that put their blood sweat and tears in actually making it happen and made it happen, and I can't say anything more than we certainly appreciate and recognize what you've gone through to make this happen for our great city.

Meridian Representations in its Audited Financial Statements

As noted below Meridian claims that Petra misled the City regarding the cost of the Project. However, in its public statements included in the April 10, 2007 Facilities Inventory and Capital Improvement Plan, the City represented to the public that “The entire cost [of the Project] is estimated to be over \$20 million.” See Exhibit C to the Affidavit of Thomas G. Walker dated April 7, 2010.

City Council Meeting Minutes

Having recognized that the cost of the Project would exceed \$20 million, Councilman Keith Bird made the following statements during the City Council Meeting held on July 24, 2007:

Bird: . . . its [the project] more than I wish we had to spend, but that’s – we want a quality building and we – I feel that we are more paying for that access flooring is well worth the money. I think the extras we have, I think it’s a building that we will be proud of forever. Fifty years from now this will be functional. I think we could have . . .

De Weerd: I heard you. It’s on the record.

Bird: I don’t blame them at all. I just – and, you know, the property being cleaned up, nobody could foresee that. I think we are getting a heck of a building for that money myself personally. I think it will be a beautiful building. I think it’s – I think will be classy that’s what we started out to do.

See Exhibit AA to the Bennett April 7, 2010 Affidavit.

In addition, Eugene Bennett, Petra’s superintendent on the Project, and Tom Coughlin, Petra’s Project Manager, attended a City Council Meeting on March 24, 2009 – approximately 17 months after the City occupied the Project. As noted in Exhibit AA to the Bennett April 7,

2010 Affidavit the following exchange between Mayor DeWeerd, Councilman Keith Bird, City Purchasing Agent Watts, Mr. Bennett and Mr. Coughlin:

DeWeerd: Okay. Anything further from Council? I can say that it's been a joy to be in the building and we have gotten a lot of positive comments from our citizens and so we thank you.

Bennett: You're welcome. You will for a long time.

Bird: Been nice working with you, Gene.

Watts: Thanks, Gene and Tom.

Amazingly, the City sued Petra on April 16, 2009, just 23 days after the March 24, 2009 City Council Meeting.

2. MERIDIAN'S ALLEGATIONS REGARDING PUNITIVE DAMAGES

Meridian seeks to amend its complaint to add a claim for punitive damages based upon the following claims:

2.1 Petra misrepresented the Maximum Price for the Project to be \$12.2 million dollars, Meridian relied upon this representation and the City had the right to rely upon the representation;

2.2 Petra conducted itself as though the Project was a "cost plus" project;

2.3 Petra did not properly administer the Prime Contracts;

2.4 Petra represented that it would act as a construction manager when in fact it intended to act as a general contractor without having obtained the Project through a public bidding process;

2.5 Petra breached a fiduciary duty allegedly owed to Meridian;

2.6 Petra breached its duty to Meridian ". . . by willfully, wantonly, and intentionally misrepresenting the cost of the Project, the schedule of the project, and the compliance or non-

compliance of Prime Contractors with the schedule and the requirements of the Prime Contracts, both before and during construction;

2.7 Petra did not act with honesty in its dealings with the City; and

2.8 Meridian was damaged by Petra's acts and omissions.

3. APPLICABLE LAW

3.1 Standards Governing Motion to Amend.

Under Rule 15(a)³ “a party may amend a pleading only by leave of the court or by written consent of the adverse party; and leave shall be freely given when justice so requires, and the court may make such order for the payment of costs as it deems proper.” I.R.C.P. 15(a). “The Court has recognized . . . that a trial court has not abused its discretion in denying a request for leave to amend a complaint if the new claims proposed to be inserted fail to state a valid claim.” *Stonewall Surplus Lines, Ins.Co.v. Farmers Ins. Co.*, 132 Idaho 318, 325, 971 P.2d 1142, 1149 (1998). In addition, “a trial court properly refuses permission to amend a complaint when the record contains no allegations that, if proven, would entitle the party to the relief claimed.” *Hines, v. Hines*, 129 Idaho 847, 853, 934 P.2d 20, 26 (1997).

3.2 Application of Idaho Code § 6-1604 Standards.

Idaho Code § 6-1604 provides in relevant part as follows:

[A] party may, pursuant to a pretrial motion and after hearing before the court, amend the pleadings to include a prayer for relief seeking punitive damages. The court shall allow the motion to amend the pleadings *if, after weighing the evidence presented, the court concludes that, the moving party has established at such hearing a reasonable likelihood of proving facts at trial sufficient to support an award of punitive damages.*

³ References to “Rule” or “Rules” are to the Idaho Rules of Civil Procedure.

* * *

In any action seeking recovery of punitive damages, the claimant must prove, *by clear and convincing evidence*, oppressive, fraudulent, malicious or outrageous conduct by the party against whom the claim for punitive damages is asserted.

I.C. § 6-1604(1) (Effective prior to July 1, 2003) (Emphasis added.)

There are eight reported appellate cases that address the new statute substantively.⁴ Additionally, Idaho Code § 6-1604 is substantively discussed in *Balek v. Short*, 2009 WL 2929321 (Idaho Dist.).

In this case, the record is devoid of any admissible evidence that support a finding that there is a reasonable likelihood Meridian will be able to prove, by clear and convincing evidence, facts at trial sufficient to support an award of punitive damages. The inadmissibility of the affidavit testimony by Theodore W. Baird, Jr. is addressed in Petra's Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr. Mr. Baird does not offer any admissible testimony that Petra's alleged acts or omissions described in the proposed First Amended Complaint were (1) oppressive, fraudulent, malicious or outrageous, *and* (2) that the alleged acts constituted an extreme deviation from reasonable standards of conduct, *and* (3) that Petra acted with an understanding of or a disregard for the likely consequences of his actions.

⁴ See *Myers v. Workmen's Auto Insurance Co.*, 140 Idaho 495, 95 P.3d 977 (2004); *Vendelin v. Costco Wholesale Corp.*, 140 Idaho 416, 95 P.3d 34 (2004); *Gunter v. Murphy's Lounge, LLC*, 141 Idaho 16, 105 P.3d 676 (2005); *Seiniger Law Office, P.A. v. North Pacific Ins. Co.*, 145 Idaho 241, 178 P.3d 606 (2008); *Hall v. Farmers Alliance Mut. Ins. Co.*, 145 Idaho 313, 179 P.3d 276 (2008); *Todd v. Sullivan Construction, LLC*, 146 Idaho 118, 191 P.3d 196 (2008); *Saint Alphonsus Diversified Care, Inc. v. MRI Associates, LLP*, 148 Idaho 479, 224 P.3d 1068 (2009); *Bach v. Bagley*, ___ P.3d ___, 2010 WL 937270 (Idaho).

Therefore, Meridian does not have a reasonable likelihood of proving, by clear and convincing evidence, that it is entitled to an award of punitive damages.

4. FACTS, LAW AND ARGUMENT

4.1 Petra did not represent that the maximum price of the Project was \$12.2 million.

Meridian and Petra entered into a Construction Management Agreement dated August 1, 2006 (“Construction Management Agreement”).⁵ The Construction Management Agreement was prepared by Franklin Lee, an attorney hired by Meridian and presented to Petra for signature with a tight deadline for execution.⁶ Meridian represented to Petra in the Construction Management Agreement that the Maximum Price was \$12.2 million for a four-story 80,000 square foot Standard Class A office building and related improvements with surface parking.⁷ Upon review of the proposed \$12.2 million dollar budget figure, Petra notified Meridian that the Project could possibly not be constructed within that budget.⁸ This budget was established by Meridian in order to negotiate the Construction Management Agreement prior to the preparation of any specifications or drawings.⁹ On January 15, 2007, Petra presented the City with a preliminary budget of \$15,475,160 for the building based on the initial 20% Shell & Core

⁵ Affidavit of Eugene R. Bennett dated April 7, 2010 (“Bennett April 7, 2010 Affidavit”) and Construction Management Agreement attached thereto as Exhibit A. See Complaint at ¶ 4; Answer at ¶ 51.

⁶ Affidavit of Eugene R. Bennett dated April 7, 2010 at ¶ 9; see Meridian City Council meeting minutes dated July 25, 2006 attached thereto as Exhibit B, which gave Petra just a few days to sign the Construction Management Agreement.

⁷ Construction Management Agreement at Recitals B and ¶ 4.4.1(f).

⁸ Bennett April 7, 2010 Affidavit at ¶ 12 and email from Pat C. Kershnik, Petra’s in-house counsel at the time, to Franklin Lee, Meridian’s outside counsel at the time attached as Exhibit C thereto ¶ 14.

⁹ Bennett April 7, 2010 Affidavit at ¶ 14.

documents.¹⁰ The 20% documents consisted of building floor plans and elevations and did not include structural, mechanical, electrical or plumbing, or Plaza documents and represented a 100,000+ square foot, three story structure with a basement. The City, represented by Councilman Keith Bird, reported that they would find the extra \$2,275,000 required to construct this version of the building in lieu of the original concept.¹¹ On February 12, 2007 Petra updated the budget based on 60% Shell and Core drawings and 20% MEP drawings. The building budget was estimated at \$16,254,033.¹² On February 26, 2007 Petra presented \$2.6 million in value engineering suggestions which included deleting the basement (\$1 million savings), removing the south wing (\$800,000 savings) and various other suggestions (\$812,000 savings).¹³ The City rejected most of the value engineering suggestions and Mayor DeWeerd stated that Council has expressed that they want a full building as designed¹⁴ and Councilman Bird confirmed that we need to stay with the footprint and under floor HVAC system.¹⁵ From that meeting Lombard-Conrad, the architects (“Architects”), and Petra were instructed by Meridian to finish the plans in preparation for public bidding.¹⁶

As the design progressed the budget was increased to account for the site contamination abatement, mechanical and electrical system upgrades, upgraded plaza features, the addition of

¹⁰ Bennett April 7, 2010 Affidavit at ¶ 15; see also Keith Watts Timeline at Petra Bates No. 93028 (Exhibit D to the Bennett April 7, 2010 Affidavit); see also initial budget dated January 15, 2007 at Bates No. CM088801 attached as Exhibit E to the Bennett April 7, 2010.

¹¹ Bennett April 7, 2010 Affidavit at ¶¶ 18 and 19 and Exhibit D at Bates No. Petra 93028.

¹² Bennett April 7, 2010 Affidavit at ¶¶ 20 and 21 and Exhibit F attached thereto.

¹³ Bennett April 7, 2010 Affidavit at ¶ 22; documents attached thereto as Exhibit G (Bates Nos. Petra 60076, 93129, and 93130).

¹⁴ Bennett April 7, 2010 Affidavit at Exhibit D (Bates 93030).

¹⁵ Bennett April 7, 2010 Affidavit at ¶ 24.

¹⁶ Bennett April 7, 2010 Affidavit at ¶ 25.

interior drywall partitions, furniture, fixtures and equipment, including security systems, audio visual systems, telecommunications systems and interior signage package. Some of the significant items that resulted in the increase in the budget consisted of: \$473,000 for removal and remediation of contaminated soils and materials; \$300,000 in additional cabinetry; \$205,000 for LEED certification work; \$800,000 in value engineering rejected by the City; and \$605,000 for furniture, fixtures and equipment that the City added to Petra's scope of the work.¹⁷

More particularly, Meridian made many changes to the size and scope of the Project that increased the complexity of the Project, all of which were presented to and approved by the City Council, including changes in the following nine principal areas:

(1) **Building size and configuration:** The City Hall building was increased in size from 80,000 square feet to 104,000 square feet and the configuration was changed from four story above-ground structure to a three story structure with a basement.¹⁸

(2) **Structural System:** The City increased the size of the City Council chambers, which dictated column to beam moment welds in four directions throughout the structure, which was more than the two directional moment welds that were initially anticipated by the Design Team¹⁹ and Petra. This change added time to the Project during the rainy season when cold temperatures and wet conditions made it more difficult to weld.²⁰

¹⁷ Bennett April 7, 2010 Affidavit at ¶ 26; see February 2008 Monthly Report attached as Exhibit H (Bates Nos. CM073856 – CM073918).

¹⁸ Bennett April 7, 2010 Affidavit at ¶ 28

¹⁹ Bennett April 7, 2010 Affidavit at ¶ 29. The Design Team consisted of Lombard-Conrad, Elk Mountain Engineers, Hatchmueller Landscape, Stapley Engineers, Engineering, Inc. Eidam & Associates and AATronics. See Bennett April 7, 2010 Affidavit at ¶ 27.

²⁰ Bennett April 7, 2010 Affidavit at ¶ 30 .

(2) **Building exterior:** The City's delayed request to have an exterior that would stand the "test of time" dictated the use of stone and brick that is a more expensive and time consuming construction method than typically used on other Class A commercial buildings. The City Council decided it wanted a 200-year structure.²¹

(3) **Mechanical:** The City ordered that mechanical system be upgraded to state-of-the-art incorporating access floor/under floor duct throughout the building with a two pipe hydronic system providing under floor control to individual VAV boxes at individual work stations, which provides the better control, comfort, and flexibility for future office changes compared to the usual rooftop system with the single thermostat for large work areas.²²

(4) **Electrical:** The City also required that the electrical system be upgraded to state-of-the-art with "daylight harvesting" controls, CO₂ monitoring, standby generator and UPS systems – all requiring additional time to install.²³ Because of the complexity of the upgraded mechanical and electrical systems, Petra employed a mechanical/electrical superintendent in lieu of a standard construction foreman to ensure the success of the Project.²⁴

(5) **Leadership Energy Efficient Design ("LEED"):** After the Construction Management Agreement was signed, the City decided it wanted the building to qualify for LEED certification. The certification process required additional construction management work to

²¹ Bennett April 7, 2010 Affidavit at ¶ 31.

²² Bennett April 7, 2010 Affidavit at ¶ 32.

²³ Bennett April 7, 2010 Affidavit at ¶ 33.

²⁴ Bennett April 7, 2010 Affidavit at ¶ 34.

insure compliance with the LEED requirements.²⁵ LEED certification was not contemplated at the time the initial budget was set because a LEED certified building was not one of the original criteria for the facility.²⁶ The certification for LEED required a state-of-the-art mechanical, electrical and plumbing (“MEP”) system which added complexity, cost and time to the overall Project.²⁷

(6) **Plaza and site design:** The City ordered the addition of an extensive and elaborate plaza design that had to be value engineered and re-bid. The re-bid and delayed start on construction required additional coordination and re-sequencing of activities.²⁸

(7) **East Parking Lot:** The late addition by the City of the east parking lot required extra coordination and revision to the interface with the plaza. Petra maintained a superintendent full time after the completion of the Project in October 2007 to manage the construction of the East Parking Lot pursuant to an agreement with Keith Watts, Meridian’s Purchasing Agent.²⁹

(8) **Total volume of contract changes and revisions:** Petra had to actively manage changes resulting from 168 Architect’s Supplemental Instructions (“ASIs”), two Proposal Requests (“PRs”), 230 Requests for Information (“RFIs”) and miscellaneous City requested

²⁵ Bennett April 7, 2010 Affidavit at ¶ 35.

²⁶ Bennett April 7, 2010 Affidavit at ¶ 36 and Exhibit I; reference to specification in Construction Management Agreement at Recitals Item B, Article 3.1 and Article 6.2.2 and Budget Updates dated 7/12/2007 at Bates No. Petra 60729; see LEED Presentation to City, Bates Nos. 93565-93615; LEED Project Points Check Sheet, Bates Nos. 93616-19; LEED Cost Impact Budget, CM 002775.

²⁷ Bennett April 7, 2010 Affidavit at ¶ 37.

²⁸ Bennett April 7, 2010 Affidavit at ¶ 39 .

²⁹ Bennett April 7, 2010 Affidavit at ¶ 40.

changes.³⁰ The majority of these changes resulted from the City and design driven changes and/or site conditions that the City did not disclose to Petra prior to execution of the Construction Management Agreement.³¹ The management and supervision of these changes increased the complexity of sequencing and scheduling. The City continued to request that Petra implement changes to the Project even after the October 15, 2008 substantial completion of the Project.³²

(9) **Contaminated Soils and Materials:** The discovery and supervision of the removal and replacement of contaminated soils and materials, disposal of hazardous waste and monitoring of contaminated groundwater required additional Petra resources and time.³³

As of February 2008 the final project budget of \$21,474,078, excluding the east parking lot, was established, presented to and approved by the City Council.³⁴ Between the initial budget given by Petra to the City in January 2007 and the final budget being established as of February 2008, periodic updates were provided to and reviewed with the Mayor, the City Council and City staff during the meetings of the Mayor's Building Committee and City Council workshop meetings.³⁵ A budget line item of \$376,408 was included in the August 28, 2007 budget³⁶ as an estimate of Petra's additional fee for extra work that was subsequently formally requested in

³⁰ Bennett April 7, 2010 Affidavit at ¶ 41; see ASI log attached thereto as Exhibits J and K (Bates Nos. Petra 92473 to 92542 and RFI log at Bates Nos. Petra 94149-94196).

³¹ *Id.*

³² Bennett April 7, 2010 Affidavit at ¶ 44.

³³ Bennett April 7, 2010 Affidavit at ¶ 45.

³⁴ Bennett April 7, 2010 at ¶ 46. See February Budget Financial Report at Bates CM073870 -073871 (Exhibit I) and February 12, 2008 Meridian City Council Special Workshop Meeting at CM 081230-81238.

³⁵ Bennett April 7, 2010 at ¶¶ 48 and 49. See also Exhibit L, list of meetings held by Petra at Bates Nos. Petra 94412-94416; also see also excerpts of Monthly Reports from December 2007 to November 2008. See also Exhs. M&N Mayor's Building Committee Meeting Minutes and City Council Workshop Meeting Minutes.

³⁶ Bennett April 7, 2010 Affidavit at ¶ 50.

Change Order No 2.³⁷ This line item was included in all subsequent budgets.³⁸ All budgets, bids and contract awards were received by and approved by the City Council.³⁹ Ultimately the Project was completed for \$21,513,416.34, \$259,653.60 under budget.⁴⁰ The \$9.6 million, or 79%, increase from the initial budget of \$12.2 million to the final budget of \$21.8 million was a direct result of increases in scope, size and complexity of the Project driven by City requirements added after the Construction Management Agreement was executed.⁴¹

Notwithstanding numerous value engineering recommendations made by Petra and the Architects, which Meridian chose not to implement, the City did not at any time during the Project period direct Petra, the Architects or any of the Prime Contractors or suppliers to stop implementing the numerous changes the City had ordered and approved.⁴² At no time during the Project did the City provide any direction that the budget or the design needed to be revised or changed significantly.⁴³ Importantly, in this regard the Construction Management Agreement provides as follows:

If Owner learns of any failure to comply with the Construction Contract by Contractor, or of any errors, omissions, or inconsistencies in the services of

³⁷ Bennett April 7, 2010 Affidavit at ¶ 50 and Exhibit Q (Change Order No. 2 Request and supporting documentation attached thereto as Bates Nos. CM023878-023902). See also, revised Change Order No. 2 attached as Exhibit A to the Affidavit of Jerald S. Frank dated April 7, 2010.

³⁸ Bennett April 7, 2010 Affidavit at ¶¶ 51 and Exhibit P.

³⁹ Bennett April 7, 2010 Affidavit at ¶ 53.

⁴⁰ Bennett April 7, 2010 Affidavit at ¶¶ 54-57; see final cost summary attached thereto as Bates Nos. Petra 60868-60933, Final Pay Application No. 30 in April 2008 at Bates Nos. Petra 91526-91461 and Final Budget Summary at Bates Nos. Petra 50038-39, Exhs. R-T attached thereto.

⁴¹ Construction Management Agreement at Recitals B compared to final scope of approved work by the City described in the April 2008 Monthly report.

⁴² Bennett April 7, 2010 Affidavit at ¶ 58.

⁴³ Bennett April 7, 2010 Affidavit at ¶ 59.

Construction Manager, and in the further event that Construction Manager does not have notice of the same, Owner shall inform Construction Manager.⁴⁴

At all times from and after August 1, 2006, Petra kept the City informed of the ever increasing cost of the Project which were the result of the City's changes.⁴⁵ Notwithstanding these reports, the City did not halt the Project. Rather, the Mayor informed Petra that the Council has expressed that they want a full building as designed regardless of the fact that the \$12.2 million maximum price would be substantially exceeded.⁴⁶ Also germane to this issue is paragraphs 3.2.3 and 4.4.2 of the Construction Management Agreement provide:

Owner shall timely review documents provided by or through Construction Manager and timely render its direction, decision, consent or approval on matters identified by Construction Manager for Owner's direction, decision, consent or approval.⁴⁷

Owner shall timely review and approve or disapprove the documents set forth above. If Owner disapproves any document, Owner shall set forth the reasons therefore in writing. Construction Manager shall then revise the disapproved document as required by the reasons for disapproval and resubmit the revised document to Owner for approval, which approval shall not be withheld or delayed. This process shall repeat until Owner approves the documents set forth above.⁴⁸

The City never required the project be redesigned to stay within the budget. The Construction Management Contract recognizes that should the estimate of the bids received result in a project cost that exceeds the \$12.2 million project budget, the City had an obligations

⁴⁴ Construction Management Agreement at paragraph 3.2.6. See also, Construction Management Agreement at paragraph 10.14 that requires such notices to be in writing.

⁴⁵ Bennett April 7, 2010 Affidavit at ¶ 60.

⁴⁶ Minutes of Mayor's Building Committee attached as Exhibit M to the Bennett April 7, 2010 Affidavit.

⁴⁷ Construction Management Agreement at paragraph 3.2.3.

⁴⁸ Construction Management Agreement at paragraph 4.4.2.

to notify the Construction Manager to work with the Architect and Owner to identify cost saving measures to bring the Project below the \$12.2 million budget.⁴⁹ The Construction Management Agreement recognized that the Maximum Price would change once the plans and specifications were completed. Paragraph 4.5.9 of the Construction Management Agreement provides in relevant part:

As soon as practical after Architect's submission of the Construction Documents and in accordance with the Project Schedule, Construction Manager shall submit to Owner a final written estimate of the anticipated price for constructing the Project (the "Final Cost Estimate"). The Final Cost Estimate shall be detailed and shall be divided into bid packages and work categories. If the Final Cost Estimate exceeds the Maximum Price, Owner may require Construction Manager, with no increase in the not-to-exceed allowance for preconstruction services set forth in Section 6.2.2(a) below, to (i) consult With Owner and Architect to identify cost savings measures, (ii) assist Architect in revising the Construction Documents to reflect approved cost savings measures, and (iii) revise the Final Cost Estimate to reflect the anticipated savings from approved cost savings measures, as necessary to bring the Final Cost Estimate below the Maximum Price. ***Absent clear and convincing evidence of gross negligence, and provided Construction Manager completes its obligations under this Section, Construction Manager shall not be financially responsible to Owner for the failure of the Final Cost Estimate to be within the Maximum Price.*** (Emphasis added.)⁵⁰

During February 2008, the Final Cost Estimate of \$21,773,078 was established, presented to and approved by the City Council.⁵¹ Also, in recognition of the likelihood that the Project

⁴⁹ Construction Management Agreement at paragraphs 4.4.3 and 4.5.9.

⁵⁰ Construction Management Agreement at paragraph 4.5.9.

⁵¹ See February Budget Financial Report at Bates Petra 94208-209 and February 12, 2009 Meridian City Council Special Workshop Meeting at CM 081230-81238.

could cost more than \$12.2 million, the Construction Management Agreement provided for an equitable adjustment of the Construction Manager's Fee.⁵²

7. Changes.

Changes in Construction Manager's services (not involving a cardinal change to the scope of the services) may be accomplished after the execution of this Agreement upon Owner's request or if Construction Manager's services are affected by any of the following:

(a) A change in the instructions or approvals given by Owner that necessitate revisions to previously prepared documents or the reperformance of previously performed services;

(b) Significant change to the Project, including, but not limited to size, quality, complexity, Owner's schedule, budget or procurement method;

(c) Construction Manager performs additional services because of active Owner interference pursuant to Section 5.2, or

(d) Preparation for and attendance at a dispute resolution proceeding or a legal proceeding except where Construction Manager is a party thereto or where the Construction Manager's performance is an issue in such proceeding.

Except as otherwise set forth in this Agreement, if any of the above circumstances materially affect Construction Manager's services, Construction Manager shall be entitled to an equitable adjustment in the Schedule of Performance, the Construction Manager's Fee and/or the not-to-exceed limits for reimbursable expenses, as mutually agreed by Owner and Construction Manager. Prior to providing any additional services, Construction Manager shall notify Owner of the proposed change in services and receive Owner's approval for the change.

⁵² Paragraph 6 of the Construction Management Agreement divides Petra's fee into three components: (a) a fee of \$574,000 based on a total project cost estimate of \$12,200,000, or 4.7%; (b) reimbursable expenses for direct personnel expense (i.e., payroll plus related taxes, insurance and customary benefits) of the project engineer, project superintendent and project foreman; and (c) General condition reimbursables at cost. Bennett April 7, 2010 Affidavit at ¶ 64.

Reimbursable expenses are subject to adjustment under Paragraph 6.2.2 of the Agreement for material changes including: size of the structure (i.e., 80,000 square feet), complexity (i.e., four story, surface parking), project Budget (i.e., \$12,200,000), procurement method (i.e., no long lead time and/or expedited materials), and/or bidding process (i.e., two bid packages, no rebids). Bennett April 7, 2010 Affidavit at ¶ 64.

Except for a change due to the fault of Construction Manager, a change shall entitled Construction Manager to an equitable adjustment in the Schedule of Performance, Construction Manager's Fees and/or the not-to exceed limits for reimbursable expenses as mutually agreed by Owner and Construction Manager.

4.2 Petra did not conduct itself as though the Project was a "cost plus" project.

Petra did not conduct itself as though the Project was a "cost plus" project. Rather each and every Prime Contract was awarded by the City after compliance with the bidding requirements for public projects. None of the contracts were "cost plus."⁵³ With regard to the Construction Management Agreement it provided for an initial Construction Manager's Fee of \$574,000,⁵⁴ plus reimbursable expenses.⁵⁵

4.3 Petra administered the Prime Contracts in accordance with the applicable standard of care.

In conducting its services under the Construction Management Agreement, Petra exercised ordinary and reasonable care with the same degree of professional skill, diligence and judgment as is customary in this community among construction managers of similar reputation performing work for projects of a size, scope and complexity similar to the Project ("Applicable Standard of Care").⁵⁶ Petra provided its services in compliance with the Construction Management Plan, Project Schedule and Project Budget as referenced in Article 4.7.3 of the Construction Management Agreement. Petra's compliance is evidenced by the record in this case, including the documents attached to the Bennett April 7, 2010 Affidavit. This evidence

⁵³ A "cost plus" contract is one in which payment is based on a fixed fee or a percentage added to the actual cost incurred. C.J.S. Contracts § 386.

⁵⁴ Construction Management Agreement at paragraph 6.1.

⁵⁵ *Id.* at paragraph 6.2

⁵⁶ Construction Management Agreement at paragraph 1.1.

confirms that Petra organized and conducted Weekly Job Progress Meetings and the Mayor's Building Committee meetings.⁵⁷ Petra held regularly scheduled weekly progress meetings with the prime contractors, the Architects and City representatives to monitor, review and report on all aspects of the Project, including quality issues, coordination, design and constructability issues, approvals, safety, LEED silver certification, and other items as required.⁵⁸ In addition Petra and Lombard-Conrad Architects, P.A. ("Lombard-Conrad" or "Architect") typically met with Meridian City Council and staff at a monthly City Council workshop or meetings starting February 2007 to discuss design, scheduling, budget and city action items.⁵⁹ Petra also presented a detailed report during each of the monthly City Council meetings.⁶⁰ Numerous design and constructability issues were addressed through Requests for Information ("RFIs") and Architect's Supplemental Instructions ("ASIs").⁶¹ In discharging its duties identified in Section 4.7.9 of the Construction Management Agreement to protect Meridian from "continuing deficient or defective Work. . .," Petra had, at the minimum, one full-time superintendent on site during the initial Project period.⁶²

⁵⁷ Bennett April 7, 2010 Affidavit at ¶65 and Exhs. M and N.

⁵⁸ Bennett April 7, 2010 Affidavit at ¶ 67 and Meeting Minutes List detailing all meetings held on this matter, not including the City Council and Executive Sessions that the City had Petra attend and provide reports at Bates Nos. Petra 94412 through 94416.

⁵⁹ Bennett April 7, 2010 Affidavit at ¶ 68.

⁶⁰ Excerpts of Petra's Monthly Progress Reports: December 2007 through November 2008 attached thereto as Exhibit D. See also, Weekly Progress Meetings attached thereto as Bates Nos. 50595 through 50641, Mayor's Building Committee Meetings attached thereto as Exhibits M and N; and City Purchaser Weekly Meeting minutes attached thereto as Exhibit V.

⁶¹ Bennett April 7, 2010 Affidavit ¶ 69; see ASI log attached thereto as Exhibit J and RFI log attached thereto as Exhibit K.

⁶² Bennett April 7, 2010 Affidavit at ¶ 70.

As the Project progressed, Petra provided additional supervision to monitor and coordinate the Mechanical, Electrical and Plumbing (“MEP”) work and LEED compliance. Notably, neither an under floor HVAC duct plenum nor LEED certification was one of the criteria included in the Construction Management Agreement.⁶³ Petra also provided a full time superintendent to oversee and coordinate the Plaza construction due to the time constraints and fast track nature of that portion of the Project.⁶⁴ During construction Lombard-Conrad and the engineers hired by the City conducted periodic site inspections and produced site inspection reports.⁶⁵ Lombard-Conrad’s contract also included a duty of inspection and they signed off on the Project as well.⁶⁶ The commissioning agent hired by the City, Heery International, Inc., conducted periodic onsite inspections.⁶⁷ Continuously throughout the construction Project, Petra coordinated with City Inspectors and Materials Testing & Inspection (“MTI”) to insure that special inspections were performed as required.⁶⁸ MTI produced and submitted inspection reports for steel, concrete, soil compaction and masonry attesting that the work met specifications.⁶⁹ MTI also signed off on the work that was done on this project.⁷⁰

⁶³ Bennett April 7, 2010 Affidavit at ¶ 71.

⁶⁴ Bennett April 7, 2010 Affidavit at ¶ 72. (Plaza supervisors Drew Brown and Pat Child).

⁶⁵ Bennett April 7, 2010 Affidavit at ¶ 73.

⁶⁶ Bennett April 7, 2010 Affidavit at ¶ 74.

⁶⁷ Bennett April 7, 2010 Affidavit at ¶ 75. The commissioning agent is Heery International whose responsibility is to verify systems work (Mechanical and Electrical).

⁶⁸ Bennett April 7, 2010 Affidavit at ¶ 76 and attached documents from Materials Testing & Inspection.

⁶⁹ Bennett April 7, 2010 Affidavit at ¶ 77; see samples of reports and testing attached thereto as Exhibit BB.

⁷⁰ Bennett April 7, 2010 Affidavit at ¶ 78.

4.4 Petra acted only as the construction manager and not as a general contractor.

Petra was not a general contractor on the Project. It was the construction manager.⁷¹ The duties and responsibilities of the construction manager are set forth in the Construction Management Agreement, but generally Petra was hired to assist Meridian, in coordinating the activities of the various contractors, subcontractors and suppliers to enable them to complete their assigned tasks in an organized and efficient manner; to implement quality control; to maintain records for the Project; to keep Meridian apprised of the status of the Project; to provide an on-site representative to respond to issues as they arose; and to act as an independent contractor only to the extent provided for in the Construction Management Agreement.⁷² Petra was not responsible to perform construction work on the Project or to independently enter into any contracts or subcontracts for the performance of such work under the Construction Management Agreement.⁷³ It is undisputed that Meridian, with the advice and counsel of its own City attorneys, entered into contracts with each of the contractors, subcontractors and vendors who provided construction labor, services, materials and equipment for the Project.⁷⁴ Petra was not required to, and did not provide warranties with respect to the labor or materials

⁷¹ As the construction manager, Petra was not responsible for (i) construction means, methods, techniques, sequences and procedures employed by the various contractors, (ii) cutting, fitting or patching to make sure that the several parts of the work fit together properly, (iii) the failure of any contractor to carry out the work in accordance with the contract documents, or (iv) defective work.

⁷² See Construction Management Agreement at paragraph 4. *See also*, Bennett April 7, 2010 Affidavit at ¶ 80.

⁷³ Bennett April 7, 2010 Affidavit at ¶ 81.

⁷⁴ *See*, Construction Management Agreement at § 3.4 which states: "...[C]onstruction Manager understands that Owner plans to retain multiple prime contractors (the "Contractors") to provide construction labor, services, materials and equipment for the Project." *See* Bennett April 7, 2010 Affidavit at ¶ 82.

provided by the various manufacturers, vendors, contractors or subcontractors.⁷⁵ The warranties were provided directly to the City by the various providers of labor and materials.⁷⁶ In short, Petra, as a construction manager, had very different duties and responsibilities from a general contractor.⁷⁷ See e.g., *Fifth Day LLC v. Bolotin*, 172 Cal. App. 4th 939, 91 Cal. Rptr. 3d 633 (Cal fifth Dist., 2009)(Holding Construction Manager was not required to have contractors' license under California law in order to be paid as a construction manager because the duties of construction manager are very different from the duties of contractor).

Petra fulfilled its duties and responsibilities as construction manager on or before August 4, 2009 when the last of the Punch List items were signed off by the City's officials, certifying that Petra's work on the Project was complete and accepted.⁷⁸ The act of final acceptance of the work carries with it significant ramifications, including full transfer of risk of loss to the owner. See *City of Gering v. Patricia G. Smith Co.*, 215 Neb. 174, 337 N.W.2d 747 (1983) (City could not recover for defects known to its agent where city accepted the work as agent's knowledge was imputed to city.) See also, *Havens Steel Co. v. Randolph Engineering Co.*, 613 F. Supp. 514, 527 (W.D. Mo. 1985), judgment aff'd, 813 F.2d 186 (8th Cir. 1987) ("Where the owner accepts a structure without complaining, within a reasonable time, of defects or contract deviations which are known to him or which are open, obvious and apparent, he is precluded

⁷⁵ Bennett April 7, 2010 Affidavit at ¶ 83.

⁷⁶ Bennett April 7, 2010 Affidavit at ¶ 84. See discussion regarding the City's assumption of the duties and responsibilities necessary for the administration of the warranties it received.

⁷⁷ Bennett April 7, 2010 Affidavit at ¶ 85.

⁷⁸ Bennett April 7, 2010 Affidavit at ¶ 86.

from seeking damages for those defects or deviations”) (citing numerous cases). (See further discussion at § 3.2 *infra*).

4.5 Petra did not breach any duties that it owed to Meridian.

4.5.1 Petra substantially performed its duties and responsibilities under the Construction Management Agreement.

Notwithstanding the City’s claims to the contrary, the evidence in this case supports a finding that Petra substantially performed its duties and responsibilities under the Construction Management Agreement. “[S]ubstantial performance is performance which, despite deviation from the contract, provides the essential benefits of the contract to the promisee”. *Roberts v. Wym*, 135 Idaho 690,697, 23 P.3d 152, 159 (Ct. App. 2001). In *Roberts*, the Idaho Court of Appeals held that there was no material breach of contract where substantial performance had been rendered. *Weed v. Idaho Copper Co.*, 51 Idaho 737, 746, 10 P.2d 613, 621 (1932) (If employer had problem with Weed’s services, proper course was to proceed through internal management; not to wait until after Weed’s services had been accepted by the corporation and then seek to avoid payment.)

4.5.2 Meridian’s building inspectors accepted the Project and certified it as complete.

Meridian’s qualified building inspectors issued a Certificate of Substantial Completion and Temporary Certificates of Occupancy on October 15, 2008, the date the City took possession

of the Project.⁷⁹ *Seawane v. Bailey*, 24 Misc. 2d 385, 208 N.Y. S. 2d 387 (New York. 1960) (Issuance of certificate of occupancy by municipality considered completion of dwelling and compliance with agreement and judgment entered against homeowners challenging work); *James Taylor v. City and County of Honolulu*, 25 Haw. 58, 1919 WL 1303 (Ha 1919)(The acceptance of a public improvement by the city engineer and board of supervisors must, in the absence of fraud, be regarded as conclusive; alleged variances from specifications did not constitute fraud or relieve parties from paying assessment). From and after October 15, 2008, and except as noted above with regard to administration of the warranties, Petra's duties and responsibilities under the Construction Management Agreement were limited to administering change orders for additions by the City to the scope of the Project, supervising completion of Punch List items, and payment by the City of the retentions it has withheld from various contractors.⁸⁰

4.5.3 *Meridian's claim that Petra failed to properly perform services under the Construction Management Agreement is barred by the certifications issued by the professionals hired by Meridian and Meridian's own building inspectors.*

Petra completed its duties as Construction Manager, as certified by the independent professionals hired by Meridian and its own building inspectors. Petra's billings for its services and reimbursable expenses were approved by Meridian's purchasing agent, Keith Watts.⁸¹ Mr. Watts has express, implied and apparent authority as Meridian's purchasing agent to bind

⁷⁹ All Punch List items were certified as complete by Meridian City officials no later than August of 2009. Bennett April 7, 2010 Affidavit at ¶ 87 and Exhibit W (Punch Lists and Occupancy Permits). See also Exhibit A to Affidavit of Thomas G. Walker.

⁸⁰ *Id.*

⁸¹ Bennett April 7, 2010 Affidavit at ¶ 90.

Meridian to the pay applications he approved for payment. Under Idaho law, there are three separate types of agency any of which are sufficient to bind the principal to a contract entered into by an agent with a third party. *Bailey v. Ness*, 109 Idaho 495, 497, 708 P.2d 900, 902 (1985). Both express and implied authority are forms of actual authority. *Id.* Apparent authority differs from express and implied authority in that it is not based on the words and conduct of the principal toward the agent, but on the principal's words and conduct toward a third party. *Tri-Circle, Inc. v. Brugger Corp.*, 121 Idaho 950, 954-55, 829 P.2d 540, 544-45 (Ct.App.1992). An agent may bind a principal if the agent has express, implied or apparent authority. *Caballero v. Wikse*, 140 Idaho 329, 332, 92 P.3d 1076, 1079 (2004). *Id.* See also *N&D Fashions v. DHJ Industries Inc.*, 548 F. 2d 722, (8th Cir. 1977)(Purchasing agent's contract binding upon employer).

In addition, Lombard-Conrad provided the following certification with respect to each pay application:

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge information and belief, the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.⁸²

The City, has, however, attempted to belatedly rescind certain of those authorizations because "Petra had a duty to provide an itemization of . . . what constitutes 'general conditions' designated for procurement by the Construction Manager 'under the Construction Management

⁸² See for example Deposition Exhibit 17 (CM001532-CM001732) attached to the Bennett April 7, 2010 Affidavit as Exhibit X, representing a typical pay application with supporting documentation.

Plan.” (Citing Construction Management Agreement section 6.2.3).⁸³ Section 6.2.3 of the Construction Management Plan states:

‘General Conditions’ Reimbursables. Owner shall reimburse Construction Manager for the ‘general conditions’ items designated for procurement by the Construction Manager under the Construction Management Plan at the cost thereof incurred by the Construction Manager.⁸⁴

Apparently Meridian’s counsel is now asserting that this provision required Petra to include a description of the “items designated for procurement” in the Construction Management Plan. However, during the implementation of the Construction Management Plan, Gene Bennett on behalf of Petra and Keith Watts on behalf of the City agreed that the “items designated for procurement” would be set forth in the various pay applications. From and after reaching that agreement, the parties adopted this course of dealing.⁸⁵ Consequently, the “budget” amount for the general conditions was established pursuant to the itemized breakdown included in each monthly pay application; see for example Pay Application No 17, March 31, 2008.⁸⁶ These amounts were summarized and included in the Project budgets.⁸⁷ All budgets were reviewed and approved by the City.⁸⁸ The total budget amount for Petra general conditions remained unchanged throughout the duration of the Project.⁸⁹

⁸³ See letter from Kim J. Trout dated October 23, 2009 at pg. 1 paragraph 2(a) attached as Exhibit B to the Walker April 7, 2010 Affidavit.

⁸⁴ Construction Management Agreement § 6.2.3; see also Meridian’s assertion set forth in the October 23, 2009 letter from Kim J. Trout, Meridian’s counsel to Thomas G. Walker, Petra’s counsel, attached as Exhibit B to the Walker April 7, 2010 Affidavit.

⁸⁵ Bennett April 7, 2010 Affidavit at ¶ 94.

⁸⁶ Bennett April 7, 2010 Affidavit at ¶ 95 and Exhibit X attached thereto.

⁸⁷ Bennett April 7, 2010 Affidavit at ¶ 96.

⁸⁸ Bennett April 7, 2010 Affidavit at ¶ 97.

⁸⁹ Bennett April 7, 2010 Affidavit at ¶ 98.

Regarding the general conditions, there were two categories: Petra General Conditions and the Project General Conditions/Work Orders.⁹⁰ The budget for Petra General Conditions was set at \$362,058.⁹¹ During the Project period it became apparent to Mr. Bennett that Petra was under-running the budget for Petra General Conditions by \$70,000.⁹² Mr. Bennett and Mr. Coughlin discussed this matter with Keith Watts and Mr. Watts decided that a special account be set up to charge the Project General Conditions/Work Orders to General Conditions as opposed to preparing Contractor Change Orders for minor work items.⁹³ An account "Cost Code 01-110" was established by Petra in August 2008 in response to Mr. Watts' request to reimburse various contractors and vendors for work ordered by either Petra or the City.⁹⁴ The parties adopted this course of dealing.⁹⁵ The general conditions were not "hidden from the City in a single line of the Project Budget" as alleged by Meridian's counsel, who was obviously not informed of Mr. Watts' request that resulted in the establishment of the account entitled Cost Code 01-110. The fact is that the City received an itemized list of the all general conditions items, reviewed the list and approved the payments each month.⁹⁶ The City was reminded of this in Transmittal #242, dated 5/9/07, Bates No Petra93105.⁹⁷ Budget updates were transmitted to the City periodically and discussed regularly during the Mayor's Building Committee meetings and City Council

⁹⁰ Bennett April 7, 2010 Affidavit at ¶ 99.

⁹¹ Bennett April 7, 2010 Affidavit at ¶ 100.

⁹² Bennett April 7, 2010 Affidavit at ¶ 101.

⁹³ Bennett April 7, 2010 Affidavit at ¶ 102.

⁹⁴ Bennett April 7, 2010 Affidavit at ¶ 103.

⁹⁵ Bennett April 7, 2010 Affidavit at ¶ 103.

⁹⁶ Bennett April 7, 2010 Affidavit at ¶ 104.

⁹⁷ Bennett April 7, 2010 Affidavit at ¶ 105.

workshops.⁹⁸ All general condition items were itemized and the backup provided to the City monthly.⁹⁹ No question as to what constituted general conditions was raised by the City during the Project period.¹⁰⁰

Once Petra's work on the Project was accepted and the Certificate of Substantial Completion and the Temporary Occupancy Permit were issued, Petra's duties under the Construction Management Agreement were concluded, except administering change orders for additions by the City to the scope of the Project, supervising completion of Punch List items, and payment by the City of the retentions it has withheld from various contractors.¹⁰¹ These certifications bar Meridian's belated and contradictory claims that Petra failed to do its job properly. *E.G. Schafer Construction Co. v. Gallagher Transfer and Storage Co.*, 495 So. 2d 348 (La. Ct. App. 1986)(Owner who had signed certificates that construction was complete supported finding that construction company had completed work on the warehouse and that contractor's work was not defective). *See also, Black v. Peter Kiewitt Sons Co.*, 94 Idaho 755, 497 P.2d 1056 (1972)(Where work of contractor is completed and accepted by owner, responsibility for property and any defects shifts to the owner and contractor properly dismissed as party defendant upon summary judgment). *See also, Jones v. P.S. Development Co.*, 166 Cal. App. 4th 707, 82 Cal. Rptr. 3d 882 (Cal. Ct. App. 2008)(By acceptance and subsequent use, the owner assumes to the world the sufficiency and safety of the project and contractor properly dismissed upon

⁹⁸ Bennett April 7, 2010 Affidavit at ¶ 106.

⁹⁹ Bennett April 7, 2010 Affidavit at ¶ 107.

¹⁰⁰ Bennett April 7, 2010 Affidavit at ¶ 107.

¹⁰¹ Construction Management Agreement at paragraph 4; Bennett April 7, 2010 Affidavit at ¶ 108.

summary judgment); *Evans v. Buffington Harbor River Boats*, 799 N.E. 2d 1103 (Ind. Ct. App. 2004)(Construction manager properly dismissed upon summary judgment where work had been accepted as complete by owner); *Sanchez v. Swinerton & Walberg Co.*, 47 Cal. App. 4th 1461, 55 Cal. Rptr. 2d 415 (Cal. App. 2nd Dist. 1996)(Contractor dismissed as party upon summary judgment where project had been completed and accepted by owner; where alleged defect was patent and thus liability passed to owner).

4.6 Petra did not misrepresent the cost of the Project, the schedule of the Project, or the compliance or non-compliance of Prime Contractors.

Even considering some of the testimony offered in the Baird Affidavit, there is no evidence that Petra misrepresented the cost of the Project (see section 3.1 above), the schedule of the Project (Paragraph 7 of the Construction Management Agreement with provides for “an equitable adjustment in the Schedule of Performance. . .” if there was a significant change to the Project, including, but not limited to size, quality, complexity.). In addition, with regard to scheduling the Project was delayed for months because of the discovery of contaminated soils and materials on the site. These problems were not discovered until after the Construction Management Agreement was signed on or about August 1, 2006.¹⁰²

At all times during the course of the regularly conducted meetings between Petra and City personnel, including the Mayor’s Building Committee meetings and City Council Meetings, Petra kept the City informed regarding the schedule slippage due to contaminated soil.¹⁰³ With respect to the masonry contractor, TMC, Inc., Petra informed the City that the masonry

¹⁰² Bennett April 7, 2010 Affidavit at ¶ 112.

¹⁰³ Bennett April 7, 2010 Affidavit at ¶ 113.

contractor would substantially complete its work by August 28, 2008, which included all Change Order work. And further, that in order to meet the occupancy date of October 15, 2008, the masonry contractor had to complete the exterior masonry by the spring of 2008 which TMC fulfilled. This was in spite of having to work through winter conditions due to the contaminated soil.¹⁰⁴

Petra fully informed Meridian of all changes during weekly, bi-weekly and monthly status meetings held throughout the Project and Meridian approved all changes.¹⁰⁵ First, Meridian's "we didn't know" claims are completely refuted by the written reports, minutes, voice recordings, budgets, bids and other documents that were exchanged between Petra and Meridian on a weekly, bi-weekly (every other Monday morning) and monthly (the first Tuesday of every month) basis.¹⁰⁶ It is undisputed that Meridian received and approved all budgets and bids and that it awarded and entered into contracts with each of the manufacturers, vendors, contractors and subcontractors who provided labor and/or materials to the Project.¹⁰⁷ Notably, the changes to the Project design and budget were reviewed by Meridian's employees and agents numerous times during the Mayor's Building Committee meetings.¹⁰⁸ The Mayor and at least one City Council member, usually Keith Bird, were present during these meetings with representatives of Petra. Mr. Watts was also present.¹⁰⁹ The design and the budget for the

¹⁰⁴ Bennett April 7, 2010 Affidavit at ¶ 114.

¹⁰⁵ Bennett April 7, 2010 Affidavit at ¶ 115.

¹⁰⁶ Bennett April 7, 2010 Affidavit at ¶ 116.

¹⁰⁷ Bennett April 7, 2010 Affidavit at ¶ 117.

¹⁰⁸ Bennett April 7, 2010 Affidavit at ¶ 118.

¹⁰⁹ Bennett April 7, 2010 Affidavit at ¶¶ 116 and 118.

Project were also reviewed during the monthly City Council Meetings.¹¹⁰ Meridian consistently directed Petra and Lombard-Conrad to proceed with the design and budget as reviewed and approved.¹¹¹

Given the numerous meetings of the Mayor's Building Committee as well as the City Council Meetings dealing with the Project details that took place throughout the Project period, Meridian cannot now claim that it was unaware of and did not approve the Project changes. In fact, change orders submitted by contractors and vendors were routinely authorized by the City for the numerous changes it ordered. *Harrington v. McCarthy*, 91 Idaho 307, 420 P.2d 790 (1966)(Where owner authorized and requested changes in building plans which were followed by contractor, contractor entitled to additional compensation for changes and owner was estopped to rely on provision in contract that changes must be in writing). Likewise, Petra submitted Change Order No.1 for identification, classification and removal of the contaminated soils found on the site in the amount of \$422,000, plus a Construction Manager's fee of \$19,834, i.e., 4.7% of the amount of the \$422,000 and other reimbursables.¹¹² Petra also submitted Change Order No. 2 for the extra work performed and reimbursable expenses incurred as a result of the Project's increased size, quality, complexity, schedule, budget and procurement methods.¹¹³

¹¹⁰ Bennett April 7, 2010 Affidavit at ¶ 119.

¹¹¹ Bennett April 7, 2010 Affidavit at ¶ 120.

¹¹² Bennett April 7, 2010 Affidavit at ¶ 122. See also Change Order No 1 (Bates No. CM002712 – CM002722) attached to Bennett April 7, 2010 Affidavit as Exhibit Y.

¹¹³ Bennett April 7, 2010 Affidavit at ¶ 123; see also Exhibit A to the Affidavit of Jerald S. Frank for revised Change Order No. 2.

4.7 Petra acted with honesty in its dealings with the City.

As evidenced by the foregoing, Petra acted with forthrightness and honesty in its dealings with the City. Although immaterial errors in work or documentation may have occurred during the course of the Project, such errors can, and usually do, occur in a complex \$21+ million project. The Construction Management Agreement addressed this possibility in paragraph 2.1.4 as follows:

Construction Manager shall prepare all documents and provide all services required under this Agreement in such a manner that increases in Project costs resulting from Construction Manager's errors or omissions do not exceed one percent (1%) of the total construction price of the Project

Thus, Petra's errors and omissions would have to result in increased costs to the City exceeding \$215,134 before Petra violated the terms and conditions of the Construction Management Agreement. As noted below, there is no evidence that the City suffered any damage because of anything that Petra did or failed to do.

4.8 Meridian was not damaged by anything Petra did or failed to do.

Under Idaho law, an essential element of claims for breach of contract, negligence or fraud is actual loss or damages. *Molyneux v. Twin Falls Canal Co.*, 54 Idaho 619, 35 P.2d 651 (1934) (finding contractor suing for breach of construction contract has burden of proving extent of damages and elements reasonably necessary to establish lost profits); *Dunn v. Ward*, 105 Idaho 354, 670 P.2d 59 (Ct.App. 1983) (finding that because plaintiff failed to provide evidence showing any loss of business, loss of customers or loss of profit attributable to defendant's breach it was proper for the trial court to enter judgment to defendant); *see also* JAMES ACRET,

CONSTRUCTION LITIGATION HANDBOOK, SECOND EDITION, VOLUME I, § 11:1 (The function of an award of damages for breach of contract is to put the promisee in the same position that it would have occupied if the promisor had performed the contract.) Pursuant to the Construction Management Agreement, Meridian had one year from the date of possession of October 15, 2008 to raise these warranty claims with the proper manufacturers, vendors and contractors.¹¹⁴ Petra's management understands that the City has provided written warranty claims to various manufacturers, vendors and contractors.¹¹⁵ So even assuming Meridian could prove that Petra did not discharge its quality assurance responsibilities, and that correction of any alleged defect was Petra's responsibility, nonetheless, Meridian will not suffer any actual loss.¹¹⁶ Without actual loss or damages, there can be no viable claim for breach of contract, negligence or fraud under Idaho law.

Meridian's claims of breach of contract, negligence and fraud are also precluded because the damages do not amount to 1% of the cost of the Project as required by the express terms of the Construction Management Agreement.¹¹⁷ See paragraph 4.7 above for additional information on this issue.

¹¹⁴ Bennett April 7, 2010 Affidavit at ¶ 125.

¹¹⁵ Bennett April 7, 2010 Affidavit at ¶ 126.

¹¹⁶ Bennett April 7, 2010 Affidavit at ¶ 127.

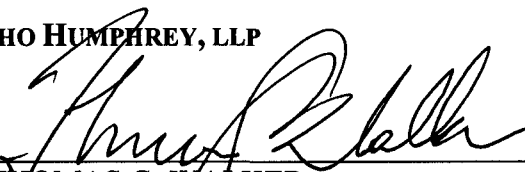
¹¹⁷ Bennett April 7, 2010 Affidavit at ¶ 128.

5. CONCLUSION

Petra respectfully requests that this Court deny the Meridian's Motion for Leave to Amend and to Add Claim for Punitive Damages.

COSHO HUMPHREY, LLP

DATED: April 12, 2010.

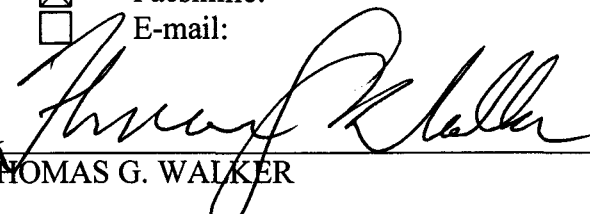
By: 
THOMAS G. WALKER
Attorneys for Defendant/Counterclaimant

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on the 12th day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile:
- E-mail:


THOMAS G. WALKER

ORIGINAL

NO. _____
A.M. _____ FILED P.M. 3:33

APR 15 2010

J. DAVID NAVARRO, Clerk
By J. RANDALL
DEPUTY

Thomas G. Walker (ISB No. 1856)
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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF

THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

PETRA'S NOTICE OF CLERICAL ERRATA RE: SUBSTITUTE MEMORANDUM

Defendant, Petra Incorporated ("Petra"), by and through its attorneys of record notifies the Court and counsel for the City of Meridian of the following clerical corrections and supplementations to footnote references contained in its Substitute Memorandum in Opposition to Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages.

1. FN 34: should Reference Exhibit H instead of I for the February Budget Financial Report (CM073870-073871). Also the February 12, 2008 Meridian City Council Special Workshop Meeting Bates Nos. CM081230-81238 should reference Exhibit U.

2. FN 40: reference to Bates Nos. 60868-60933 should be Petra 69016-60917 and Petra Bates No. 91461 should read 91561.

3. FN 51: Petra Bates Nos. 94208-209 should reference CM073870-CM073871 and the correct date for the Meridian City Council Special Workshop Meeting is February 12, 2008 (Exhibit U).

4. FN 112: Reference to Exhibit Y should be Exhibit Z.

5. P. 13, L.11: Reference to October 2007 should be October 2008.

6. P. 16: The last sentence of paragraph two, should correctly read. "Also germane to this issue are paragraphs 3.2.3 and 4.4.2 of the Construction Management Agreement that provide:"

DATED: April 15, 2010.

COSHO HUMPHREY, LLP

By: 

THOMAS G. WALKER

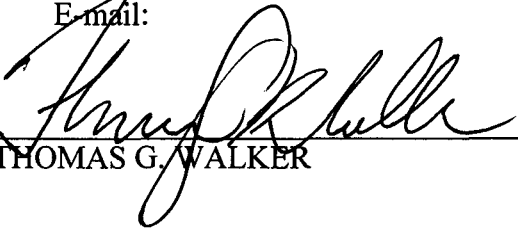
Attorneys for Defendant/Counterclaimant, Petra
Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 15th day of April, 2010, a true and correct copy of the
within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
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- Overnight Courier
- Facsimile: 331-1529
- E-mail:



THOMAS G. WALKER

NO. _____ FILED _____
A.M. _____ P.M. _____

APR 15 2010

J. DAVID NAVARRO, Clerk
By CARLY LATIMORE
DEPUTY

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Attorneys for Plaintiff

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-7257

PLAINTIFF'S MEMORANDUM IN
OPPOSITION TO DEFENDANT'S
MOTION TO STRIKE THE AFFIDAVIT
OF THEODORE W. BAIRD, JR.

Plaintiff, the City of Meridian, ("the City") by and through its counsel of record, Trout Jones Gledhill Fuhrman Gourley, P.A., hereby submits this Memorandum In Opposition to Defendant's Motion to Strike the Affidavit of Theodore W. Baird, Jr.

ARGUMENT

The City has moved for leave to amend its complaint and to add a claim for punitive damages pursuant to Idaho Code § 6-1604, and has supported that motion with the Affidavit of Theodore W. Baird, Jr. ("Baird Affidavit") and attached exhibits. The Defendant, Petra, Incorporated ("Petra"), has responded by filing a motion and lodging an associated memorandum seeking to strike the Baird Affidavit, including its attached exhibits. In its memorandum, Petra asserts that the Baird Affidavit should be stricken as being untimely and as containing only

inadmissible evidence. For the reasons set forth below, Petra's assertions are without merit, and Petra's motion to strike should accordingly be denied.

A. The City's Motion to Amend was timely because it was filed 154 days prior to trial, and a motion for leave to amend stands in the place of an amended pleading for the purposes of timeliness.

Petra offers two arguments with respect to timeliness. The first argument concerns the timeliness of the City's underlying motion to amend, and the second argument concerns the timeliness of the Baird Affidavit offered in support of that motion. Concerning the motion to amend, Petra points to the wording of the Order Setting Proceedings and Trial, stating in § 7 that "[t]he last day to file amendments to any pleading, or to join any additional parties, shall be 154 days prior to trial." *Order Setting Proceedings and Trial*, at 2. Petra concedes that the City's motion was filed 154 days prior to the September 1, 2010 trial date, but contends that the motion was nevertheless untimely because it was for leave to amend a pleading, rather than being an amended pleading itself. Petra asserts that "[i]n order to be in compliance with the Order, the City was required to file its motion for leave to amend so that it could be heard prior to March 31, 2010, so that if its motion was granted, the Amended Complaint could be filed on or before March 31, 2010. In the event the Court grants the motion for leave to amend, the amended complaint cannot be filed within the time limits contained in the Order." *Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr.*, at 3.

The first difficulty with Petra's argument is that its narrow reading of the Court's scheduling order clashes with the civil rules' broad policy concerning motions to amend, in which, "[i]n the interest of justice, district courts should favor liberal grants of leave to amend a complaint." *Carl H. Christensen Family Trust v. Christensen*, 133 Idaho 866, 871, 993 P.2d 1197, 1202 (1999) (quoting *Hines v. Hines*, 129 Idaho 847, 853, 934 P.2d 20, 26 (1997)). "The twin purposes behind the rule are to

allow claims to be determined on the merits rather than on technicalities, and to make pleadings serve the limited role of providing notice of the nature of the claim and the facts at issue.” *Id.*

The second difficulty with Petra’s argument is that the rule it proposes – that an amended pleading is not deemed filed for timeliness purposes until it is submitted as a separate document after a formal grant of leave by the court – does not actually exist. Indeed, the firmly established rule is the exact opposite of that which Petra suggests. “[T]he settled rule in both federal and state court is that a complaint is deemed filed as of the time it is submitted to a court together with a request for leave to file the amended pleading.” *Buller Trucking Co. v Owner Operator Independent Driver Risk Retention Group, Inc.*, 461 F.Supp.2d 768, 776-77 (S.D. Ill. 2006). Once filed, “the motion to amend stands in place of the actual amended complaint while the motion is under review by the court.” *Frazier v East Tenn. Baptist Hospital, Inc.*, 55 S.W.3d 925 (Tenn. 2001). The timeliness of an amendment to the pleadings is based on the date the motion to amend was filed – without regard to the date on which the trial court actually ruled on the motion or on which the amended pleading itself was submitted after obtaining leave from the court. *Nett v Bellucci*, 774 N.E.2d 130, 138-39 (Mass. 2002). This is necessarily so because:

While the plaintiff has unilateral control over when [the motion to amend] is filed, the plaintiff has no way of controlling or even predicting the time at which any permission to amend will be granted, and thus no ability to control the date on which the amended complaint itself may be filed. It may take only a matter of days before the motion is allowed and the [amended] complaint can be filed, but it may be a matter of weeks, or even months, depending on a host of factors, all of which are outside the plaintiff’s control.

Id. at 136. If, as Petra proposes, the timeliness of a motion to amend were based on a date following the court’s order granting the motion rather than when the party files the motion and proposed amended pleading, the amending party would be left with uncertainty as to whether its motion was timely filed. *Id.*; *The Children’s Store v Cody Enterprises, Inc.*, 580 A.2d 1206, 1210 (Vt. 1990). The practical effect would be an unpredictable reduction in the available time to file, with the amending

party compelled to file well in advance of the date set in the scheduling order, “and simply hope that the court’s ruling would be sufficiently prompt.” *See Nett*, 774 N.E.2d at 136.

Applying the established rule to the present case, the City’s timely filing of its motion to amend (along with the proposed amended complaint) permits the motion to amend to stand in place of the amended complaint itself while the motion is under review by the court. The City had control over the date it filed the motion to amend, but it cannot control the timing of the court’s subsequent ruling on the motion. Accordingly, the City’s filing of its motion to amend and proposed amended complaint 154 days prior to trial was timely.

B. The timing of the Baird Affidavit did not prejudice Petra’s ability to prepare and present its defense, and therefore does not provide a valid basis for Petra’s motion to strike.

Petra’s second argument with respect to timeliness takes issue with the City having served the Baird Affidavit one day following the filing of the motion to amend. Petra asserts that the Baird Affidavit should be stricken in light of that portion of Idaho Rule of Civil Procedure 7(b)(3)(B) which states that “[w]hen a motion is supported by affidavits(s), [sic] the affidavit(s) shall be served with the motion. . . .”

Notably, however, Petra has failed to show, or even argue, that it was prejudiced by receiving the Baird Affidavit with the City’s supporting memorandum on April 1, 2010, rather than receiving it the prior day with the motion to amend. Idaho’s civil rules concerning the time requirements for the filing and service of motions are not jurisdictional. *In re Estate of Keen*, 126 Idaho 290, 296, 882 P.2d 457, 463 (Ct.App. 1994). “[T]he purpose of such rules is to provide sufficient notice of issues to be addressed and relief sought so that the opposing party may adequately prepare and present its position.” *Id.* They do not serve to as refuge “for a party who has no substantive defense to the motion and who was not prejudiced by the inadequate notice.” *Id.* This principle was recently reaffirmed by the Idaho Supreme Court in *Houston v Whittier*, 147 Idaho 900, 904, 216 P.3d 1272, 1276 (2009), where it upheld a trial court ruling declining a strike a late-

filed reply memorandum. The Court observed that the “Defendant has not argued any prejudice from the late service of the memorandum. ‘The court of every stage of the proceeding must disregard any error of defect in the proceeding which does not affect the substantial rights of the parties.’ I.R.C.P. 61. Absent any prejudice, we need not address whether the district court abused its discretion in refusing to strike the reply memorandum on the ground that it was served one day late.” *Id.*; see also *Vendelin v Costco Wholesale Corp.*, 140 Idaho 416, 426, 95 P.3d 34, 44 (2004).

In the present case, Petra has neither shown nor claimed any prejudice in its ability to adequately prepare and present its defense as a result of receiving the Baird affidavit separately from the City’s motion to amend, one day later. Absent such a showing of prejudice affecting Petra’s substantial rights, Petra’s timeliness argument does not support its motion to strike. See *Houston*, 147 Idaho at 904, 216 P.3d at 1276; *Vendelin*, 140 Idaho at 426, 95 P.3d at 44; *Keeven*, 126 Idaho at 296, 882 P.2d at 463.

C. Affidavits filed in support of a motion to amend are not required to meet the Idaho Rules of Evidence standards for admissibility at trial.

Petra next asserts that the Baird affidavit should be stricken as containing evidence that would not be admissible at trial. Petra is incorrect in its contentions regarding the application of the rules of evidence, but before going further it must first be pointed out that under Idaho law an affidavit in support of a motion to amend is not required to meet the standards of admissibility provided by the Idaho Rules of Evidence.

Petra points to the language from Idaho Rule of Civil Procedure 7(b)(3)(B) providing that “[w]hen a motion is supported by affidavits(s) [sic] they shall be served with the motion,” and contends that the contents of those affidavits must be stricken unless they would be admissible at trial. No published decision in Idaho has considered this question with respect to motions to amend, but the Idaho Supreme Court has considered this question with respect to motions for a new trial.

In *Obendorf v Terra Hug Spray Co, Inc.*, 145 Idaho 892, 900, 188 P.3d 834, 842 (2008), the Court upheld a district court ruling declining to strike an affidavit offered in support of a motion for a new trial which had been challenged as being inadmissible under the Idaho Rules of Evidence as hearsay and as lacking foundation. Reviewing the ruling below, the Idaho Supreme Court interpreted the language in Idaho Rule of Civil Procedure 59(c), which, similarly to that in Rule 7(b)(3)(B), provides that “[w]hen a motion for a new trial is based upon affidavits they shall be served with the motion.” *Id.* (quoting I.R.C.P. 59(c)). The Court observed that “[t]he rule does not prescribe the contents of affidavits filed in support of, or opposition to, motions for new trial,” and concluded that “an affidavit filed in connection with a motion for new trial need not meet the standards of admissibility prescribed by the Idaho Rules of Evidence.” *Id.* at 900-01, 188 P.3d at 842-43 (emphasis added). Any evidentiary deficiencies, held the Court, could be considered by the district court as going to the weight accorded to the affidavits, but would not provide grounds for a motion to strike. *See id.* at 901 n.5, 188 P.3d at 843 n.5.

The reasoning behind the Idaho Supreme Court’s rule is even stronger when applied to affidavits filed in support of a motion to amend. Idaho courts observe a liberal standard with respect to motions to amend, *Christensen*, 133 Idaho at 871, 933 P.2d at 1202, and a motion to amend comes earlier in the adjudicative process than a motion for a new trial such as that at issue in *Obendorf*. As a result, Idaho Supreme Court precedent suggests that admissibility at trial is not a requirement of an affidavit filed in support of a motion to amend.

D. The contents of the Baird Affidavit are not hearsay.

Even if the Idaho Rules of Evidence provided grounds on which to strike an affidavit filed in support of a motion to amend, Petra has failed to articulate a valid evidentiary challenge to the Baird Affidavit. Petra’s arguments are discussed below.

Petra's primary argument is that the attachments to the Baird Affidavit should be stricken as inadmissible hearsay because they consist of out-of-court statements that the City is introducing to prove the truth of the matters asserted. Gliding swiftly past the question of whether the challenged documents are in fact hearsay, Petra further claims that they are not covered under the Business Records Exception to the Hearsay Rule, since in Petra's view that exception is only available to the person or business that made the record. Petra maintains that the documents in question were created by Petra, and that consequently only Petra can make use of the Business Records Exception with respect to those documents.

The question of exceptions to the hearsay rule, however, can be left aside for the moment because the statements in question are not hearsay. "The first step in a court's analysis of alleged hearsay testimony is to determine if the testimony is, in fact, hearsay." *State v Woodbury*, 127, Idaho 757, 759, 905 P.2d 1066, 1068 (Ct.App. 1995). If a statement is non-hearsay, it "need not be shown to meet any exception to hearsay rule." *Id.*

There is more than one reason that the challenged documents are not hearsay, but the first and most straightforward is that since Petra created these documents they constitute Admissions of a Party-Opponent under I.R.E. 801(d)(2) and are therefore non-hearsay pursuant to that rule. The rule states as follows:

(d) Statements which are not hearsay. A statement is not hearsay if –

(2) Admission by party-opponent. The statement is offered against a party and is (A) the party's own statement, in either an individual or a representative capacity, or (B) a statement of which the party has manifested an adoption or belief in its truth, or (C) a statement by a person authorized by a party to make a statement concerning the subject, or (D) a statement by a party's agent or servant concerning a matter within the scope of the agency or employment of the servant or agent, made during the existence of the relationship, or (E) a statement by a co-conspirator of a party during the course and in furtherance of the conspiracy.

I.R.E. 801(d)(2).

Discussing I.R.E. 801(d)(2), the Idaho Supreme Court has observed that “[t]he out-of-court statements of parties to litigation are, and always have been, admissible,” and the rule in Idaho, as under the corresponding federal rule, is that statements made by a party do not require the application of a hearsay exception because such statements are “not hearsay.” *Jolley v Clay*, 103 Idaho 171, 175, 646 P.2d 413, 417 (1982); *State v Hernandez*, 120 Idaho 653, 656, 818 P.2d 768, 771 (Ct.App. 1991) (“Idaho Rule of Evidence 801(d)(2) provides that a statement is not hearsay if it is offered against a party and is his own statement”). “A party can hardly object that he had no opportunity to cross-examine himself or that he is unworthy of credence save when speaking under sanction of oath.” Roger C. Park, et al., *Evidence Law*, § 7.07, p. 274 (2nd ed. 1998) (quoting Edmund M. Morgan, *Basic Problems of Evidence*, p. 231 n.64 (1962)). Although I.R.E. 801(d)(2) refers to “admissions,” its application is quite broad. “It means that any statement by a party, offered by an opponent, overcomes the hearsay hurdle. . . . It does not matter whether the statement was against interest when made. Nor does the statement have to be made based upon personal knowledge.” Park, *Evidence Law, supra*, at 275 (discussing the Federal Rule). “That term [admissions] does not merely refer to inculpatory statements by a party that he committed the act in question. Instead, admissions refers to ‘words, oral or written, or conduct of a party or his representative offered in evidence against him.’” *Hernandez*, 120 Idaho at 656, 818 P.2d at 771 (citing to E. Cleary, *McCormick on Evidence*, p. 776 (3rd. ed. 1984)).

In consequence of this rule, Petra is not entitled to have its own statements excluded as being inadmissible hearsay. The application of I.R.E. 801(d)(2) renders further discussion of the hearsay rule unnecessary in this case, but for the purposes of completeness it should be mentioned that the statements in question are also not hearsay because the City is not introducing them to prove the truth of the matter asserted. See *Frank v City of Caldwell*, 99 Idaho 498, 584 P.2d 643

(1978) (“The hearsay rule excludes evidence of out-of-court statements only when offered to prove the truth of the matter asserted”); I.R.E. 801(c) (defining hearsay).

The principle is illustrated in *State v Awerett*, 142 Idaho 879, 891 n.3, 136 P.3d 350, 362 n.3 (Ct.App. 2006), where Idaho Court of Appeals affirmed the admission of the defendant’s written “recipe” for making methamphetamine when offered by the State. The court noted that the recipe was not hearsay since it was not introduced for the truth of the matter that it asserted, *i.e.*, that that would be a good way to make methamphetamines, but rather to show that the defendant had knowledge of the process involved. *Id.*

That principle applies in the present case as well. For example, Petra objects to Exhibits H and I of the Baird Affidavit, which are billing records that were altered by Petra to conceal that it was improperly billing the City for errors by Petra’s own superintendent. As explained in Paragraphs 5(e) and 5(f) of the Baird Affidavit, Exhibits H and I are being offered by the City to demonstrate that Petra violated its fiduciary position of trust of by improperly altering the billing records. Petra objects to the exhibits, arguing that they are being introduced to prove the truth of the matter asserted. The documents, however, are not being introduced to prove the truth of the matters actually asserted in the billings, *i.e.*, the billing amounts, hours worked, and so forth, but rather, by comparing the two, to demonstrate Petra’s improper alteration of those records.

Similarly, Petra objects to Exhibit C of the Baird Affidavit, which is a copy of an Application and Certificate for Payment which Petra presented to the City when seeking a progress payment. As explained in Paragraph 5(c) of the Baird Affidavit, the document in question is being introduced by the City because in it Petra falsely represented that it had complied with its duties during the Development Strategies Phase of the Construction Management Agreement, including its obligation to provide its analysis of the City’s “Owner’s Criteria” and then obtain written approval from both the City and the City’s architect on the substance of the report. Petra now asserts that Exhibit C is

being introduced to prove the truth of the matter asserted, but no, the matter actually asserted in Exhibit C is that Petra in fact complied with its obligations. The City is introducing it to demonstrate a very different proposition: that Petra represented to have complied with those obligations, even though that representation was false.

Finally, even if the contents of the Baird Affidavit were hearsay, there remain exceptions that would apply. This includes not only the business records exception, I.R.E. 803(6), as already noted, but also the Public Records and Reports exception that attaches to the “records, reports, statements, or data compilations in any form of a public office or agency setting forth its regularly conducted and regularly recorded activities, or matters observed pursuant to duty imposed by law and as to which there was a duty to report[.]” I.R.E. 803(8). Since here the documents at issue include submissions made to the City during the course of performance on a public works project for which the City was required by law to retain records and reports, those documents consist of public records that are outside the hearsay rule pursuant to I.R.E. 803(8).

E. Petra’s assorted specific objections to the contents of the Baird Affidavit are without merit.

In Petra’s brief in support of its motion to strike, Petra sets forth a series of specific objections to the contents of the Baird Affidavit. Each of Petra’s arguments are addressed below.

■ **Paragraph 5(a).**

Paragraph 5(a) of the Baird Affidavit states that:

5. Petra made certain misrepresentations of fact to the City concerning the Project including, but not limited to:

a. That the Maximum Price for the Project was established at \$12.2 Million Dollars in the Construction Management Agreement, however Petra knew that the \$12.2 Million Dollars would be exhausted prior to the tenant improvements. Attached hereto as Exhibit “A” is a true and correct copy of an email the City is in possession of from Pat Kershisnik, a past employee of Petra, which states that Petra knew, before the execution of the Construction Management Agreement, that the \$12.2 Million Dollars would be exhausted before the completion of the core and shell for the building project.

Petra begins by objecting to the first portion of the paragraph, in which Mr. Baird states that “Petra made certain misrepresentations to the City concerning the Project, including but not limited to:” Petra asserts that it is “inadmissible because it lacks foundation and personal knowledge.” *Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr.*, at 8.

Contrary to Petra’s assertion, however, Mr. Baird established that he is and was Assistant City Attorney for the City of Meridian, and has obtained personal knowledge of Petra’s (mis)representations to the City as a consequence of his employment with the City. Petra also argues that Mr. Baird’s statement that Petra made “certain misrepresentations of fact to the City” was made without foundation – but of course the foundation for Mr. Baird’s statement regarding Petra’s misrepresentations is set forth at length in the remainder of the paragraph and documented in the attached exhibits. Indeed, that is the very reason Petra is so keen to have those documents stricken.

Next, Petra asserts that “[t]he remaining portion of the paragraph above, including Exhibit ‘A’, is inadmissible hearsay testimony.” *Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr.*, at 8. Leaving aside that the contents of an affidavit in support of a motion to amend does not need to be admissible at trial, Exhibit A is simply not hearsay. Exhibit A is a copy of an e-mail a Petra employee wrote to the City. “[A] statement is not hearsay if it is offered against a party and is his own statement.” *Hernandez*, 120 Idaho at 656, 818 P.2d at 771. Idaho Rule of Evidence 801(d)(2) excludes from the definition of hearsay statements which are “the party’s own statement” or “of which the party has manifested an adoption or belief in its truth” or which were made “by a person authorized by a party to make a statement concerning the subject” or made “by a party’s agent or servant concerning a matter within the scope of the agency or employment of the servant or agent, made during the existence of the relationship.” I.R.E. 801(d)(2). Accordingly, whether the e-mail is viewed as a statement by Petra or as a statement by Petra’s agent and

employee, it is not hearsay when offered by the City. Petra's objections to Paragraph 5(a) are accordingly without merit.

■ **Paragraph 5(b)**

Paragraph 5(b) of the Baird Affidavit states that:

b. Attached hereto as **Exhibit "B"** is a true and correct copy of the applicable portion of the deposition transcript of Jerry Frank, the President of Petra Incorporated, wherein he testifies that he never believed there to be a maximum price for the project, and that Petra always treated the project as a cost plus a fee project;

Petra objects to Paragraph 5(b) of the Baird Affidavit, claiming that "[t]his testimony mischaracterizes and misrepresents Mr. Frank's testimony." *Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr.*, at 10. More specifically, Petra objects to the inclusion of Mr. Frank's deposition in which he testified that the construction management agreement, in his view, did not provide for a maximum price. Petra's argument is that Mr. Frank was testifying only as to the fee and reimbursement provisions of the Construction Management Agreement, "and not how the cost of the project was determined." *Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr.*, at 11.

Contrary to Petra's argument, however, Mr. Baird's statement and the text of Exhibit B are in agreement that Mr. Frank testified to his belief that the Construction Management Agreement provided that it was a cost plus a fee project, rather than one providing for a maximum price. More significantly for the purposes of the motion before the Court, Petra's argument about how Mr. Frank's testimony might best be characterized goes entirely to weight rather than to admissibility. Petra has not articulated any argument with respect to Paragraph 5(b) or Exhibit B of the Baird Affidavit which, even if it were valid, would be relevant to a motion to strike.

■ **Paragraph 5(c)**

Paragraph 5(c) of the Baird Affidavit states:

c. That Petra represented it would conform its conduct to the requirements of the Agreement but acted in a manner that was inconsistent with its representation. As an example, pursuant to the Construction Management Agreement, Petra agreed to prepare a written report to be presented to the City in which it was required to provide its analysis of the City's "Owner's Criteria" and thereafter obtain written approval from both the City and LCA Architects, the City's architect, on the substance of the report. Petra not only never prepared the report, but it represented to the City in March 2007 in Application and Certificate for Payment No. 005, that it had fully complied with all of its duties contained in the Development Strategies Phase of the Construction Management Agreement, including the preparation of the report and the obtaining of the written agreement regarding its substance, and sought and received payment from the City based upon that false representation. Attached hereto as Exhibit "C" and fully incorporated herein by this reference are the applicable pages from Application and Certificate for Payment No. 005.

Petra objects to Paragraph 5(c), asserting that "[t]he entire paragraph is inadmissible hearsay and lacks foundation." *Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr.*, at 11. Exhibit C, however, is an "Application and Certificate for Payment" prepared by Petra. As a result, it is an Admission by Party-Opponent and is not hearsay. I.R.E. 801(d)(2). Also, as discussed in greater detail in section "D" above, it is not hearsay because it is not being introduced for the truth of the matter asserted. As for Petra's "foundation" argument, Mr. Baird and the City came into possession of the document because it was submitted by Petra to the City, and also, as set forth in Paragraph 4 of the Baird Affidavit, the exhibits were produced by Petra and again delivered to the City of the course of discovery in this matter.

■ Paragraph 5(d)

Paragraph 5(d) of the Baird Affidavit states:

d. That Petra represented it would conform its conduct to the requirements of the administration of the Prime Contracts but acted in a manner that was inconsistent with its representation. For example, Petra was charged with the contractual duty and responsibility to identify and enforce contract schedule completion dates by each Prime Contractor. With respect to TMC, the Prime Contractor charged with performing the masonry work on the Project, the Prime Contract called for a substantial completion date of December 21, 2007. Attached hereto as Exhibit "D" and fully incorporated herein by this reference is that Prime Contract between the City of Meridian and TMC, Inc. Petra, instead of actually measuring the substantial completion date in accord with the terms of Exhibit "D", arbitrarily and unilaterally sought modification of the substantial completion date to

August 28, 2008, by misrepresenting to the City, in writing, that the actual contractual substantial completion date was August 28, 2008. Attached hereto as **Exhibit Nos. "E", "F" and "G"** are true and correct copies of Contract Change Order Nos. 1, 2, and 3, respectively, for the Prime Contractor, TMC, Inc. In Exhibit Nos. "E", "F", and "G" the Increase/Decrease in calendar days were all "NONE" in each of the Contract Change Orders; however Petra misrepresents the Substantial Completion Date in Exhibit "G" to be August 28, 2008. The City relied on Petra's misrepresentation in approving Exhibit "G," Contract Change Order No. 3 for TMC, Inc., which was represented to be a Change Order that addressed only dollar costs with no additional changes in substance, but which actually modified the contractual date substantial completion.

Petra objects to Paragraph 5(d), claiming that it lacks foundation and is hearsay. The foundation for Mr. Baird's statements is provided in Exhibits D, E, F, and G. Petra does not object to Exhibit D. Exhibits E, F, and G consist of Contract Change Orders produced by Petra, along with documents Petra attached to those Change Orders. Statements by a party-opponent are not hearsay if they are offered against that party. I.R.E. 801(d)(2); *Hernandez*, 120 Idaho at 656, 818 P.2d at 771. Statements to "which the party [against whom it is offered] has manifested an adoption or belief in its truth" are not hearsay. I.R.E. 801(d)(2)(B). Accordingly, both the Contract Change Orders produced by Petra as well as the documents Petra "manifested an adoption or belief in [their] truth" by attaching them to those Change Orders are not hearsay when offered against Petra. Furthermore, Exhibits E, F, and G are not hearsay because they are being introduced to demonstrate Petra's misrepresentations, not to prove the truth of the matters actually asserted on the face of those documents.

■ **Paragraph 5(e)**

Paragraph 5(e) of the Baird Affidavit states:

e. That Petra represented it would act as fiduciary in a position of trust to protect the public funds of the City, but acted in a manner that was inconsistent with its representations. For example, in Pay Request No. 17, for period ending March 31, 2008, Petra presented an invoice dated February 19, 2008 for work performed by Pac-West Interiors on the flooring in the project structure. Attached hereto as **Exhibit "H"** is a true and accurate copy of the invoice received from Petra by the City during the course of the Project. Attached hereto as **Exhibit "I"** is a true and accurate copy of the invoice produced by Petra during the course of discovery in this

matter. Exhibit "I" demonstrates that Petra charged the City for the errors of its own superintendent. Petra's superintendant established a floor elevation location that was in error. Once the elevation error was discovered, Pac-West correctly billed Petra for the error as extra work, which was outside the scope of its contract. Petra submitted Exhibit "H" to the City for payment, without the hand writing contained on Exhibit "I", which evidences Petra's error. The City paid the additional Pac-West, Inc. charges based upon the false representation of Petra.

Petra objects to Paragraph 5(e), asserting that it lacks foundation and is hearsay. Mr. Baird, however, established in his affidavit that he is an employee of the City, and the City received Exhibit H from Petra over the course of the Project, and Exhibit I during discovery. Exhibit H is an admission by a party-opponent and thus not hearsay because Petra presented it to the City as part of its billings, and thus "manifested and adopted a belief in its truth." Additionally, Petra altered the document, making it an admission by a party-opponent. I.R.E. 801(d)(2). It is also non-hearsay because it is being introduced by the City, in conjunction with Exhibit I, to demonstrate that the document was wrongfully altered by Petra, rather than prove the truth of the matter asserted on the face of the billing. Similarly, Exhibit I is not hearsay because it is not being introduced to prove the truth of the matter asserted, but rather to show what the billing record looked like before it was wrongfully altered by Petra.

■ **Paragraph 5(f)**

Paragraph 5(f) of the Baird Affidavit states:

f. That Petra represented it would act with honesty in its dealings with the City but acted in a manner that was inconsistent with its representations, one example is demonstrated by the foregoing invoice, Exhibit Nos. "H" and "I";

Petra objects to Paragraph 5(f) on the same grounds as it objected to Paragraph 5(e). Its objections are meritless for the same reasons as discussed above with respect to Paragraph 5(e).

■ **Paragraph 5(g)**

Paragraph 5(g) of the Baird Affidavit states:

g. That Petra misrepresented the cost of the Project to induce the City to accept bids and move forward with the Project. Attached hereto as **Exhibit "J"** is a true

and correct copy of Deposition Ex. No. 10, taken from the deposition of Gene Bennett, the Project Manager for Petra for the City of Meridian City Hall Project. Mr. Bennett is the holder of the Construction Manager's License used by Petra to qualify to be the Construction Manager on the Project;

Petra objects to Paragraph 5(g), asserting that it lacks foundation and is hearsay. Exhibit J, however, is not hearsay, and provides the necessary foundation. Exhibit J is a copy of a Project Cost Summary prepared by Petra and presented to the City, showing changes in the projected costs during the period from January 15, 2007, through July 12, 2007. The document demonstrates that Petra repeatedly represented to the City that its construction management fee was fixed at \$574,000 for the entire project, rather than being a floating "cost plus a fee" agreement that grows larger as costs escalate – as Petra now claims it to be. (See the line in Exhibit J for "Construction Management Fee" which remained fixed at \$574,000 even as the "Total Project Costs" – seen on the bottom line – grew with each cost projection).

Furthermore, Exhibit J is not hearsay since it was a report created by Petra and thus constitutes an admission by a party-opponent pursuant to Idaho Rule of Evidence 801(d)(2).

■ Paragraph 6

Paragraph 6 of the Baird Affidavit states that:

6. Petra's representations were false, because Petra had already been accruing costs included in the alleged Change Order No 2 as of July 1, 2006, and as of the date of the cost estimates prior to the Phase II bidding process, Petra knew that the cost of the Project would exceed the \$12.2 Million Dollars Maximum Price for the Project by more than 40%.

Petra objects to Paragraph 6 for lack of foundation. The statement in question, however, draws its foundation from Exhibit 47 (Deposition Exhibit from the *30(b)(6) Deposition of Thomas R. Coughlin*, beginning at Bates No. CM023877) (regarding Change Order No. 2); *see also Affidavit of Jerald S Frank Dated April 7, 2010 in Support of Petra Incorporated's Opposition to Motion For Leave to File First Amended Complaint and Add Claim for Punitive Damages*, Ex. A (also regarding Change Order No. 2) and Exhibit J (documenting Petra's expanding representations of the estimated price of the

project). Mr. Baird has a foundation for stating that Petra “knew” at the time of the Phase II bidding process that the cost of the project would exceed the original projection of \$12.2 million by more than 40% because that is exactly what Petra told the City. Petra’s representation as to what it knew is documented in Exhibit J, Petra’s own Project Cost Summary, which shows Petra’s cost estimate expanding from \$12.2 million to over \$18.1 million dollars at the time of the Phase II bids.

■ Paragraph 7

Paragraph 7 of the Baird Affidavit states that:

7. Petra’s representations were material as the City was relying on Petra for accurate cost estimating. (Emphasis added).

Petra objects to Paragraph 7, asserting that Mr. Baird was asserting a legal conclusion rather than a fact. Mr. Baird, however, established in his affidavit that he is an Assistant City Attorney who has been involved in this matter, and thus he is qualified to make the above statement establishing the fact of the City’s reliance on Petra’s cost estimates.

■ Paragraph 8

Paragraph 8 of the Baird Affidavit states that:

8. Petra intended the City rely upon its representations.

Petra objects to Paragraph 8, arguing that Mr. Baird’s statement was made without knowledge or foundation. Mr. Baird, however, was involved in this matter as Assistant City Attorney and is able to speak from personal knowledge as to the City’s reliance on Petra’s representations.

■ Paragraph 9

Paragraph 9 of the Baird Affidavit states that:

9. At the time of Petra’s representations, the City did not know Petra’s representations were false, as the City had hired Petra for its alleged expertise and had no one on its staff of employees who was skilled in construction management.

Petra objects to Paragraph 9, asserting that it lacks foundation. Specifically, Petra argues that the statement lacks foundation because “Meridian has not offered any admissible evidence from any pertinent City employee involved in this matter who as testified as to why Petra was hired or at to their state of mind during the construction phase.” *Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr.*, at 15. Petra’s objection is curious, because Mr. Baird’s testimony provides precisely what Petra asserts to been lacking: testimony from a City employee involved in the matter regarding why Petra was hired and the City’s state of mind during the construction phase.

■ Paragraph 10

Paragraph 10 of the Baird Affidavit states that:

10. The City relied upon Petra’s representations, which reliance was justifiable and reasonable given Petra’s alleged expertise in construction management, which is why the City utilized a quality based selection process to select a construction manager for the single largest project in the history of the City of Meridian.


Petra objects to Paragraph 10, asserting that the paragraph lacks foundation because, in Petra’s words, “Meridian has not offered any admissible evidence from any City employee involved in this matter who has personal knowledge and who has testified as to any reliance or any selection process.” *Memorandum in Support of Motion to Strike the Affidavit of Theodore W. Baird, Jr.*, at 16. As with Paragraph 9, however, the testimony Petra asserts to be missing is found in the text of the very testimony to which Petra objects.

CONCLUSION

Accordingly, the City respectfully requests that the Court deny the Defendant’s motion to strike the Affidavit of Theodore W. Baird Jr.

DATED this 15th day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦ GOURLEY, P.A.

By: 

Kim J. Trout
Attorney for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 15th day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Suite 790
P.O. Box 9518
Boise, Idaho 83707-9518
Direct Facsimile: (208) 639-5609

Hand Delivered
U.S. Mail
Fax
Email



Kim J. Trout

ORIGINAL

NO. _____ FILED 3:35
A.M. _____ P.M.

APR 16 2010

J. DAVID NAVARRO, Clerk
By CARLY LATIMORE
DEPUTY

Thomas G. Walker (ISB No. 1856)
Mackenzie Whatcott (ISB No. 6774)
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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

PETRA'S NOTICE OF WITHDRAWAL OF ITS MOTION TO STRIKE THE AFFIDAVIT OF THEODORE W. BAIRD, JR. AND NOTICE OF VACATING HEARING ON MOTION TO STRIKE

Petra Incorporated ("Petra"), by and through its attorneys of record, Thomas G. Walker of the firm of Cosho Humphrey, LLP, notifies this Court and counsel for the City of Meridian, that it withdraws its Motion to Strike the Affidavit of Theodore W. Baird, Jr., filed on or about April 5, 2010.

Further, Petra vacates the hearing on its Motion to Strike scheduled for April 22, 2010.

DATED: April 16, 2010.

COSHO HUMPHREY, LLP

By:


THOMAS G. WALKER


Attorneys for Petra Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 16th day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile:
- E-mail:


THOMAS G. WALKER

NO. _____ FILED _____
A.M. _____ P.M. 3:50

APR 16 2010

J. DAVID NAVARRO, Clerk
By A. GARDEN
REPUTY

KIM J. TROUT, ISB #2468
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Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-07257


**SECOND AMENDED NOTICE OF
HEARING**

TO: THE ABOVE NAMED PARTIES AND THEIR COUNSEL OF RECORD:

PLEASE TAKE NOTICE, that the evidentiary hearing on Plaintiff's Motion for Leave to File First Amended Complaint which was previously scheduled to be heard on the 22nd day of April, 2010, at the hour of 1:30 p.m., has been vacated and is now scheduled to be heard on April 29, 2010, at the hour of 9:00 a.m., or as soon thereafter as the parties may be heard. The hearing is scheduled at the Ada County Courthouse located at 200 W. Front St., Boise, ID 83702.

DATED this 16th day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

By: 

Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 16th day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

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Kim J. Trout

NO. _____ FILED 4:09
A.M. _____ P.M.

APR 19 2010

J. DAVID NAVARRO, Clerk
By J. RANDALL
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Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-7257

**REPLY MEMORANDUM IN SUPPORT
OF PLAINTIFF'S MOTION FOR LEAVE
TO FILE FIRST AMENDED
COMPLAINT AND ADD CLAIM FOR
PUNITIVE DAMAGES PURSUANT TO
IDAHO CODE § 6-1604**

Plaintiff, the City of Meridian ("City"), by and through its above-identified attorneys of record hereby submits the following Reply Memorandum in response to Defendant's Substitute Memorandum in Opposition to Motion for Leave to File First Amended Complaint and Add Claims for Punitive Damages Pursuant to Idaho Code Section 6-1604 and in Support of Plaintiff's Motion for Leave to File Amended Complaint and Add Claim for Punitive Damages Pursuant to Idaho Code § 6-1604.

I. PROCEDURAL HISTORY

On March 31, 2010, the City filed its Motion for Leave to File First Amended Complaint. In

**REPLY MEMORANDUM IN SUPPORT OF PLAINTIFF'S MOTION FOR LEAVE TO FILE FIRST
AMENDED COMPLAINT AND ADD CLAIM FOR PUNITIVE DAMAGES PURSUANT TO IDAHO
CODE § 6-1604 - 1**

002295

summary, the City's proposed Amended Complaint consolidates its previous requests for declaratory judgment (originally filed as Counts One and Two), adds more particularized facts to its breach of contract claim (originally filed as Count Three), and seeks to add the following claims for relief: Breach of the Implied Covenant of Good Faith and Fair Dealing (Count Three); Unjust Enrichment (Count Four); Fraud/Fraud in the Inducement (Count Five) or, alternatively Constructive Fraud (Count Six); Gross Negligence (Count Seven); and Punitive Damages (Count Eight).

On April 12, 2010, the Defendant served its Substitute Memorandum in Opposition to the City's Motion for Leave ("Defendant's Opposition") claiming the City's Motion for Leave should be denied because the City failed to offer "admissible expert testimony to support its allegations in the proposed First Amended Complaint that [Defendant] violated the applicable standard of care," and because the "proposed First Amended Complaint suffers from a lack of required particularity." Def.'s Opp. at p. 2.

II. STANDARD OF REVIEW

The grant or denial of a motion to amend a complaint after a responsive pleading has been served is governed by Rule 15(a) of the Idaho Rules of Civil Procedure which requires that leave be granted "when justice so requires." I.R.C.P. 15(a). The Idaho Supreme Court has directed that a court should liberally grant a motion to amend a complaint, *Iron Eagle Development, LLC v. Quality Design Systems, Inc.*, 138 Idaho 487, 492, 65 P.3d 509, 514 (2003) (citing *Hayward v. Valley Vista Care Corp.*, 136 Idaho 342, 345, 33 P.3d 816, 819 (2001)), noting the purpose behind allowing a party to amend a complaint is so all claims will be decided on their merits and to provide notice of the claim and the facts at issue. *Id.* (citing *Carl H. Christensen Family Trust v. Christensen*, 133 Idaho 866, 871, 993 P.2d 1197, 1202 (1999)).

In determining whether an amended complaint should be allowed, where leave of the court is required under 15(a), the court may consider whether the new claims proposed to be inserted into

the action by the amended complaint state a valid claim. *Maroun v. Wyreless Systems, Inc.*, 141 Idaho 604, 612, 114 P.3d 974, 982 (2005) (citing *Black Canyon Racquetball Club, Inc. v. Idaho First Nat'l Bank N.A.*, 119 Idaho 171, 175, 804 P.2d 900, 904 (1991) (citations omitted)). However, the trial court may not consider the sufficiency of the evidence supporting the claim sought to be added in determining leave to amend because that is more properly determined at the summary judgment stage. *Id.* (citing *Thomas v. Medical Center Physicians, P.A.*, 138 Idaho 200, 210, 61 P.3d 557, 567 (2002)).

III. ARGUMENT

In the instant case, the Defendant generally claims the proposed amended complaint suffers from the required specificity, *see* Opp. at p. 2., but the Defendant does not specifically allege that the proposed amended complaint fails to state a valid claim. Rather, in a 35 page pleading akin to a summary judgment or other dispositive motion, the Defendant argues the “facts” – which are clearly disputed – justify denying the City’s motion. Defendant’s Opposition fails to satisfy its burden in opposing a Motion to Amend and does not justify denial of the City’s Motion.

A. The City’s Motion is Timely and the Defendant Will Not be Prejudiced by the Filing of the Proposed Amended Complaint.

As a preliminary matter, there appears to be no dispute in this case that the City’s Motion, which complies with the Court’s Scheduling Order is timely and that the Defendant will not suffer from any prejudice by the Court granting the City leave to amend. The Defendant’s 35 page Opposition fails to raise either issue as an alleged basis for denying the City’s Motion.

B. The City has Pled Valid Claims in its Proposed Pleadings.

Secondly, while it is clear that the Defendant does not agree with the facts alleged by the City

in support of its Motion,¹ the Defendant does not appear to dispute that the City has pled valid claims for relief in its proposed amended complaint.

1. The City has Properly Pled a Claim for Breach of the Implied Covenant of Good Faith and Fair Dealing.

Idaho law recognizes a cause of action for breach of an implied covenant of good faith and fair dealing. *Cantwell v. City of Boise*, 146 Idaho 127, 191 P.3d 205 (2008) (citing *Jenkins v. Boise Cascade Corp.*, 141 Idaho 233, 242, 108 P.3d 380, 389 (2005)). The covenant requires the parties to perform, in good faith, the obligations required by their agreement. *Fox v. Mountain W. Elec.*, 137 Idaho 703, 710-711, 52 P.3d 848, 855-56 (2002). An action by one party that violates, nullifies or significantly impairs any benefit of the contract violates the covenant. *Id.* In the present case, the City has alleged that Petra failed to provide services required pursuant to the Agreement including, but not limited to, a laundry list of obligations and service responsibilities alleged in paragraph 19 of the proposed First Amended Complaint. Proof on any one or more of the allegations in the list would support this cause of action. The disputed facts, *see* Opp. at pp. 9-25, 30-35, and affirmative defense of estoppel and/or acceptance, *see id.* at pp. 25-30, go to the merits of the claims which cannot be considered on a motion for leave to amend and are, therefore, insufficient to defeat the City's Motion as to the City's proposed Count Three (Breach of the Implied Covenant of Good Faith and Fair Dealing).

2. The City Has Properly Pled Unjust Enrichment.

The Idaho Supreme Court has held that quantum meruit and unjust enrichment are different measures of equitable recovery. *Farrell v. Whiteman*, 146 Idaho 604, 200 P.3d 1153 (2009) (citing

¹ The Defendant's 35 page recitation of its version of the facts should be disregarded. The weighing of evidence is properly before the court only on a dispositive motion and/or at trial. As noted *supra*, Idaho law is clear that the trial court may not consider the sufficiency of evidence supporting the claim sought to be added in determining whether leave to amend should be granted. *Maroun, supra*; *see also Carl H. Christensen Family Trust, supra* at 872, 993 P.2d at 1203 (“[a]s long as the proposed amendment states a valid claim, a court may not consider the sufficiency of the evidence supporting the proposed claim.”)

Great Plains Equip., Inc. v. NW Pipeline Corp., 132 Idaho 754, 767, 979 P.2d 627, 640 (1999)). Unjust enrichment allows recovery where the defendant has received a benefit from the plaintiff that would be inequitable for the defendant to retain without compensating the plaintiff for the value of the benefit. *Id.* Unjust enrichment, or restitution, is the measure of recovery under a contract implied in law. *Gray v. Tri-way Const. Services, Inc.*, 147 Idaho 378, 388, 210 P.3d 63, 74 (2009). A contract implied in law is not a contract at all, but an obligation imposed by law for the purpose of bringing about justice and equity without reference to the intent of the agreement of the parties and, in some cases, in spite of an agreement between the parties. *Fox v. Mountain West Electric, Inc.*, *supra* at 707-708, 52 P.3d at 852-53 (quoting *Continental Forest Products, Inc. v. Chandler Supply Co.*, 95 Idaho 739, 743, 518 P.2d 1201, 1205 (1974)). It is a non-contractual obligation that is to be treated procedurally as if it were a contract, and is often referred to as quasi-contract, unjust enrichment, implied in law contract or restitution. *Id.* In this case, unjust enrichment has been pled because it is possible a trier-of-fact (here, the Court) could find that there was never a meeting of the minds as between these parties and, consequently, no contract. The City has, therefore, pled recovery under a theory of unjust enrichment as an alternative to a remedy under breach of contract.

To state a valid claim for unjust enrichment, the City need only plead that (1) a benefit was conferred upon the Defendant by the City; (2) appreciation by the Defendant of the benefit; and (3) acceptance of the benefit under circumstances that would be inequitable for the Defendant to retain the benefit without payment to the City for the value thereof. *Curtis v. Becker*, 941 P.2d 350, 354, 130 Idaho 378, 382 (Ct. App. 1997). The value of services rendered can be used as evidence of the value of the benefit bestowed under the theory of unjust enrichment. *Blaser v. Cameron*, 121 Idaho 1012, 1017, 829 P.2d 1361, 1366 (Ct. App. 1992). Here, the City pled, *inter alia*, that it paid Defendant for services which were improperly billed and collected by the Defendant. While the Defendant may disagree with the City's allegation, such opposition goes to the merits of the claim which cannot be

considered on a motion for leave to amend and is, therefore, insufficient to defeat the City's Motion as to the proposed Count Four (Unjust Enrichment).

3. The City Has Properly Pled Fraud/Fraud in the Inducement or, Alternatively, Constructive Fraud.

The Idaho Supreme Court recognizes nine elements to any claim for fraud: (1) a statement or a representation of fact; (2) its falsity; (3) its materiality; (4) the speaker's knowledge of its falsity; (5) the speaker's intent that there be reliance; (6) the hearer's ignorance of the falsity of the statement; (7) reliance by the hearer; (8) justifiable reliance; and (9) resultant injury. *Gray v. Tri-Way Construction Services, Inc.*, 147 Idaho 378, 386, 210 P.3d 63, 71 (2009). If a claimant establishes that there has been a breach of duty arising from a relationship of trust and confidence, the plaintiff is not required to prove (1) the speaker's knowledge of the falsity regarding the statement or representation of fact, or (2) the speaker's intent that the listener rely on the statement or representation of fact to sustain a claim of constructive fraud. *Id.* (citing *Country Cove Dev., Inc. v. May*, 143 Idaho 595, 601, 150, P.3d 288, 294 (2006)). Rule 9(b) of the Idaho Rules of Civil Procedure requires all averments of fraud to be stated with particularity.

In this case, the City has pled sufficient allegations to withstand the Defendant's Opposition. The City has pled, with particularity, statements which, if proven, will support its proposed claim for fraud as well as the relationship necessary to support a claim for constructive fraud. While the Defendant obviously disagrees with the City's allegations, it is not for the Court to weigh the evidence at this stage in the litigation. The Defendant's Opposition therefore fails as to the City's proposed claims for fraud and/or constructive fraud.

4. The City Has Properly Pled Gross Negligence.

Idaho Code 6-904C defines gross negligence as the doing or failing to do an act which a reasonable person in a similar situation and of similar responsibility would, with a minimum of

contemplation, be inescapably drawn to recognize his or her duty to do or not do such act and that failing that duty shows deliberate indifference to the harmful consequence of others. I.C. § 6-904C.

Here, the City has pled the Defendant had a fiduciary duty to it, and that the Defendant breached its fiduciary duty by, *inter alia*, misrepresenting the cost of the Project, the schedule of the Project, and the compliance or non-compliance of Prime Contractors with the schedule and the requirements of the Prime Contracts, both before and during construction. *See* Proposed First Am. Compl. at ¶¶ 49-53. These allegations, if proved at trial, clearly establish a deliberate indifference to the Defendant's fiduciary obligations and would support the City's proposed claim. The Defendant does not dispute that the City has failed to properly allege a valid claim. The factual denials of the allegations are not properly taken at this time and cannot support a basis for denying the City's Motion as to Count Seven (Gross Negligence).

5. The City Has Properly Sought Leave to Add a Claim for Punitive Damages.

Idaho Code section 6-1604 concerns punitive damages, and applies to cases such as this where the cause of action accrued after January 1, 2003. That statute requires that in order for a court to allow leave to amend a complaint to add a claim for punitive damages, there must be evidence presented at a hearing which establishes a reasonable likelihood of proving facts that would support a claim for punitive damages at trial. I.C. § 6-1604. Proof of oppressive, fraudulent, malicious, or outrageous conduct must be made by clear and convincing evidence at trial. *Id.* However, at the evidentiary hearing on the motion for leave to amend to add punitive damages, the claimant need only establish a reasonable likelihood that he/she/it will be able to prove sufficient facts at trial.

Here, the Defendant alleges that the record is "devoid of any admissible evidence that support a finding that there is a reasonable likelihood [the City] will be able to prove, by clear and convincing evidence, facts at trial sufficient to support an award for punitive damages." Def.'s

Opp.a t p. 8. The Defendant further alleges that the City has failed to offer “admissible expert testimony” to support its allegations. *Id.* at p. 2. As a preliminary matter, Idaho law does not require expert testimony of deviation from reasonable standards of conduct. *See e.g., Eddins Constr., Inc. v. Bernard*, 119 Idaho 340, 343, 806 P.2d 433, 436 (1991) (stating expert testimony is not necessary, though such testimony may provide some of the substantial evidence that would support submitting the issue of punitive damages to the trial of fact.) Moreover, as noted *supra*, the City’s burden with respect to its request to amend to include a claim for punitive damages arising at the time and place set for evidentiary hearing – not in briefing submitted on its Motion for Leave. Here, the City has scheduled, and Noticed, an evidentiary hearing for April 29, 2010. At the hearing, the City anticipates calling the following witnesses: (1) Ted Baird to testify regarding representations made to the City by the Defendant regarding cost estimates; (2) Keith Watts to testify regarding the Defendant’s pay requests and billing practices; and (3) Steve Amento to testify regarding the Defendant’s contract administration and reasonable standards of conduct. The City is also prepared to call rebuttal witnesses, if necessary.

Given the foregoing, the Defendant’s interpretation of what facts are, and what facts are not, in the record is not sufficient to defeat the City’s pending motion. The City will present the necessary evidence and meet its burden of proof at the time and place of the evidentiary hearing.

IV. CONCLUSION

The City respectfully requests that this Court grant it leave to file its First Amended Complaint modifying Count Two (Breach of Contract) and adding Count Three (Breach of the Implied Covenant of Good Faith and Fair Dealing); Count Four (Unjust Enrichment); Count Five (Fraud/Fraud in the Inducement); Count Six (Alternative to Count Five Constructive Fraud); and Count Seven (Gross Negligence). The Defendant’s improper efforts in asking the Court to weigh evidence and deny the City’s Motion to Amend should be rejected. Idaho law is perfectly clear that

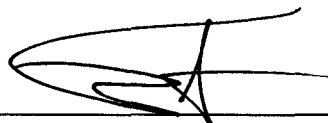
a court may not consider the sufficiency of the evidence supporting the claims sought to be added in determining leave to amend. *Maroun v. Wyreless Systems, Inc., supra*. The Defendant's presentation of disputed facts in its summary judgment-style pleading was absolutely improper in opposing the instant motion. The City has properly alleged valid claims and Idaho law supports the granting of the pending Motion for Leave to Amend with respect the above-identified counts.

With respect to the City's request for leave to add a claim for punitive damages, the City has properly noticed the matter for evidentiary hearing, as required by Idaho Code 6-1604, and is prepared to offer a reasonable likelihood of proving facts at trial which are sufficient to support an award of punitive damages.

DATED this 19th of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦ GOURLEY, P.A.

By:



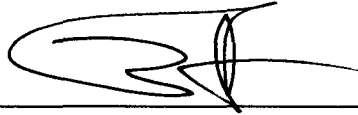
Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 19th day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Suite 790
P.O. Box 9518
Boise, Idaho 83707-9518
Direct Facsimile: (208) 639-5609

Hand Delivered	<input checked="" type="checkbox"/>
U.S. Mail	<input type="checkbox"/>
Fax	<input type="checkbox"/>
Email	<input type="checkbox"/>



Kim J. Trout

ORIGINAL

O. 10:20 FILED
A.M. P.M.

APR 22 2010

J. DAVID NAVARRO, Clerk
By CARLY LATIMORE
DEPUTY

Thomas G. Walker (ISB No. 1856)
Mackenzie Whatcott (ISB No. 6774)
COSHO HUMPHREY, LLP
800 Park Blvd., Suite 790
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Boise, Idaho 83707-9518
Direct Phone: (208) 639-5607
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Direct Facsimile: (208) 639-5609
E-mail: twalker@cosholaw.com; mwhatcott@cosholaw.com

Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

PETRA'S *ex parte* MOTION TO SHORTEN TIME FOR HEARING

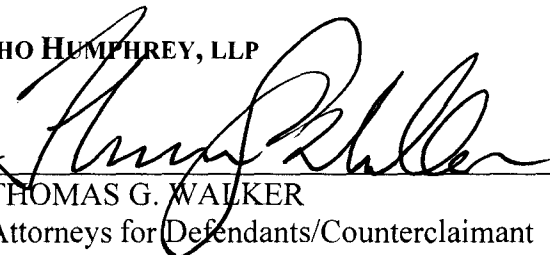
The above-named Defendant, Petra Incorporated ("Petra"), by and through its attorney of record, Thomas G. Walker, of the law firm Cosho Humphrey, LLP moves this Court pursuant to Rule 7(b)(3) of the Idaho Rule of Civil Procedure for an Order shortening the required period for hearing Petra's Motion to Vacate and Reschedule Hearing on the City of Meridian's Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages.

This motion is made because there is insufficient time to give the notice required by Rule 7(b)(3) prior to the telephonic scheduling conference set for Monday, April 26, 2009 at 2:00 p.m.

The undersigned will originate the call to plaintiff's counsel and the court.

DATED: April 22, 2010.

COSHO HUMPHREY, LLP

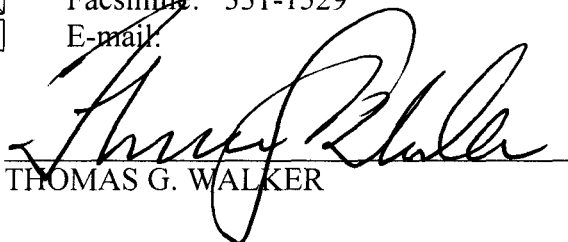
By: 
THOMAS G. WALKER
Attorneys for Defendants/Counterclaimant

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 22nd day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

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- Hand Delivery
- Overnight Courier
- Facsimile: 331-1529
- E-mail.



THOMAS G. WALKER

A.M. 10:20 FILED P.M.

ORIGINAL

APR 22 2010

J. DAVID NAVARRO, Clerk
By CARLY LATIMORE
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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

PETRA'S MOTION TO VACATE AND RESCHEDULE HEARING SET FOR APRIL 29, 2010

Defendant/Counterclaimant, Petra Incorporated ("Petra"), by and through its attorneys of record and pursuant to Rule 7(b) of the Idaho Rules of Civil Procedure, moves this Court to vacate and reschedule the evidentiary hearing on the City of Meridian's Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages, currently set for April 29, 2010

at 9:00 a.m. The hearing should be rescheduled to a date and time convenient to the court and counsel. The undersigned has been informed by the court's clerk that the court has set aside four hours on June 14, 2010, which date and time will be discussed during the telephonic scheduling conference set for 2:00 p.m. on April 26, 2010. This motion is made on the grounds and for the following reasons set forth in the Affidavit of Thomas G. Walker, dated April 22, 2010:

1. Counsel for the City of Meridian ("Meridian") did not give adequate notice to defendant's counsel of the proposed date and time for an evidentiary hearing so as to provide Petra's counsel a reasonable opportunity to prepare Petra's witnesses.

2. Neither Meridian's counsel nor any one from his office contacted Petra's counsel or anyone on his staff to determine whether Petra's counsel or its witnesses would be available on April 29, 2010.

3. Once Petra's counsel became aware of the proposed evidentiary hearing, which did not occur until Monday, April 19, 2010, he contacted the witnesses he would likely call during the evidentiary hearing and determined that not all of them would be available to testify on that date.

4. On April 19, 2010 Petra has engaged Lemley International as its expert witness in this case. Jack K. Lemley and Richard Bauer are the Lemley personnel assigned to this case. These witnesses will not have a reasonable opportunity before April 29, 2010 to review the relevant documents or conduct necessary interviews and other investigations as will be required for them to testify.

5. Petra's counsel then notified Meridian's counsel by email dated April 19, 2010 at 9:21 a.m. that Petra's witness were not available on April 29, 2010. Meridian's counsel did not respond to this email.

6. Prior to the commencement of the continued deposition of Gene Bennett on Wednesday, April 21, 2010, Petra's counsel asked Kim Trout, Meridian's counsel, to reschedule the April 29, 2010 evidentiary hearing. Mr. Trout refused to do so.

7. Upon determining that Mr. Trout would not reschedule the April 29, 2010 evidentiary hearing, Pamela Carson, a Cosho Humphrey, LLP paralegal assigned to this case contacted the court's clerk to determine the court's availability to conduct the evidentiary hearing. Ms. Carson was told that the court had four hours available on June 14, 2010. Ms. Carson asked the court's clerk to hold that date until a telephonic scheduling conference can be held on Monday, April 26, 2010.

Considering the foregoing and the testimony contained in and exhibits attached to the Affidavit of Thomas G. Walker dated April 22, 2010, Petra moves the court to vacate and reschedule the evidentiary hearing set for April 29, 2010.

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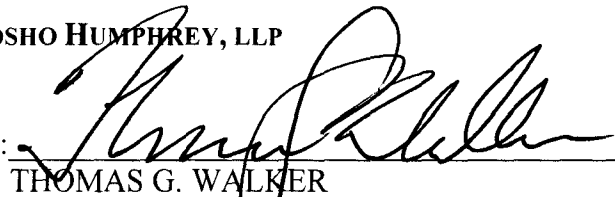
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Oral argument is requested and is currently set for telephonic scheduling conference on Monday, April 26, 2010 at 2:00 p.m. Petra's counsel will initiate the conference call.

DATED: April 22, 2010.

COSHO HUMPHREY, LLP

By:



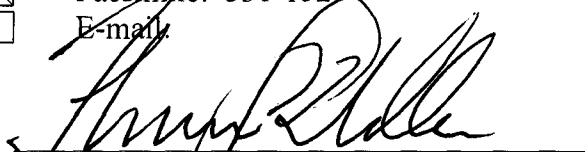
THOMAS G. WALKER
Attorneys for Defendant/Counterclaimant, Petra
Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 22nd day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
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- Overnight Courier
- Facsimile: 331-1529
- E-mail


THOMAS G. WALKER

1. I am the attorney of record for the Defendant/Counterclaimant, Petra Incorporated (“Petra”) in the above entitled action and I make this affidavit based on my own personal knowledge of the facts set forth herein.

2. On Thursday, March 31, 2010, the City of Meridian served its Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages. Meridian also served a Notice of Hearing, scheduling the hearing for Thursday, April 15, 2010. This notice did not state that the hearing would be an evidentiary hearing. See Exhibit A attached hereto.

3. On Thursday, April 7, 2010, Petra filed and served its Memorandum in Opposition to Motion for Leave to File First Amended Complaint with supporting affidavits and exhibits.¹

4. The hearing scheduled for April 15th was then vacated and rescheduled for Thursday, April 22, 2010. Meridian served its Amended Notice of Hearing on Thursday, April 8, 2010. This amended notice did not state that the hearing would be an evidentiary hearing. See Exhibit B attached hereto.

5. On Friday, April 16th, Meridian served its Second Amended Notice of Hearing by fax sent at approximately 3:15 p.m. after I had left the office for the day, resetting the hearing for April 29, 2010. The Second Amended Notice, which I first reviewed on Monday morning, April 26, 2010, set forth for the first time that the hearing would be an evidentiary hearing. See Exhibit C attached hereto.

¹ After Petra’s Memorandum in Opposition to Motion for Leave to File First Amended Complaint was filed, I received the court’s order revising the page limit to 35 pages. Consequently, I sought and received leave to file a Substitute Memorandum in Opposition to Motion for Leave to File First Amended Complaint of not more than 35 pages.

6. Neither Meridian's counsel nor any one from his office contacted me or anyone on my staff to determine whether I was available on April 29, 2010 for the evidentiary hearing. Further, I was not given the opportunity to check with the persons who I would likely call as witnesses to determine their availability on April 29, 2010.

7. Once I became aware of the proposed evidentiary hearing, which did not occur until Monday, April 19, 2010, I contacted the witnesses I would likely call during the evidentiary hearing. Upon talking with Jerald S. Frank, Petra's president, I determined that not all of Petra's witnesses would be available to testify on that date.

8. On April 19, 2010 Petra engaged Lemley International ("Lemley") as its expert witness in this case. Jack K. Lemley and Richard Bauer are the Lemley personnel presently assigned to this case. These experts will not have a reasonable opportunity before April 29, 2010 to review the relevant documents and conduct necessary interviews and other investigations as will be required for them to testify at the April 29th evidentiary hearing.

9. I notified Kim Trout ("Mr. Trout"), Meridian's counsel, by email dated April 19, 2010 at 9:21 a.m. that Petra's witness were not available on April 29, 2010. I also requested a list of Meridian's witnesses and exhibits. See Exhibit D attached hereto.

10. Neither Mr. Trout nor anyone from his office responded to my April 19th email.

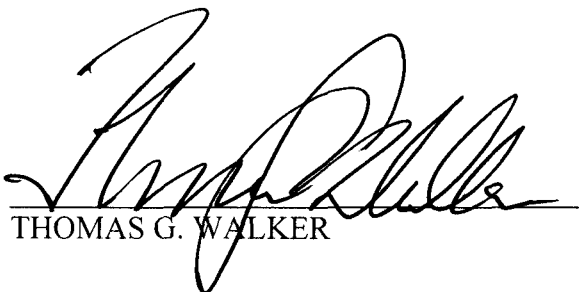
11. On Tuesday, April 20, 2010, I sent a second email to Mr. Trout confirming that Petra's witnesses would not be available on April 29, 2010 and once again requested that the hearing be rescheduled. See Exhibit E attached hereto.

12. Neither Mr. Trout nor anyone from his office responded to my April 20th email.

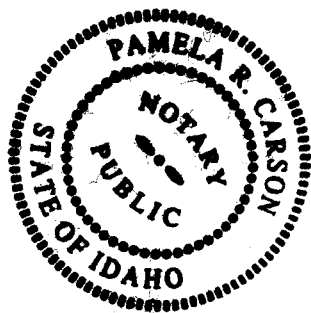
13. Prior to the commencement of the continued deposition of Gene Bennett on Wednesday, April 21, 2010, I asked Mr. Trout to reschedule the April 29, 2010 evidentiary hearing. Mr. Trout refused to do so.


14. Upon determining that Mr. Trout would not reschedule the April 29, 2010 evidentiary hearing, Pamela R. Carson, my paralegal, contacted the court's clerk to determine the court's availability to conduct the evidentiary hearing. Ms. Carson was told that the court had four hours available on June 14, 2010. Ms. Carson asked the court's clerk to hold that date until a telephonic scheduling conference could be held on Monday, April 26, 2010.

15. The hearing on Meridian's Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages is a very important motion in this case, which requires me and Petra's witnesses


THOMAS G. WALKER

SUBSCRIBED AND SWORN to before me this 22nd day of April, 2010.




Notary Public for Idaho
Residing at Boise, Idaho
My commission expires: 3/31/2016.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 22nd day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

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- Overnight Courier
- Facsimile
- E-mail:



THOMAS G. WALKER

4/1/10

COPY

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Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

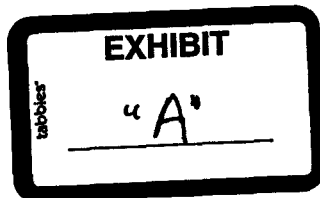
Case No. CV OC 09-07257

NOTICE OF HEARING


TO: THE ABOVE NAMED PARTIES AND THEIR COUNSEL OF RECORD:

PLEASE TAKE NOTICE, that the hearing on Plaintiff's Motion for Leave to File First Amended Complaint will be heard on the 15th day of April, 2010, at the hour of 3:30 p.m., or as soon thereafter as the parties may be heard. The hearing is scheduled at the Ada County Courthouse located at 200 W. Front St., Boise, ID 83702.

DATED this 31st day of March, 2010.



TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

By: 

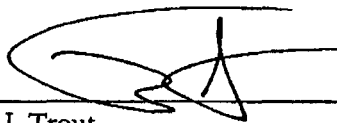
Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 31st day of March, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSH O HUMPHREY, LLP
800 Park Blvd., Ste. 790
P.O. Box 9518
Boise, ID 83707-9518
Fax: (208) 639-5609

Hand Delivered
U.S. Mail
Fax
Fed. Express
Email



Kim J. Trout

KIM J. TROUT, ISB #2468
TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, ID 83701
Telephone: (208) 331-1170
Facsimile: (208) 331-1529

Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-07257

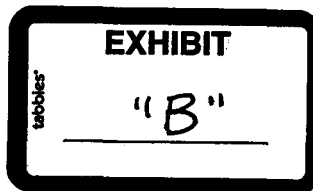
AMENDED NOTICE OF HEARING

TO: THE ABOVE NAMED PARTIES AND THEIR COUNSEL OF RECORD:


PLEASE TAKE NOTICE, that the hearing on Plaintiff's Motion for Leave to File First Amended Complaint which was scheduled to be heard on the 15th day of April, 2010, at the hour of 3:30 p.m., has been vacated and is now scheduled to be heard on April 22, 2010, at the hour of 1:30 p.m., or as soon thereafter as the parties may be heard. The hearing is scheduled at the Ada County Courthouse located at 200 W. Front St., Boise, ID 83702.

tsk + Cal

DATED this 8th day of April, 2010.



TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

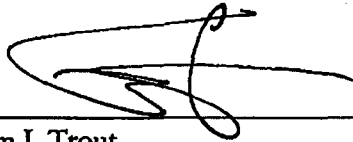
By: 
Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 8th day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
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800 Park Blvd., Ste. 790
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Kim J. Trout

KIM J. TROUT, ISB #2468
TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, ID 83701
Telephone: (208) 331-1170
Facsimile: (208) 331-1529

Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-07257

**SECOND AMENDED NOTICE OF
HEARING**

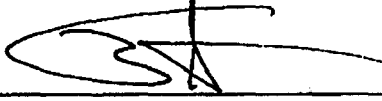
TO: THE ABOVE NAMED PARTIES AND THEIR COUNSEL OF RECORD:

PLEASE TAKE NOTICE, that the evidentiary hearing on Plaintiff's Motion for Leave to File First Amended Complaint which was previously scheduled to be heard on the 22nd day of April, 2010, at the hour of 1:30 p.m., has been vacated and is now scheduled to be heard on April 29, 2010, at the hour of 9:00 a.m., or as soon thereafter as the parties may be heard. The hearing is scheduled at the Ada County Courthouse located at 200 W. Front St., Boise, ID 83702.

DATED this 16th day of April, 2010.



TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

By: 


Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 16th day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Ste. 790
P.O. Box 9518
Boise, ID 83707-9518
Fax: (208) 639-5609

Hand Delivered
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Fax
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Email



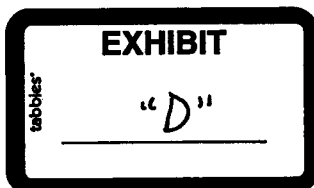
Kim J. Trout

Thomas G. Walker

From: Thomas G. Walker
Sent: Monday, April 19, 2010 9:21 AM
To: 'Kim Trout'
Cc: Kevin Kluckhohn; Erika K. Klein; Mackenzie E. Whatcott; Pamela Carson (pcarson@CoshoLaw.com)
Subject: Meridian v. Petra

I just learned that you plan on calling witnesses and offering exhibits at the hearing set for April 29th. That date does not work for Petra's personnel. Although I have handled many motions for leave to amend to add punitive damages, under both the old and new statute, I have never had an evidentiary hearing. What prompted you to seek an evidentiary hearing? Also, if you intend to proceed with the evidentiary hearing, I will need the City's list of witnesses and exhibits in order to prepare.

Thomas G. Walker
Cosho Humphrey, LLP
800 Park Blvd., Suite 790
PO Box 9518
Boise, ID 83707-9518
Direct phone: 208-639-5607
Cell phone: 208-869-1508
Fax: 208-639-5601
E-mail: twalker@cosholaw.com
Blog: www.ricolawblog.com



Pam Carson

From: Thomas G. Walker
Sent: Tuesday, April 20, 2010 5:56 AM
To: Kim Trout
Cc: Kevin Kluckhohn; Erika K. Klein; Mackenzie E. Whatcott; Pamela Carson (pcarson@CoshLaw.com)
Subject: Meridian v. Petra
Importance: High

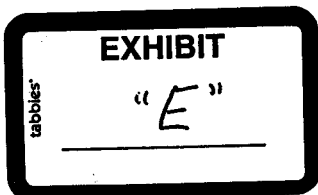
Kim:

I reviewed the City's Reply Memorandum. You state on page 8 that ". . . the City has scheduled, and Noticed, an evidentiary hearing for April 29, 2010." However, we have not received such a notice. The notice we received vacated the April 22nd hearing and rescheduled it for April 29th. No mention of an evidentiary hearing is made in the notice. Further, the Reply claims that Idaho Code § 6-1604 requires an evidentiary hearing. The statute, however, provides that . . . a party may, pursuant to a pretrial motion and after hearing before the court, amend the pleadings to include a prayer for relief seeking punitive damages. The court shall allow the motion to amend the pleadings if, after weighing the evidence presented, the court concludes that, the moving party has established at such hearing a reasonable likelihood of proving facts at trial sufficient to support an award of punitive damages." My experience under the new version of § 6-1604 is that the court weighs the evidence presented by way of affidavit testimony and admissible documentary evidence, not by holding an evidentiary hearing.

Also, I notified you by email yesterday that the Petra personnel who I anticipate calling as witnesses are not available on April 29th. Further, I also expect to call an expert witness to testify regarding Petra's performance and the applicable standard of care. I doubt that Petra's expert will be prepared to testify by April 29th. If you intend to proceed with an evidentiary hearing, please provide me with available dates for the evidentiary hearing after May 7th.

Finally, please provide me with available dates for the continued deposition of Keith Watts and the depositions of Charlie Roundtree, Ted Baird and Bill Nary during the period commencing on May 24 and ending on June 18th, except for June 2nd and June 7th, which dates are already booked.

Thomas G. Walker
Cosh Humphrey, LLP
800 Park Blvd., Suite 790
PO Box 9518
Boise, ID 83707-9518
Direct phone: 208-639-5607
Cell phone: 208-869-1508
Fax: 208-639-5601
E-mail: twalker@coshlaw.com
Blog: www.ricolawblog.com



ORIGINAL

NO. 10.20 FILED
A.M. 10.20 P.M.

APR 22 2010

J. DAVID NAVARRO, Clerk
By CARLY LATIMORE
DEPUTY

Thomas G. Walker (ISB 1856)
Erika K. Klein (ISB 5509)
Mackenzie Whatcott (ISB 6774)
COSHO HUMPHREY, LLP
800 Park Blvd., Suite 790
P. O. Box 9518
Boise, Idaho 83707-9518
Direct Phone: (208) 639-5607
Cell Phone: (208) 869-1508
Direct Facsimile: (208) 639-5609
E-mail: twalker@cosholaw.com; eklein@cosholaw.com; mwhatcott@cosholaw.com

Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff/Counterdefendant,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant/Counterclaimant.

Case No. CV OC 0907257

NOTICE OF TELEPHONIC SCHEDULING CONFERENCE RE: PETRA'S MOTION TO VACATE AND RESCHEDULE EVIDENTIARY HEARING

PLEASE TAKE NOTICE, That the undersigned, attorneys for Petra Incorporated, ("Petra"), the Defendant/Counterclaimant in the above-entitled matter, will bring before the Honorable Ronald J. Wilper of the above-entitled Court, for a telephonic scheduling conference on **Monday, April 26, 2010**, at the hour of **2:00 p.m.**, or as soon thereafter as counsel can be heard, Petra Incorporated's Motion to Vacate and Reschedule an April 29, 2010 Evidentiary

Hearing on the City of Meridian's Motion for Leave to File First Amended Complaint and Add
Claim for Punitive Damages.

DATED: April 22, 2010.

COSHO HUMPHREY, LLP

By: 

THOMAS G. WALKER

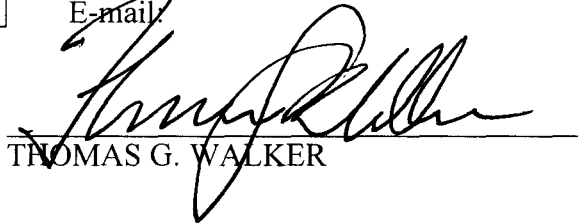
Attorneys for Defendant Petra Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on this 22nd day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile
- E-mail



THOMAS G. WALKER

FILED 4/23/10
A.M. PM

APR 23 2010

J. DAVID NAVARRO, Clerk
By L. AMES
DEPUTY

KIM J. TROUT, ISB #2468
TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦ GOURLEY, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, ID 83701
Telephone: (208) 331-1170
Facsimile: (208) 331-1529

Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-07257

NOTICE OF SERVICE


Pursuant to the Idaho Rules of Civil Procedure, notice is hereby given by the undersigned party that a copy of Plaintiff's Fourth Set of Requests for Production of Documents to Defendant

Petra Incorporated was served upon the following by facsimile to:

Thomas G. Walker
COSHO HUMPHREY, LLP
800 Park Blvd., Ste. 790
P.O. Box 9518
Boise, ID 83707-9518
Twalker@CoshoLaw.com
Facsimile: (208) 639-5609

DATED this 23rd day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

By: 


Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 23rd day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Ste. 790
P.O. Box 9518
Boise, ID 83707-9518
Fax: (208) 639-5609

Hand Delivered	<input type="checkbox"/>
U.S. Mail	<input checked="" type="checkbox"/>
Fax	<input type="checkbox"/>
Fed. Express	<input type="checkbox"/>
Email	<input type="checkbox"/>



Kim J. Trout

APR 23 2010

J. DAVID NAVARRO, Clerk
By L. AMES
DEPUTY

KIM J. TROUT, ISB #2468
TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, ID 83701
Telephone: (208) 331-1170
Facsimile: (208) 331-1529

Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-07257


**PLAINTIFF'S MOTION TO VACATE
TRIAL SETTING**

COMES NOW the Plaintiff City of Meridian (the "City"), by and through its attorneys of record, the law firm of Trout Jones Gledhill Fuhrman Gourley, P.A., and hereby moves this Court to vacate and reset the trial currently scheduled to begin on September 1, 2010. This Motion is supported by the Affidavit of Kim J. Trout filed contemporaneously herewith, and the papers and pleading on file in this matter.

Oral argument is requested.

DATED this 23rd day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

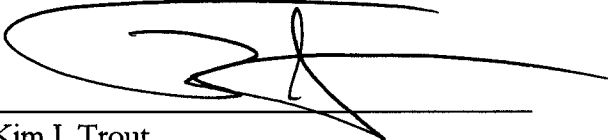
By: 
Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 23rd day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Ste. 790
P.O. Box 9518
Boise, ID 83707-9518
Fax: (208) 639-5609

Hand Delivered
U.S. Mail
Fax
Fed. Express
Email


Kim J. Trout

3. I am the lead and principal attorney representing the City in this matter.

4. The trial of the present case before the Court is set to begin on September 1, 2010 and end on September 14, 2010.

5. I am also the lead and principal attorney representing the City of McCall in the case currently pending before Judge Michael McLaughlin in the Valley County, Idaho, *City of McCall v. Payette Lakes, et. al*, Case No. CV2005-000352-C, which was filed on August 9, 2005, and has been pending since that date.

6. The *City of McCall* trial is set to begin on September 10, 2010 and continue through October 15, 2010. Attached hereto as **Exhibit "A"** is a true and correct copy of Judge McLaughlin's letter received on April 20, 2010 setting forth the dates of the trial.

7. As a result of my intimate involvement and representation of both the City of McCall and the City of Meridian, no other attorney in my firm possesses the same knowledge and prior involvement necessary to provide equivalent representation to either client.

8. I owe a commitment and obligation to the City of McCall, the City of Meridian, and the respective Judges in each case to continue to act as the lead attorney in the trial of both matters.

9. There have been extensive efforts, a lengthy stay, and multiple mediations in an effort to reach a resolution of the *City of McCall* matter. Notwithstanding these efforts the case will proceed to trial on September 10, 2010.

10. My opposing counsel and I in the *City of McCall* matter, requested a scheduling change, but Judge McLaughlin has denied the motion to modify the scheduling order setting and is requiring that the trial proceed as previously scheduled. Attached hereto as **Exhibit "B,"** and fully incorporated herein by this reference, is a true and correct copy of a letter, dated April 13, 2010, received from Judge McLaughlin.

11. Both this matter and the *City of McCall* case involve multiple weeks of trial and will include extensive documentation and witness preparation and examination.

12. I will be unable to adequately fulfill my role as lead attorney in both trials as currently scheduled. As a result of being unable to vacate the trial setting in the *City of McCall* matter, I am respectfully requesting that this trial be vacated and reset.

13. Other than the fact that a resolution of both parties claims will be delayed, Defendant will suffer no prejudice as a result of the Court vacating the trial of this matter. There will be no loss of evidence, no missing witnesses and Defendant will still be entitled to its day in Court. If, on the other hand, the trial proceeds as scheduled, my client will be prejudiced in the preparation and representation of its interests at trial.

14. In Petra's Motion to Vacate and Reschedule Hearing, counsel for Petra failed to disclose to the Court additional information which would allow the Court to fully understand the facts related to the scheduled hearing on the Plaintiff's Motion to Amend.

- a. After the hearing on the Motion to Amend was first set on March 31, 2010, and subsequently reset on April 8, 2010 due to a conflict with the Court's calendar, my Paralegal Kevin Kluckhohn contacted the Court's clerk to determine how much time was available during the April 22, 2010 hearing to put on evidence in support of the Motion to Amend relating to the punitive damages requested.
- b. We were advised that due to another evidentiary hearing scheduled for the same day that we would only have one to one and one-half hours. I concluded that this would be an insufficient amount of time for the City to present its witnesses and evidence, and for Mr. Walker to cross-examine the witnesses.
- c. My Paralegal then sought to obtain a new hearing date, and called Pam Carson, Paralegal for Mr. Walker on April 16, 2010 at approximately 3:00 p.m. to

determine if the new date was acceptable. She was not available, so I instructed my Paralegal to notice the hearing and send out the notice.

- d. On April 19, 2010, Ms. Carson called my office and spoke with my Paralegal and asked what witnesses and exhibits the City would present at the hearing now scheduled for April 29, 2010. My Paralegal stated that he would check with me, but that he believed the witnesses were outlined in the Reply Memorandum that was being filed later that day.
- e. On April 19, Mr. Walker sent an e-mail (a true and correct copy of which is attached as Exhibit "D" to the Walker Affidavit dated April 22, 2010). I did not respond to the e-mail, as I was in meetings and expected to see Mr. Walker the following day, April 20, 2010 at the deposition of Mr. Eugene Bennett;
- f. On April 20, 2010, at 5:56 a.m. Mr. Walker wrote to me, a true and correct copy of his April 20, 2010 email is attached as Exhibit "E" to the Walker Affidavit filed on April 22, 2010, reciting that he did not believe a hearing was required and seeking a rescheduling of the hearing after May 7th.
- g. Upon receiving his April 20, 2010 email, which was received prior to the continued deposition of Eugene R. Bennett in this matter, I asked my Paralegal to review my available calendar dates. The matter of the hearing was not raised by Mr. Walker during the April 20, 2010 deposition, and therefore I assumed that it was no longer an issue.
- h. On April 21, 2010, following the mid-day break in the continued deposition of Mr. Bennett, Mr. Walker inquired of me as to whether or not my client would be willing to grant an extension of the date of the hearing. In that conversation, I was advised for the first time that the Defendant had retained an expert of any

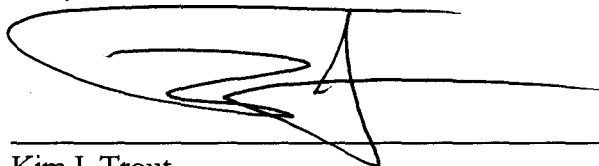
kind, or that Mr. Walker intended to call this newly retained expert at the evidentiary hearing.

- i. I advised Mr. Walker, that because Judge McLaughlin had determined that he could not continue the City of McCall case referenced above, that I had been forced to commit my time to that case following the pending depositions, in order to meet the discovery cut off schedule in that matter and that I would be unable to continue the hearing. In any other circumstance I would be more than willing to grant Mr. Walker an extension of time for matters of this nature, however unfortunately, I am caught in the middle of two very large and difficult cases proceeding on a parallel path toward trial on nearly identical dates.
- j. Approximately one hour later, I was advised by Mr. Walker that his office had contacted the Court to arrange for a hearing on a motion to vacate the hearing scheduled for April 29, 2010.
- k. Should the hearing currently scheduled for April 29, 2010 be vacated and rescheduled for June 14, 2010, the trial must, accordingly, be vacated and reset to begin no earlier than November 1, 2010. It is important to note that I am unavailable for a trial of this magnitude until November 29, 2010, due to other matters having been previously scheduled.

FURTHER YOUR AFFIANT SAYETH NAUGHT.

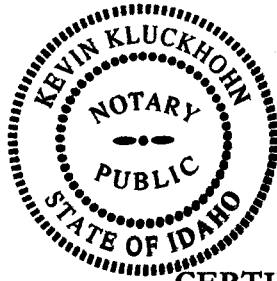
TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, PA

By: _____



Kim J. Trout

Subscribed and sworn to before me this 23rd day of April, 2010.



A handwritten signature in black ink, appearing to be "Kevin Kluckhohn", written over a horizontal line.

Notary Public, State of Idaho
Residing at: Meridian, ID
My commission expires: November 3, 2014

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 23rd day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Suite 790
P.O. Box 9518
Boise, Idaho 83707-9518
Direct Facsimile: (208) 639-5609

Hand Delivered
U.S. Mail
Fax
Email

A handwritten signature in black ink, appearing to be "Kim J. Trout", written over a horizontal line.

Kim J. Trout

Ada County 4th District Court



200 West Front St.
Boise, Idaho, 83702

Fax Cover Page

Phone: (208) 287-7500
Web: www.adaweb.net

To: Fax Number: 93311529
Company: Date: 4/20/10 Time: 2:53:34 PM

From: Shary Abbott Fax Number: (208) 287-7529
Phone: (208) 287-7556 No. of pages: 3
Company: 4th District Court (including cover page)

Subject: City of McCall v Payette Lakes, et al.

Message
Details:



DISTRICT COURT
FOURTH JUDICIAL DISTRICT
STATE OF IDAHO



MICHAEL McLAUGHLIN
DISTRICT JUDGE
(208) 287-7551
Fax (208) 287-7529

ADA COUNTY COURTHOUSE
200 W. FRONT STREET
BOISE, IDAHO 83702-7300

April 20, 2010

VIA FACSIMILE

Scott D. Hess
HOLLAND & HART, LLP
101 S Capitol Blvd, Ste 1400
PO Box 2527
Boise, ID 83701-2527

Kim J. Trout
TROUT JONES GLEDHILL FUHRMAN, PA
225 N 9th St, Ste 820
PO Box 1097
Boise, ID 83701

John Hucks
ATTORNEY AT LAW
P.O. Box 737
New Meadows, ID 83654

Re: *City of McCall v. Payette Lakes, et al.*
Valley County Case No. CV-2005-000352-C

Counsel:

In light of the Court's calendar, the Court will set the following dates for the trial in this case:

- September 10th will be a jury selection day where the jurors will receive questionnaires about the trial and we will determine (a) if they have a conflict because of perhaps employment by the City of McCall or (b) if they have a conflict because they have employment or contractual relationships with Payette Lake Water User's Association. The key question will be whether or not they can serve as jurors in the case for the length of time we need.
- We will take two breaks each trial day of 20 minutes at approximately 10:40 a.m. and 12:20 p.m.
- The following chart outlines the Court's calendar for September and October, 2010.

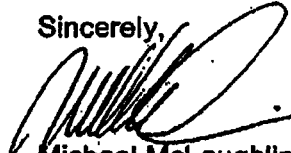
City of McCall v Payette Lakes, et al.
 April 20, 2010
 Page 2

DATE	Location and times	3:00-5:00
Sept. 7	Ada County, all day, civil	
8	Ada County, all day, criminal law and motion day	
9	Ada County morning, a combination of civil and criminal	
10	Valley County, 9:00 – 5:00, jury selection and questionnaires, <i>City of McCall v Payette Lakes</i>	
13	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial.	Valley County, criminal
14	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, civil
15	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, civil
16	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, criminal
17	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, criminal
20	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Ada County/civil TSC
21	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Ada County/civil TSC
22	9:00 – 4:00, Ada County, criminal.	4:00 – 5:00, Ada, civil
23	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Ada County/civil TSC
24	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Ada County/civil TSC
27	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, criminal
28	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, civil
29	9:00 – 4:00, Ada County, criminal.	4:00 – 5:00, Ada, civil
30	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, civil
Oct. 1	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, civil
4	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, criminal
5	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, civil
6	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, civil
7	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, criminal
8	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Valley County, criminal
12	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Ada County, civil TSC
13	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Ada County, civil TSC
14	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Open/deliberations
15	8:30 – 2:30, <i>City of McCall v. Payette Lakes</i> trial	Open/deliberations

My calculations are 22 days of trial which actually exceeds the four weeks that you have indicated. If you are aware of a lesser amount of time or greater amount of time needed for this trial, please advise.

We will be submitting to the jury, jury questionnaires so the Court would need to have your proposed jury questionnaires by August the 4th so that those could be reviewed, printed and be prepared to have the jury complete them on the 10th of September.

Sincerely,



Michael McLaughlin
 District Judge

DISTRICT COURT
FOURTH JUDICIAL DISTRICT
STATE OF IDAHO



MICHAEL McLAUGHLIN
DISTRICT JUDGE
(208) 287-7581
Fax (208) 287-7529

ADA COUNTY COURTHOUSE
200 W. FRONT STREET
BOISE, IDAHO 83702-7300

April 13, 2010

Scott D. Hess
HOLLAND & HART, LLP
101 S Capitol Blvd, Ste 1400
PO Box 2527
Boise, ID 83701-2527

Kim J. Trout
TROUT JONES GLEDHILL FUHRMAN, PA
225 N 9th St, Ste 820
PO Box 1097
Boise, ID 83701

Jonathon Hucks
ATTORNEY AT LAW
P.O. Box 737
New Meadows, ID 83654

Re: *City of McCall v. Payette Lakes, et al.*
Valley County Case No. CV-2005-000352-C

Counsel:

Last week we had a telephone status conference regarding this case. Both sides indicated that there have been settlement negotiations that have not been successful at this point. The parties both indicated that the focus of those negotiations have been on the future of this cooperative agreement. I have advised you that the trial is scheduled to start as per the scheduling order. I will also advise all of you that I will expect that all aspects of the scheduling order are to be followed. This case has been on the court docket since 2005. Six weeks have been scheduled for this trial now for over a year causing several other litigants to wait for a trial setting. I expect that short of a settlement that both sides are prepared to proceed and that the deadlines set forth in the scheduling order will be complied with. Thank you.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Michael McLaughlin".

Michael McLaughlin
District Judge



002341

1 IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
2 THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA

3 MERIDIAN

4 Plaintiff,

CASE NO CVOC09-07257

5 vs.
6 PETRA

Defendant,

MINUTE ENTRY

7
8 April 26, 2010 at 2:00 PM
9 Telephonic Hearing to Reset Motion to Amend Complaint Hearing
(hearing held in chambers, Not recorded on COURTFLOW)

10 Ct. calls the case, present by phone are **Thomas Walker and Kim Trout**. The Court reviews
11 status.

12 Mr. Trout has no obj. to reset hearing on 4/29/10. The Court notes a Motion to Reset Jury
13 Trial, received today and questions Mr. Walker. Mr. Walker cannot stipulate to resetting the
14 trial as his client wants to proceed asap.

15 Counsel anticipate 3-4 hours for the Motion to Amend hearing. The Court continues the
16 hearing to **9:00 am on June 14, 2010**, counsel are to re-notice the hearing. The Court
17 directs Mr. Walker to respond in writing to the Motion to Reset Jury Trial and will consider the
18 matter under advisement upon receipt of such response, but will likely grant the motion.
19

20
21
22 REPORTER: Nicole Omsberg
23 EST. COST: \$50.00
24 CLERK: Inga Johnson
DATE: April 26, 2010

APPROVED BY:

25
26


Inga Johnson
Deputy Clerk

Minute Entry

002342

FILED 339
P.M.

APR 26 2010

J. DAVID NAVARRO, Clerk
By P. BOURNE
DEPUTY

KIM J. TROUT, ISB #2468
TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, ID 83701
Telephone: (208) 331-1170
Facsimile: (208) 331-1529

Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-07257

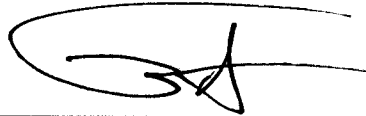
**THIRD AMENDED NOTICE OF
HEARING**

TO: THE ABOVE NAMED PARTIES AND THEIR COUNSEL OF RECORD:

PLEASE TAKE NOTICE, that the evidentiary hearing on Plaintiff's Motion for Leave to File First Amended Complaint which was previously scheduled to be heard on the 29th day of April, 2010, has been vacated and is now scheduled to be heard on June 14, 2010, at the hour of 9:00 a.m., or as soon thereafter as the parties may be heard. The hearing is scheduled at the Ada County Courthouse located at 200 W. Front St., Boise, ID 83702.

DATED this 26th day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.



By: _____
Kim J. Trout
Attorneys for Plaintiff

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 26th day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Ste. 790
P.O. Box 9518
Boise, ID 83707-9518
Fax: (208) 639-5609

Hand Delivered	<input type="checkbox"/>
U.S. Mail	<input type="checkbox"/>
Fax	<input checked="" type="checkbox"/>
Fed. Express	<input type="checkbox"/>
Email	<input type="checkbox"/>



Kim J. Trout

APR 27 2010

J. DAVID NAVARRO, Clerk
By CARLY LATIMORE
DEPUTY

KIM J. TROUT, ISB #2468

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦ GOURLEY, P.A.

225 North 9th Street, Suite 820

P.O. Box 1097

Boise, ID 83701

Telephone: (208) 331-1170

Facsimile: (208) 331-1529

Attorneys for Plaintiff

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.


Case No. CV OC 09-7257

STIPULATION TO VACATE TRIAL

The City of Meridian, ("Meridian"), Plaintiff/Counterdefendant by and through its counsel of record, Kim J. Trout of Trout Jones Gledhill Fuhrman Gourley, P.A., and Petra, Incorporated, ("Petra"), the Defendant, by and through its counsel of record, Thomas G. Walker of Cosho Humphrey, LLP, hereby stipulate and agree that the trial of this matter, currently set to begin on September 1, 2010, at 9:00 a.m., will be vacated and reset to begin after November 29, 2010, or as soon thereafter as the Court's calendar permits. The deadlines currently stipulated and agreed upon by the parties are vacated, and all deadlines will be reset from the new trial date.

DATED this 27th day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

By: 

Kim J. Trout
Attorneys for Plaintiff

DATED this ____ day of April, 2010.

THE CITY OF MERIDIAN

By: _____
Ted Baird
City Attorney

DATED this ____ day of April, 2010.

COSHO HUMPHREY, LLP

By: _____
Thomas G. Walker
Attorneys for Defendant

DATED this ____ day of April, 2010.

PETRA INCORPORATED

By: _____
Jerry Frank
President


DATED this ____ day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

By: _____
Kim J. Trout
Attorneys for Plaintiff

DATED this ____ day of April, 2010.

THE CITY OF MERIDIAN

By:  _____
Ted Baird
City Attorney

DATED this ____ day of April, 2010.

COSMO HUMPHREY, LLP

By: _____
Thomas G. Walker
Attorneys for Defendant

DATED this ____ day of April, 2010.

PETRA INCORPORATED

By: _____
Jerry Frank
President

DATED this ____ day of April, 2010.

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦
GOURLEY, P.A.

By: _____
Kim J. Trout
Attorneys for Plaintiff


DATED this _____ day of April, 2010.

THE CITY OF MERIDIAN

By: _____
Ted Baird
City Attorney


DATED this 27th day of April, 2010.

COSHO HUMPHREY, LLP

By: 
Thomas G. Walker
Attorneys for Defendant

DATED this 27th day of April, 2010.

PETRA INCORPORATED

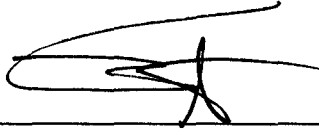
By: 
Jerry Frank
President

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 21st day of April, 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Suite 790
P.O. Box 9518
Boise, Idaho 83707-9518
Direct Facsimile: (208) 639-5609

Hand Delivered	<input type="checkbox"/>
U.S. Mail	<input checked="" type="checkbox"/>
Fax	<input type="checkbox"/>
Email	<input type="checkbox"/>



Kim J. Trout

ORIGINAL

NO. _____
A.M. _____ P.M. 3:23
APR 29 2010
J. DAVID NAVARRO, Clerk
By KATHY J. BIEHL
DEPUTY

Thomas G. Walker (ISB 1856)
Ericka K. Klein (ISB 5509)
MacKenzie Whatcott (ISB 6774)
Cosho Humphrey, LLP
800 Park Blvd., Suite 790
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Cell Phone: (208) 869-1508
Direct Facsimile: (208) 639-5609
E-mail: twalker@cosholaw.com;eklein@cosholaw.com;mwhatcott@cosholaw.com

Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA

★ ★ ★ ★ ★

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff/Counterdefendant,

vs.

PETRA INCORPORATED, an Idaho
corporation,

Defendant/Counterclaimant.

Case No. CV OC 0907257

**SUPPLEMENTAL AFFIDAVIT OF
EUGENE R. BENNETT DATED APRIL
21, 2010 TO CORRECT CLERICAL
ERROR**

STATE OF IDAHO)
) ss.
County of Ada)

Eugene R. Bennett, being first duly sworn upon oath, depose and state:

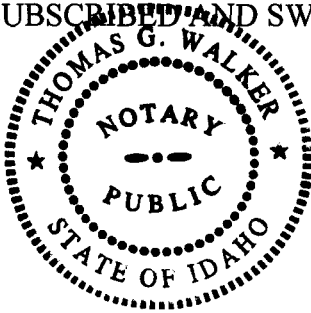
1. I make this Affidavit based upon my own personal knowledge and I am competent to testify to the facts set forth below if called as a witness.

2. Because of a clerical error, paragraph 13 of my April 7, 2010 Affidavit referenced and attached the wrong email in support of my testimony in paragraph 12.

3. Attached hereto is a true and correct copy of the email correspondence dated July 31, 2006 to Frank Lee from Pat Kershisnik notifying the City of Meridian that the Project could possibly not be completed for \$12.2 million.

Eugene Bennett
EUGENE R. BENNETT

SUBSCRIBED AND SWORN to before me this 21st day of April, 2009.



Thomas G. Walker
Notary Public for Idaho
Residing at BOISE, Idaho
My commission expires: 3/20/2013

DATED: April 21, 2010.

COSHO HUMPHREY, LLP

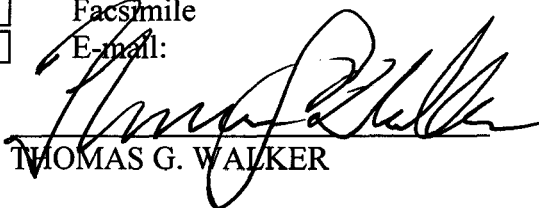
By: Thomas G. Walker
THOMAS G. WALKER
Attorneys for Petra Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 21st day of April, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile
- E-mail:



THOMAS G. WALKER

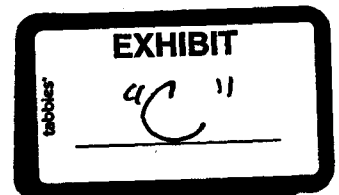
From: Pat Kershnik
Sent: Monday, July 31, 2006 02:24 PM
To: Frank Lee
CC: Ted Baird; Bill Nary; Will Berg
Subject: Scenario One

Frank,

Gene Bennett requested that I convey the following scenario to you as one illustration of the inability to adequately clarify the proposed not-to-exceed direct personnel reimbursable language: Meridian City has set the Project Budget at \$12,200,000. \$10,000,000 of the Project Budget is slated for Actual Construction Costs. At 80,000 square feet the \$10,000,000 Actual Construction Budget will cover the core & shell and the surface parking, but will be exhausted some point during the costing of the Plaza and prior to even beginning the Tenant Improvements. To the degree the Architect and Owner do not follow this analysis at the Development Strategies Phase, Petra may anticipate more or less quickly exhausting the preconstruction services estimate, at which point Petra is held to reimbursement for the additional hours actually rendered to value engineer the Project back down to the \$10,000,000 Construction Budget.

In short, Petra neither desires to be paid a premium nor to subsidize the Project when it comes to Direct Personnel Reimbursables. Rather, we simply want reimbursement for hours actually required as provided by the language agreed to on 06/30/07.

Pat



002353
CM011819

RECEIVED

APR 27 2010

Ada County Clerk

KIM J. TROUT, ISB #2468

TROUT ♦ JONES ♦ GLEDHILL ♦ FUHRMAN ♦ GOURLEY, P.A.

225 North 9th Street, Suite 820

P.O. Box 1097

Boise, ID 83701

Telephone: (208) 331-1170

Facsimile: (208) 331-1529

Attorneys for Plaintiff

NO. _____ FILED _____
A.M. _____ P.M. 1:45

APR 30 2010

J. DAVID NAVARRO, Clerk

By _____ DEBRA JOHNSON

**IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF THE
STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA**

THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff,

v.

PETRA, INCORPORATED, an Idaho
Corporation,

Defendant.

Case No. CV OC 09-7257


ORDER RESETTING TRIAL

THIS COURT having received and reviewed the Stipulation to Vacate Trial signed by Plaintiff and Defendant in this matter, and good cause appearing therefore;

IT IS HEREBY ORDERED that the trial for this matter will begin on Dec. 1st, 2010 for a ten-day court trial¹ and that the deadlines currently stipulated and agreed upon by the parties are vacated, and all deadlines will be resent from the new trial date as defined above. The Pre-Trial Conference currently scheduled for August 24, 2010 is now rescheduled for Tues Nov. 23rd, 2010 at 3:30p.m.

DATED this 3rd day of April, 2010.

¹ Trial will not be conducted on Tuesday's due to this Court's Law and Motion Day.

By: 
HONORABLE JUDGE WILPER

CLERK'S CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 3 day of ~~April~~^{May} 2010, a true and correct copy of the above and foregoing document was forwarded addressed as follows in the manner stated below:

Thomas G. Walker
MacKenzie Whatcott
COSHO HUMPHREY, LLP
800 Park Blvd., Ste. 790
P.O. Box 9518
Boise, ID 83707-9518
Fax: (208) 639-5609

Hand Delivered
U.S. Mail
Fax
Fed. Express
Email

Kim J. Trout
Trout Jones Gledhill Fuhrman Gourley, P.A.
225 N. 9th St., Ste. 820
P.O. Box 1097
Boise, ID 83701
Fax: (208) 331-1529

Hand Delivered
U.S. Mail
Fax
Fed. Express
Email

J. DAVID NAVARRO
CLERK OF THE COURT


Deputy Clerk INGA JOHNSON

ORIGINAL

NO. _____
A.M. 10:30 FILED P.M. _____

MAY 06 2010

J. DAVID NAVARRO, Clerk
By KATHY J. BIEHL
DEPUTY

Thomas G. Walker (ISB No. 1856)
Mackenzie Whatcott (ISB No. 6774)
COSHO HUMPHREY, LLP
800 Park Blvd., Suite 790
P. O. Box 9518
Boise, Idaho 83707-9518
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Cell Phone: (208) 869-1508
Direct Facsimile: (208) 639-5609
E-mail: twalker@cosholaw.com; mwhatcott@cosholaw.com

Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

PETRA'S MOTION FOR SUMMARY JUDGMENT DATED MAY 6, 2010

Petra Incorporated ("Petra"), by and through its attorneys of record, Thomas G. Walker or the firm of Cosho Humphrey, LLP, moves this Court pursuant to Rule 56 of the Idaho Rules of Civil Procedure for Summary Judgment against the City of Meridian finding and concluding as follows:

1. Petra performed its work in accordance with the applicable standard of care;

105

2. Petra fulfilled its duties under the Construction Management Agreement according to the professionals hired by Meridian and its own building inspectors;

3. Meridian was fully informed about the final Project cost and Petra's increased work load resulting from the City's many changes;

4. Meridian's claims are barred by the time is of the essence provision in the Construction Management Agreement;

5. Meridian is estopped from belatedly complaining about Petra's services;

6. The doctrine of quasi-estoppel bars Meridian from now complaining about Petra's services; and

7. The course and performance of dealing by the parties amended and supplemented the written Construction Management Agreement and also provided missing terms and conditions.

8. The Construction Management Agreement precludes any claims by Meridian that Petra failed to provide required services.

9. Under the Construction Management Agreement and Idaho law Petra is entitled to be paid for extra services;

10. In the alternative, Petra is entitled to the benefits of an implied-in-fact contract.

11. In the alternative, Petra is entitled to be compensated for its extra work because the parties adopted the cardinal change doctrine.

12. In the alternative, Petra is entitled to the benefits of an implied-in-law contract.

13. Petra is entitled to the immediate payment of \$648,636.04, which amount is owed and past due under the terms of the basic Construction Management Agreement, plus interest from each due date until paid at the rate of .75% per month as provided in paragraph 6.3.2 of the Construction Management Agreement.

14. Meridian has breached the Construction Management Agreement and the covenant of good faith and fair dealing.

15. Petra is entitled to an award of costs, fees and expenses pursuant to the Construction Management Agreement and Idaho Law.

This motion is based on the pleadings, records and files in this case and Statement of Undisputed Facts, Petra's Memorandum in Support of its Motion for Summary Judgment filed and served contemporaneously herewith, together with the Affidavit of Thomas G. Walker dated April 29, 2010, Affidavit of Jack K. Lemley dated April 30, 2010, Affidavit of Jerald S. Frank dated May 4, 2010, Affidavit of Eugene R. Bennett dated May 5, 2010, Affidavit of Thomas R. Coughlin dated May 5, 2010 and Affidavit of John Quapp dated May 5, 2010.

This motion also incorporates Petra's Substitute Memorandum in Opposition to Motion for Leave to File First Amended Complaint and Add Claim for Punitive Damages Pursuant to Idaho Code § 6-1604 filed by the City of Meridian, the Affidavit of Eugene R. Bennett dated April 7, 2010, the Affidavit of Jerald S. Frank, dated April 7, 2010, the Supplemental Affidavit of Eugene R. Bennett dated April 21, 2010 and the Affidavit of Thomas G. Walker dated April 7, 2010.

Oral argument is requested on this motion and has been scheduled for Monday, June 7, 2010 at 3:30 p.m., or as soon thereafter as counsel can be heard.

COSHO HUMPHREY, LLP

DATED: May 6, 2010.

By: 

THOMAS G. WALKER

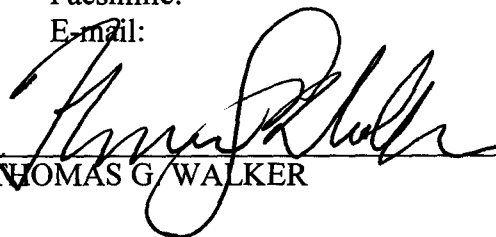
Attorneys for Defendant/Counterclaimant

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 6th day of May, 2010, a true and correct copy of the
within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile:
- E-mail:


THOMAS G. WALKER

ORIGINAL

NO. _____
AM 10:36 FILED PM _____

MAY 06 2010

J. DAVID NAVARRO, Clerk
By KATHY J. BIEHL
DEPUTY

Thomas G. Walker (ISB 1856)
Erika Klein (ISB 5509)
Mackenzie Whatcott (ISB 6774)
COSH O HUMPHREY, LLP
800 Park Blvd., Suite 790
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Direct Facsimile: (208) 639-5609
E-mail: twalker@cosholaw.com; eklein@cosholaw.com; mwhatcott@cosholaw.com

Attorneys for Defendant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho Municipal Corporation,

Plaintiff,

vs.

PETRA INCORPORATED, an Idaho corporation,

Defendant.

Case No. CV OC 0907257

**PETRA'S STATEMENT OF
UNDISPUTED MATERIAL FACTS IN
SUPPORT OF MOTION FOR
SUMMARY JUDGMENT**

The above-named Defendant/Counterclaimant, Petra Incorporated ("Petra"), by and through its attorney of record, Thomas G. Walker, submits this Statement of Undisputed Material Facts In Support of Petra's Motion For Summary Judgment, Dismissal of the Complaint and the Award of Costs, Fees and Expenses pursuant to Idaho Rule of Civil Procedure 56(c).

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1. STATEMENT OF UNDISPUTED MATERIAL FACTS. 3

1.1 Identification of the Players. 3

1.2 The Parties. 4

1.3 The Project. 4

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3. Proceedings To Date. 9

4. Facts Relevant to Petra’s Performance under the Construction Management Agreement. 11

4.1 Petra performed its work in accordance with the applicable standard of care for construction managers. 11

4.2 Petra fully performed its duties and obligations under the Construction Management Agreement, as modified by the parties’ course of dealing and course of performance..... 12

4.3 The City’s changes increased the complexity of the Project. 22

4.4 The City’s changes increased the cost of the Project by \$9.6 million, or 79%. 25

4.5 The City ordered extra services from Petra 28

4.6 The cumulative effect of all factors required extra services and materially increased Petra’s costs. 28

4.7 Value engineering was conducted throughout the Project up through and including building commissioning..... 32

4.8 The “Owners Criteria” as outlined in the Construction Management Agreement was never formally prepared by the City. 34

4.9 The City occupied and took possession of the Project five weeks ahead of the Project schedule..... 37

4.10 Meridian knew of and approved all changes. 38

4.11 Meridian approved and entered into all the contracts for labor and materials it now claims it didn’t know about..... 39

4.12 Petra formally requested additional compensation and expense reimbursement by submitting Change Order No. 2. 39

4.13 Written notifications from Petra to the City are not required by the Construction Management Agreement. 43

4.14 During the Project Meridian never complained about Petra’s services as construction manager and Meridian’s own building inspectors certified that the Project was complete..... 44

4.15 Meridian’s refusal to mediate violated the Construction Management Agreement. 45

4.16 Monies Owed Petra..... 47

1. STATEMENT OF UNDISPUTED MATERIAL FACTS.¹

1.1 Identification of the Players.

Petra:

Jerald S. Frank	Petra's President
Eugene R. Bennett	Project Manager and Designated Representative
Wes Bettis	Project Engineer (07/06 – 10-08)
Thomas R. Coughlin	Project Engineer (11/08 – 08/09)
Jack K. Lemley	Construction Expert (Lemley International)
Richard Bauer	Construction Expert (Lemley International)
David Reed	Construction Expert (Lemley International)

Meridian:

Tammy DeWeerd	Mayor
Keith Bird	Councilman
William L.M. Nary	City Attorney
Theodore Baird	Deputy City Attorney
Keith E. Watts	Purchasing Agent and Designated Representative
Will Berg	City's designated representative until Watts was designated

Lombard-Conrad:

Steve Simmons, AIA	Principle - Lead Architect
Steve Christiansen, AIA	Project Architect

Design Team:

Lombard-Conrad	Architects
Elk Mountain Engineers	Civil Engineers
Hatchmueller Landscape	Landscape Architects

¹ Petra incorporates by reference all pleadings, documentary evidence, affidavits, deposition transcripts, and responses to discovery in these proceedings. See also, Affidavit of Thomas G. Walker, dated April 7, 2010 ("Walker April 7, 2010 Affidavit"); Affidavit of Thomas G. Walker, dated April 29, 2010 ("Walker April 29, 2010 Affidavit"); Affidavit of Jerry Frank dated April 7, 2010 ("Frank April 7, 2010 Affidavit"); Affidavit of Jerry Frank dated May 4, 2010 ("Frank May 4, 2010 Affidavit"); Affidavit of Eugene R. Bennett dated April 7, 2010 ("Bennett April 7, 2010 Affidavit"); Supplemental Affidavit of Eugene R. Bennett dated April 21, 2010 (Bennett Supplemental Affidavit April 21, 2010); Affidavit of Eugene R. Bennett dated May 5, 2010 ("Bennett May 5, 2010 Affidavit") Affidavit of Thomas C. Coughlin dated May 5, 2010 ("Coughlin May 5, 2010 Affidavit"), Affidavit of John E. Quapp dated May 5, 2010 ("Quapp May 5, 2010 Affidavit"), and Affidavit of Jack K. Lemley dated April 30, 2010 ("Lemley April 30, 2010 Affidavit").

Engineering, Inc.
Eidam & Associates
AAtronics

Mechanical Engineers
Electrical Engineers
Audio-Video Systems

1.2 The Parties.

Plaintiff is the City of Meridian (“Meridian” or the “City”), an Idaho municipal corporation located in Ada County, Idaho.² Defendant, Petra Incorporated (“Petra”) is an Idaho corporation in good standing. Petra served as the Construction manager on the Project.³

1.3 The Project.

In mid-2006 Meridian approached Petra about providing construction management services for the construction of a new Meridian City Hall to be located at 33 Broadway Avenue East in Meridian Idaho 83642.⁴ Meridian informed Petra that it wanted to demolish the existing structure on the site and develop a new city hall facility consisting of a four story structure with approximately 80,000 square feet of Standard Class A office space and related improvements with surface parking.⁵ In August 2006, Meridian represented to Petra that the Project Budget was \$12,200,000.⁶ Upon review of the City of Meridian’s Project Budget of \$12,200,000, Petra informed Meridian that “\$10,000,000 of the Project Budget is slated for Actual Construction Costs. At 80,000 square feet the \$10,000,000 Actual Construction Budget will cover the core & shell and the surface parking, but will be exhausted some point during the costing of the Plaza

² Complaint at ¶ 1; Answer at ¶ 2.

³ Complaint at ¶ 1; Answer at ¶ 2.

⁴ Answer at ¶¶ 52, 54. Bates Nos. CM002684 through CM002711.

⁵ Construction Management Agreement at Recitals B and ¶ 6.6.2; Answer at ¶ 54.

⁶ Construction Management Agreement at ¶4.4.1(f); Answer at ¶ 54.

and prior to even beginning the Tenant Improvements.”⁷ Based on the conceptual design documents received in December 2008 Petra informed the City that the Initial Budget of the Project would be \$15,474,160.⁸ By February 2008, changes ordered by Meridian had increased the budget to \$21,773,078.⁹ The upgraded project is referred to hereafter as the “Project.” The cost and complexity of the Project and Petra’s work as the Construction Manager was substantially increased by site conditions, the final design, and additional features ordered and approved by the City, which are summarized as follows.¹⁰

1.3.1 Size: The City increased the size of the City Hall building from an 80,000 square foot four story above ground building a 104,000 square feet building, including a basement (80,000± square feet plus a 20,000± square foot basement). The addition of the basement added time, money and complexity to the Project Budget and schedule because significant soil contamination issues were encountered during excavation.¹¹

1.3.2 Structure: The City increased the size of the Council chambers, which dictated column to beam moment welds in four directions throughout the structure. This was more than the two directional moment welds that were initially anticipated during the

⁷ See email from Pat C. Kershnik, Petra’s in-house counsel at the time, to Franklin Lee, Meridian’s outside counsel attached as Exhibit “C” to the Supplemental Affidavit of Gene Bennett dated April 21, 2010.

⁸ See Bennett April 7, 2010 Affidavit at ¶ 15.

⁹ See Bennett April 7, 2010 Affidavit at ¶ 26, referencing February monthly report at Bates Nos. CM073856-CM-73918 provided to the City of Meridian, attached as Exhibit “H” to Bennett April 7, 2010 Affidavit, City Council minutes Bates Nos. CM 081230 through 81238, Exhibit “U” to Bennett April 7, 2010 Affidavit and Keith Watts timeline at Bates Nos. Petra 93023, Exhibit “D” to Bennett April 7, 2010 Affidavit.

¹⁰ Bennett April 7, 2010 Affidavit at ¶ 26.

¹¹ Bennett April 7, 2010 Affidavit at ¶ 28.

negotiation of the Construction Management Agreement. This change added time and cost to the Project during the rainy season when it was difficult to weld.¹²

1.3.3 Building exterior: The City's desire to have an exterior that would stand the "test of time" dictated the use of stone and brick that is a more expensive and time consuming construction method than is used on other Standard Class A commercial buildings. The City required stone and brick to provide a 200-year structure.¹³

1.3.4 Mechanical: The City upgraded the mechanical system in the City Hall to state-of-the-art incorporating access floor/under floor ducting throughout the building with a two pipe hydronic system providing under floor control to individual VAV boxes at individual work stations. This system is considered by some to be superior to the conventional Class A office mechanical systems. The system is, however, more expensive and complex than a standard rooftop system with the single thermostatic controls for large work areas as was originally represented to Petra by the City.¹⁴ It is also noteworthy that during discussions between the City, the Architects, and Petra personnel regarding the HVAC systems that Jerry Frank suggested the City specify a conventional tried and true heat pump system to save money and the potential problems then being experienced by tenants in the Banner Bank Building.¹⁵

1.3.5 Electrical: The electrical system added by the City is also state-of-the-art with "daylight harvesting" controls, CO₂ monitoring, standby generator and UPS systems – all of which required extra time and supervision to install. Because of the complexity

¹² Bennett April 7, 2010 Affidavit at ¶ 29.

¹³ Bennett April 7, 2010 Affidavit at ¶ 31.

¹⁴ Bennett April 7, 2010 Affidavit at ¶ 32.

¹⁵ Frank May 4, 2010 Affidavit at ¶ 6.

of the mechanical and electrical systems, Petra employed a mechanical/electrical superintendent rather than a conventional foreman as originally contemplated by the Construction Management Agreement to ensure the success of the Project.¹⁶

1.3.5 Leadership Energy Efficient Design (“LEED”): After the Construction Management Agreement was signed, the City required that the building be constructed to obtain LEED certification. LEED certification was not contemplated in the initial Project Budget because a LEED certified building was not one of the original criteria for the City Hall. LEED issues required additional construction management work to insure compliance with the requirements. The state-of-the-art mechanical, electrical and plumbing (“MEP”) systems required for LEED certification resulted in additional construction management time and added to the cost of the overall Project.¹⁷

1.3.6 Miscellaneous Changes and Additions. In order to deal with the City’s design changes and additions, Petra had to actively manage 168 Architect’s Supplemental Instructions (“ASIs”), 2 Requests for Proposal (“RPs”) and 230 Requests for Instructions (“RFIs”).¹⁸

2. Background/Litigation Summary

This case arises out of work Petra performed as the Construction Manager on the development and construction of the Project and the City’s failure to pay Petra all of the money to which it is entitled. The City maintains that Petra was negligent in the performance of its

¹⁶ Bennett April 7, 2010 Affidavit at ¶ 33.

¹⁷ Bennett April 7, 2010 Affidavit at ¶¶ 35 through 38 and Exhibit “I” attached thereto.

¹⁸ Bennett April 7, 2010 Affidavit ¶¶ 41 and 42, Exhibit “J” and “K” attached thereto.

duties, but has failed to articulate with particularity the acts or omissions that it claims support its position.

Petra has provided the Court with admissible evidence that: (1) Petra's work was completed in accordance with the applicable standard of care as defined in the Construction Management Agreement; (2) Petra's work conformed to the terms and conditions of the Construction Management Agreement as evidenced by independent professional inspections, punch list sign-offs on the work by the Architects and City representatives and the certifications by Meridian's own building inspectors; (3) The City knew of and approved all extra labor and materials provided by the contractors and vendors as a result of the substantial changes Meridian ordered and approved for the Project, which in turn required Petra to perform additional construction management services; (4) Petra is entitled to an "equitable adjustment" of its Construction Manager's fee under the express terms of the Construction Management Agreement and Idaho law; and (5) Petra also is entitled to payment of \$126,030.04 owed by Meridian to Petra for services and reimbursable expenses under the basic terms of the Construction Management Agreement.

On September 15, 2009, Petra filed a Motion to Dismiss Meridian's Complaint under I.R.C.P. 12(b)(6) because the complaint did not contain the necessary factual allegations to make out a plausible claim. Meridian filed its response on September 28, 2009, including an affidavit by Keith Watts, the City's Purchasing Agent and its designated representative on the Project. This affidavit identified for the first time five alleged defects in the Project ("Five Defects"). Each of these defects is a warranty claim that is not Petra's responsibility. The City assumed

responsibility for managing warranty claims during February, 2009.¹⁹ The submission of the Watts affidavit to supplement the pleadings converted the motion to dismiss proceedings into summary judgment proceedings. Consequently, Petra vacated the hearing on its motion to dismiss and commenced work on a motion for summary judgment, including substantial testimonial and documentary evidence. The hearing on Petra's motion for summary judgment is set for June 7, 2010.

3. Proceedings To Date.

On April 16, 2009, Meridian filed its Complaint against Petra setting forth three counts:

- Count One for declaratory judgment seeking a judicial determination that Meridian "owes nothing with respect to Change Order No. 2" because Petra did not obtain approval for any changes prior to the commencement or provision of the services subject to the change;
- Count Two for declaratory judgment seeking a judicial determination that Petra is barred from recovery of the fees and costs identified in Change Order No. 2 because Petra did not provide Meridian with timely notice of any alleged change; and
- Count Three for declaratory judgment seeking a judicial determination that Petra breached the Construction Management Agreement by failing to provide the services required by the Construction Management Agreement.

All three counts of Meridian's Complaint were the subject of Petra's September 15, 2009 motion to dismiss pursuant to under Rule 12(b)(6) because there were no factual allegations

¹⁹ Bennett May 5, 2010 Affidavit at ¶¶ 6-8.

identifying the specific duties or responsibilities that Petra failed to perform under the Construction Management Agreement. As noted above, on September 28, 2009 Meridian filed its Memorandum in Opposition To Defendant's Motion To Dismiss. The October 5, 2009 hearing on the Motion To Dismiss was vacated by Petra because of the Affidavit of Keith Watts. Petra's motion to dismiss was based only on the pleadings. If the Court chose to consider the Watts Affidavit, Meridian effectively converted the motion to dismiss into one for summary judgment.

On August 21, 2009 Petra filed its Answer and First Amended Counterclaim ("Counterclaim") which asserted numerous defenses including but not limited to waiver and estoppel and set forth three counterclaim counts as follows:

- Count One for Meridian's breach of the Construction Management Agreement and of the covenant of good faith and fair dealing;
- Count Two for Meridian's breach of an implied-in-fact contract; and
- Count Three for Meridian's breach of an implied-in-law contract.

On October 1, 2009 Petra filed its Motion For Court Ordered Mediation and Memorandum of Law in support thereof. The City stipulated to a December 4, 2009 mediation session arranged by Petra's counsel. An unsuccessful mediation session was held December 4, 2009 because of Meridian's refusal to discuss settlement. John Magel of the Elam & Burke firm served as mediator.

- Meridian filed a Motion for Leave to File a First Amended Complaint and Add a Claim for Punitive Damages under Idaho Code § 6-1604 on March 31, 2010.

- Petra filed and served its Memorandum in Opposition to Meridian's Motion for Leave to File a First Amended Complaint and Add a Claim for Punitive Damages under Idaho Code § 6-1604 on April 7, 2010. On April 12, 2010 Petra filed and served a Substituted Memorandum as allowed by the court. Petra's opposition was supported by the Affidavits of Eugene R. Bennett, Jerald S. Frank and Thomas G. Walker.

- The hearing on Meridian's Motion for Leave to File a First Amended Complaint and Add a Claim for Punitive Damages under Idaho Code § 6-1604 was rescheduled several times. As of the date of this statement, an evidentiary hearing is scheduled to be held on June 14, 2010.

4. Facts Relevant to Petra's Performance under the Construction Management Agreement.

4.1 Petra performed its work in accordance with the applicable standard of care for construction managers.

Petra performed its work in accordance with the applicable standard of care as evidenced by the affidavit testimony of Jack K. Lemley, Jerald S. Frank, Eugene R. Bennett and Thomas R. Coughlin.²⁰ The Construction Management Agreement provides:

Construction Manager further covenants that Construction Manager will perform its services under this Agreement, in the exercise of ordinary and reasonable care and with the same degree of professional skill, diligence and judgment as is customary among construction managers of similar reputation performing work for projects of a size, scope and complexity similar to the Project.²¹

²⁰ Lemley April 30, 2010 Affidavit at ¶ 15; Frank May 4, 2010 Affidavit at ¶ 8; Bennett May 5, 2010 Affidavit at ¶ 10; and Coughlin May 5, 2010 Affidavit at ¶ 7.

²¹ Construction Management Agreement at 1.1.

4.2 Petra fully performed its duties and obligations under the Construction Management Agreement, as modified by the parties' course of dealing and course of performance.

Meridian and Petra entered into a Construction Management Agreement dated August 1, 2006 (the "Construction Management Agreement").²² The Construction Management Agreement was prepared by Franklin Lee, an attorney hired by Meridian and presented to Petra for signature with a one-week deadline for acceptance.²³ Meridian represented to Petra in the Construction Management Agreement that its maximum price was \$12,200,000 ("Project Budget") for the four-story 80,000 square foot Standard Class A office building and related improvements with surface parking.²⁴ Upon review the proposed \$12,200,000 budget, Petra notified Meridian that the Project described in Recital B and paragraph 6.2.2 of the Construction Management Agreement could not be constructed within that budget.²⁵

Under the Construction Management Agreement, Petra was retained to provide professional construction management services for the Project. Petra was not hired by Meridian as a contractor and did not provide any services as a contractor for the Project.²⁶ For purposes of summary judgment, the relevant provisions of the Construction Management Agreement are set forth below:

²² Construction Management Agreement at CM002687; Complaint at ¶ 4; Answer at ¶ 51.

²³ Bennett April 7, 2010 Affidavit ¶ 11 and Exhibit "B", Meridian City Council meeting minutes dated July 25, 2006 attached thereto as Bates Nos. CM075740.

²⁴ Construction Management Agreement at Recitals B and ¶ 4.4.1(f).

²⁵ See email from Pat C. Kershisnik, Petra's in-house counsel at the time, to Franklin Lee, Meridian's outside counsel at the time attached as Exhibit "C" to the Bennett April 21, 2010 Supplemental Affidavit at ¶¶ 2 and 3.

²⁶ Bennett April 7, 2010 Affidavit at ¶¶ 79 and 80 and reference to Construction Management Agreement at 1.1 and 4.

1.2 Authorized Representative.

Owner and Construction Manager shall designate a representative who shall be authorized to act on that parties' behalf with respect to the Project. Each party's representative shall render decisions in a timely manner in order to avoid unreasonable delay in the progress of the Project. *Each party may rely upon the directions and decisions of such representatives as the directions and decisions of the other party.* (Emphasis added.)²⁷

* * *

2.1.4 Construction Manager's Representations.

Construction Manager shall prepare all documents and provide all services required under this Agreement in such a manner that increases in Project costs resulting from Construction Manager's errors or omissions do not exceed one percent (1%) of the total construction price of the Project;

* * *

3.2.3 Owner's Duties.

Owner shall timely review documents provided by or through Construction Manager and timely render its direction, decision, consent or approval on matters identified by Construction Manager for Owner's direction, decision, consent or approval.

3.2 Owner's Duties.

3.2.4 Owner shall timely review documents provided by or through Construction Manager.

* * *

3.2.6 If Owner learns of any failure to comply with the Construction Contract by Contractor, or of any errors, omissions, or inconsistencies in the services of Construction Manager, and in the further event that Construction Manager does not have notice of the same, Owner shall inform Construction Manager.

3.4 Contractor.

Construction Manager understands that Owner plans to retain multiple prime contractors (the "Contractors") to provide construction labor, services, materials and equipment for the Project (the "Work"). The term "Contractor"

²⁷ Eugene R. Bennett was appointed Petra's designated representative and Keith E. Watts, Meridian's purchasing agent was appointed by the City as its designated representative. Frank May 4, 2010 Affidavit at ¶ 7; Bennett May 5, 2010 at ¶ 12.

means all prime Contractors retained by Owner to perform Work, but not the prime contractor's subcontractors, laborers and material suppliers.

* * *

4.1 In General.

Owner has retained Construction Manager to help it achieve the objectives set forth in Section 3.1 above by managing and coordinating the design and construction of the Project on behalf of Owner....

* * *

4.4.2 Owner shall timely review and approve or disapprove the documents set forth above. If Owner disapproves any document, Owner shall set forth the reasons therefore in writing. Construction Manager shall then revise the disapproved document as required by the reasons for disapproval and resubmit the revised document to Owner for approval, which approval shall not be withheld or delayed. This process shall repeat until Owner approves the documents set forth above.

* * *

4.4.3 Preliminary Design Phase.

If the Preliminary Price Estimate developed pursuant to Section 4.4.I(c) exceeds the Project Budget provided by Owner to Construction Manager in Section 4.4. (f), Owner may require Construction Manager, with no increase in the not-to-exceed allowance for preconstruction services set forth in Section 6.2.2(a) below, to (i) consult with Owner and Architect to identify cost saving measures and (ii) assist Architect in revising the Preliminary Design to reflect approved cost savings measures, and (iii) revise the Preliminary Cost Estimate to reflect the anticipated savings from approved cost savings measures, as necessary to bring the Preliminary Cost Estimate below the Project Budget. ***Absent clear and convincing evidence of gross negligence, and provided Construction Manager completes its obligations under this Section, Construction Manager shall not be financially responsible to Owner for the failure of the Preliminary Cost Estimate to be within the Project Budget.*** (Emphasis added.)

* * *

4.5.9 Construction Documents Phase.

As soon as practical after Architect's submission of the Construction Documents and in accordance with the Project Schedule, Construction Manager shall submit to Owner a final written estimate of the anticipated price for constructing the Project (the "Final Cost Estimate"). The Final Cost Estimate shall be detailed and shall be divided into bid packages and work categories. If the Final Cost Estimate exceeds the Maximum Price, Owner may require Construction Manager, with no increase in the not-to-exceed allowance for

preconstruction services set forth in Section 6.2.2(a) below, to (i) consult With Owner and Architect to identify cost savings measures, (ii) assist Architect in revising the Construction Documents to reflect approved cost savings measures, and (iii) revise the Final Cost Estimate to reflect the anticipated savings from approved cost savings measures, as necessary to bring the Final Cost Estimate below the Maximum Price. ***Absent clear and convincing evidence of gross negligence, and provided Construction Manager completes its obligations under this Section, Construction Manager shall not be financially responsible to Owner for the failure of the Final Cost Estimate to be within the Maximum Price.*** (Emphasis added.)

* * *

4.6.2 Bidding Phase.

If the lowest bids from qualified bidders exceeds the Maximum Price, Owner may require Construction Manager, with no increase in the not-to-exceed allowance for preconstruction services set forth in Section 6.2.2(a) below, to (i) consult with Owner and Architect to identify cost savings measures, (ii) assist Architect in revising the Construction Documents to reflect approved cost savings measures, and (iii) rebid the Work, as necessary to bring the Final Cost Estimate below the Maximum Price. Absent clear and convincing evidence of gross negligence, and provided ***Construction Manager completes its obligations under this Section, Construction Manager shall not be financially responsible for the failure of the Project to bid within the Maximum Price.*** (Emphasis added.)

* * *

5.1 Schedule of Performance.

Construction Manager shall commence the performance of its obligations under this Agreement upon Owner's notice to proceed and shall diligently and expeditiously continue its performance in accordance with the Project Schedule until all services hereunder have been fully completed.

* * *

6.1 Construction Manager's Fee.²⁸

As full compensation for Construction Manager's performance. under this Agreement, Owner agrees to pay Construction Manager a fee of Five Hundred Seventy-four Thousand and No/100ths Dollars (\$574,000.00) (the "Construction Manager's Fee") plus reimbursable expenses set forth in Section 6.2 below.....

* * *

6.3.2 Payments.

Owner shall pay Construction Manager sums properly invoiced within 30 days of Owner's receipt of such invoice. If payment is not made within thirty (30) days, the outstanding balance shall bear interest at the rate of .75% per month until paid.

* * *

7. Changes.

Changes in Construction Manager's services (**not involving a cardinal change²⁹ to the scope of the services**) may be accomplished after the execution of this Agreement upon Owner's request or if Construction Manager's services are affected by any of the following:

(a) A change in the instructions or approvals given by Owner that necessitate revisions to previously prepared documents or the reperformance of previously performed services;

²⁸ Paragraph 6 of the Construction Management Agreement divides Petra's fee into three components: (a) a fee of \$574,000 based on a total project cost estimate of \$12,200,000, or 4.7%; (b) reimbursable expenses for direct personnel expense (i.e., payroll plus related taxes, insurance and customary benefits) of the project engineer, project superintendent and project foreman; and (c) General condition reimbursables at cost. Bennett May 5, 2010 Affidavit at ¶ 11.

Reimbursable expenses are subject to adjustment under Paragraph 6.2.2 of the Agreement for material changes including: size of the structure (i.e., 80,000 square feet), complexity (i.e., four story, surface parking), project Budget (i.e., \$12,200,000), procurement method (i.e., no long lead time and/or expedited materials), and/or bidding process (i.e., two bid packages, no rebids). Bennett April 7, 2010 Affidavit at ¶13.

²⁹ Emphasis added. The Construction Management Agreement adopted the cardinal change doctrine at paragraph 7. The cardinal change doctrine provides a means for contractors to avoid contractual limitations on damages in situations where changes substantially exceed the scope of the original contract. The reference to cardinal change in Construction Management Agreement created a burden on the City as the owner of the Project and provides a means for Petra to recover additional construction manager's fees and reimbursable costs. The cardinal change doctrine developed in the federal courts as a means for government contractors to avoid contractual limitations on damages.

(b) Significant change to the Project, including, but not limited to size, quality, complexity, Owner's schedule, budget or procurement method;

(c) Construction Manager performs additional services because of active Owner interference pursuant to Section 5.2, or

(d) Preparation for and attendance at a dispute resolution proceeding or a legal proceeding except where Construction Manager is a party thereto or where the Construction Manager's performance is an issue in such proceeding.

Except as otherwise set forth in this Agreement, if any of the above circumstances materially affect Construction Manager's services, Construction Manager shall be entitled to an equitable adjustment in the Schedule of Performance, the Construction Manager's Fee and/or the not-to-exceed limits for reimbursable expenses, as mutually agreed by Owner and Construction Manager. Prior to providing any additional services, Construction Manager shall notify Owner of the proposed change in services and receive Owner's approval for the change. Except for a change due to the fault of Construction Manager, a change shall entitle Construction Manager to an equitable adjustment in the Schedule of Performance, Construction Manager's Fees and/or the not-to exceed limits for reimbursable expenses as mutually agreed by Owner and Construction Manager.

* * *

8.2 Mediation.

All Claims shall be subject to mediation as a condition precedent to the institution of legal or equitable proceedings by either party. Request for mediation shall be filed in writing with the other party to this Agreement. The request may be made concurrently with the filing of a legal or equitable proceeding but, in such event, mediation shall proceed in advance of legal or equitable proceedings, which shall be stayed pending mediation for a period of 60 days from the date of filing, unless stayed for a longer period by agreement of the parties or court order. The parties shall endeavor to mutually agree on an independent, professional mediator within 15 days of the request for mediation. The parties shall endeavor to have the mediation completed within 60 days of the request for mediation. The parties shall share the mediator's fee and any filing fees equally. The mediation shall be held in the place where the Project is located, unless another location is mutually agreed upon. Agreements reached in mediation shall be enforceable as settlement agreements in any court having jurisdiction thereof. Owner and Construction Manager agree that all parties with an interest in a Claim being mediation may be included in the mediation, including, but not limited to, Architect and Contractors. (Emphasis added.)

10.13 Time of Essence.

All times provided for in this agreement, or in any other document executed hereunder for the performance of any act will be strictly construed, time being of the essence.

* * *

10.6 Attorneys' Fees.

In the event of any controversy, claim or action being filed or instituted between the parties to this agreement to enforce the terms and conditions of this agreement or arising from the breach of any provision hereof: the prevailing party will be entitled to receive from the other party all costs, damages, and expenses, including reasonable attorneys fees, incurred by the prevailing party, whether or not such controversy or claim is litigated or prosecuted to judgment. The prevailing party will be that party who was awarded judgment as a result of trial or arbitration and determined to be the prevailing party by the judge or arbitrator.³⁰

* * *

In addition to the original Construction Management Agreement, a Construction Management Agreement for the City Hall East Parking Lot was proposed to Meridian on or about October 6, 2008.³¹ The City instructed Petra to proceed and accepted the scope of work based on Petra's proposal.³² Part of Petra's fee for these services has been paid, the balance of \$51,152.79 is past due.³³

The demolition plan referred to in Article 4.3 of the Construction Management Agreement was contained in the bid package for the demolition prepared and issued by the

³⁰ Construction Management Agreement at ¶ 10.6.

³¹ Bennett May 5, 2010 Affidavit at ¶ 17 and Exhibit 1, correspondence from Gene Bennett to Keith Watts dated October 6, 2008, Bates No. 92426.

³² See Bennett May 5, 2010 Affidavit at ¶ 19; (Petra's proposal attached as Bates Nos.92426; Keith Watts email at Bates No. CM 007019; Tom Coughlin email at Petra 78654-78655. See also Mayor's Building Committee Meeting No. 172 dated August 4, 2008; Mayor's Building Committee Meeting No. 181 dated September 8, 2008; City Purchaser Meeting Minutes No. 179 dated August 29, 2008. Building Committee Meeting Minutes and City Purchaser Meeting Minutes are attached as Exhibits M and V to April 7, 2010 Affidavit of Gene Bennett.

³³ Bennett May 5, 2010 Affidavit at ¶ 21 and Exhibit 3 report on parking lot costs at Bates No. Petra 94145. Quapp May 5, 2010 Affidavit at ¶ 6.

Architect, Petra and the City.³⁴ The actual written site specific work plan was provided by the demolition contractor and transmitted to Ted Baird, Deputy City Attorney.³⁵ The documents included: (1) Original Version of Demolition Bid Package #CH-06-001,³⁶ (2) Mark-up Version of Demolition Bid Package #CH-06-001,³⁷ (3) Petra Transmittal #007 to COM – Ted Baird, dated 10/26/06,³⁸ and (4) Ideal Demolition Services Site Specific Work Plan, dated 10/19/06.³⁹

Petra's compliance with the Construction Management Plan, Project Schedule and Project Budget as referenced in Article 4.7.3 of the Construction Management Agreement is evidenced by the documents produced in this case which confirm that Petra organized and conducted Weekly Job Progress Meetings and the Mayor's Building Committee meetings.⁴⁰ Petra held regularly scheduled weekly progress meetings with the prime contractors, architects and City representatives to monitor, review and report on all aspects of the Project, including quality issues, coordination, design or constructability issues, approvals, safety, Leadership Energy Efficient Design ("LEED") silver certification, and other items as required.⁴¹

In addition Petra and Lombard-Conrad Architects, P.A. ("LCA") typically met with Meridian City Council and staff at a monthly City Council workshop or meetings starting April

³⁴ Bennett May 5, 2010 Affidavit at ¶¶ 19-21 and Exhibit 4, the original version of Bid Package #CH-06-001 attached as Bates Nos. 93034-93063, Exhibit 5, marked up version of Bid Package, Bates Nos. 93064-93093, and Exhibit 6, Transmittal 00007 and Site Specific Work Plan.

³⁵ Bennett April 7, 2010 Affidavit and Exhibits M, N, and V attached thereto (Minutes of Meetings), Bennett May 5, 2010 Affidavit at ¶¶ 24 and 25; and Exhibits 4-6, Transmittal #007, and Site Specific Work Plan attached thereto as Bates Nos. 93094-99.

³⁶ Bennett May 5, 2010 Affidavit at ¶ 25 and Exhibit 4, Bates Nos. 93034-63.

³⁷ Bennett May 5, 2010 Affidavit at ¶ 25 and Exhibit 5, Bates Nos. 93064-93.

³⁸ Bennett May 5, 2010 Affidavit ¶ 25 and Exhibit 6, Bates No. 93094.

³⁹ Bennett May 5, 2010 Affidavit at ¶ 25 and Exhibit 6, Bates Nos. 93095-99.

⁴⁰ Bennett April 7, 2010 Affidavit and Exhibits M and N.

⁴¹ See Bennett April 7, 2010 Affidavit and Exhibit L Meeting Minutes List detailing all meetings held on this matter, not including the City Council and Executive Sessions that the City had Petra attend and provide reports at Bates Nos. Petra 94412 through 94416.

2007 to discuss design, scheduling, budget and City action items.⁴² In addition, from December 2007 through November 2008, Petra presented a report during the monthly City Council meetings.⁴³ Numerous design and constructability issues were addressed through Requests for Information (“RFIs”), Requests for Proposal (“RPs”), and Architect’s Supplemental Instructions (“ASIs”).⁴⁴

In discharging its duties identified in Section 4.7.9 of the Construction Management Agreement to protect Meridian from “continuing deficient or defective Work. . .,” Petra had, at the minimum, one full-time superintendent on site during the initial Project period.⁴⁵

As the Project progressed, Petra provided additional supervision to monitor and coordinate the Mechanical, Electrical and Plumbing (“MEP”) work and Leadership Energy Efficient Design (“LEED”) compliance. Notably, an under floor HVAC duct plenum and a LEED certified building was not one of the criteria included in the Construction Management Agreement.⁴⁶ Petra also provided a full time superintendent to oversee and coordinate the Plaza construction due to the time constraints and fast track nature of the Plaza portion of the Project.⁴⁷

During the construction LCA and the engineers conducted periodic site inspections and produced site inspection reports.⁴⁸ LCA’s contract also included a duty of inspection and they

⁴² Bennett April 7, 2010 Affidavit at ¶ 67 and Exhibits M, N and V attached thereto.

⁴³ Petra’s Monthly Progress Reports: February 2008, Exhibit H to Bennett April 7, 2010 Affidavit and Excerpts of all other monthly reports through November 2008, April 7, 2010 Bennett Affidavit at ¶ 51 and Exhibit P.

⁴⁴ Bennett April 7, 2010 Affidavit at ¶ 69; see ASI and RFI logs attached thereto as Exhibits J and K.

⁴⁵ Bennett April 7, 2010 Affidavit at ¶ 70 through 72.

⁴⁶ Bennett April 7, 2010 Affidavit at ¶ 71.

⁴⁷ Bennett April 7, 2010 Affidavit at ¶ 72.

⁴⁸ Bennett April 7, 2010 Affidavit at ¶ 73. See also Bennett May 5, 2010 Affidavit at ¶ 22 and Exhibit 7, LCA and Design Team Field Reports attached thereto as Bates Nos. Petra 85953-86013.

signed off on the Project as well.⁴⁹ Heery International, Inc., the commissioning agent hired by the City, conducted periodic onsite inspections.⁵⁰ Continuously throughout the construction Project, Petra coordinated with City inspectors and Materials Testing & Inspection (“MTI”) to insure that special inspections were performed as required.⁵¹ MTI produced and submitted inspection reports for steel, concrete, soil compaction and masonry attesting that the work met specifications.⁵²

Regarding the additional services required for the LEED certification Meridian agreed Petra would be compensated for the work.⁵³ The cost for reimbursables and additional time required for the LEED activities has been reimbursed.⁵⁴

In August 2008, Keith Watts, the City’s designated representative, directed Petra to include selected extra work order items or project general conditions items as part of the monthly billing as reimbursable costs.⁵⁵ These charges were included in the pay applications.⁵⁶ Payment

⁴⁹ Bennett April 7, 2010 Affidavit at ¶ 74 and at ¶ 91 and Exhibit X, copy of Pay application No. 17, CM001532 through CM00173, containing the Architect’s certification. See also Bennett May 5, 2010 Affidavit at ¶ 25 and Exhibit 8 LCA Contract for the project describing the duty of inspection attached thereto as Bates Nos. 96867-96782 at paragraphs 4.3.2, 4.3.4, 4.4. 4.6.5, 4.6.6, 4.6.7,

⁵⁰ Bennett April 7, 2010 Affidavit at ¶ 75. The commissioning agent is Heery International whose responsibility is to verify systems work (Mechanical and Electrical).

⁵¹ See Bennett May 5, 2010 Affidavit at ¶ 26 and Exhibit 9 (budget report to City on July 12, 2007 at Bates Nos. 60729); see email communication with MTI discussing working together on the difficulties with project based on water issues attached thereto as Exhibit 10 Bates Nos. 82273-74

⁵² See samples of reports and testing attached thereto as Bates Nos. Petra 91737-40 and 85747-51 attached as Exhibit BB to Bennett April 7, 2010 Affidavit.

⁵³ Bennett May 5, 2010 Affidavit at ¶ 33.

⁵⁴ Bennett May 5, 2010 Affidavit at ¶¶ 34 and 35.

⁵⁵ Bennett April 7, 2010 Affidavit at ¶ ¶ 94 through 107 regarding discussion on General Conditions practice; Bennett May 5, 2010 Affidavit at ¶ 36 and Exhibit 47 (Pay Application MCH 023 September 2008 as Bates Nos. CM002483 through CM002654); Coughlin May 5, 2010 Affidavit at ¶ 10.

⁵⁶ Bennett May 5, 2010 Affidavit at ¶ 37 and Coughlin May 5, 2010 Affidavit at ¶ 11. See also Exhibit 11.

of some of these invoices from various vendors is seriously overdue and is awaiting payment from the City.⁵⁷

4.3 The City's changes increased the complexity of the Project.

The City's changes increased the complexity of the Project, including the following:

- The discovery and supervision of the removal and replacement of contaminated soils and materials, disposal of hazardous waste and monitoring of contaminated groundwater required additional Petra resources and time.⁵⁸ The existence of the contamination was not disclosed by the City to Petra prior to execution of the Construction Management Agreement.

- The City Hall building was increased in size from 80,000 square feet to 104,000 square feet and the configuration was changed from four story above-ground structure to a three story structure with a basement.⁵⁹

- The City increased the size of the City Council chambers, which dictated column to beam moment welds in four directions throughout the structure, which was more than the two directional moment welds that were initially anticipated by the Design Team.⁶⁰ This change added time to the Project during the rainy season when cold temperatures and wet conditions made it more difficult to weld.⁶¹

- The City's delayed request to have an exterior that would stand the "test of time" dictated the use of stone and brick that is a more expensive and time consuming construction

⁵⁷ Bennett May 5, 2010 Affidavit at ¶ 38; and Exhibit 11 attached thereto, Aged A/R report showing Meridian City Hall Job accounts receivable report, the monthly breakdown on money owed and the vendors still due to be paid from the money owed by the City attached thereto as Bates No. Petra 94146-148 and 94145.

⁵⁸ Bennett April 7, 2010 Affidavit at ¶ 45.

⁵⁹ Bennett April 7, 2010 Affidavit at ¶ 28.

⁶⁰ Bennett April 7, 2010 Affidavit at ¶ 29.

⁶¹ Bennett April 7, 2010 Affidavit at ¶ 30.

method than typically used on other Class A commercial buildings. After the Construction Management Agreement was signed, the City Council decided it wanted a 200-year structure.⁶²

- The City ordered that mechanical system be upgraded to state-of-the-art incorporating access floor/under floor duct throughout the building with a two pipe hydronic system providing under floor control to individual VAV boxes at individual work stations, which provides the better control, comfort, and flexibility for future office changes compared to the usual rooftop system with the single thermostat for large work areas.⁶³

- The City also required that the electrical system be upgraded to state-of-the-art with “daylight harvesting” controls, CO₂ monitoring, standby generator and UPS systems – all requiring additional time to install.⁶⁴

- Because of the complexity of the upgraded mechanical and electrical systems, Petra employed a mechanical/electrical superintendent in lieu of a standard construction foreman to ensure the success of the Project.⁶⁵

- After the Construction Management Agreement was signed, the City decided that it wanted the building to qualify for LEED certification. The certification process required additional construction management work to insure compliance with the LEED requirements.⁶⁶

- LEED certification was not contemplated at the time the initial budget was set

⁶² Bennett April 7, 2010 Affidavit at ¶ 31; see also Mayor DeWeerd’s public comments during the City Hall grand opening ceremony. Frank April 7, 2010 Affidavit at ¶ 10.

⁶³ Bennett April 7, 2010 Affidavit at ¶ 32.

⁶⁴ Bennett April 7, 2010 Affidavit at ¶ 33.

⁶⁵ Bennett April 7, 2010 Affidavit at ¶ 34.

⁶⁶ Bennett April 7, 2010 Affidavit at ¶ 35.

because a LEED certified building was not one of the original criteria for the facility.⁶⁷

- The certification for LEED required a state-of-the-art mechanical, electrical and plumbing (“MEP”) system which added complexity, cost and time to the overall Project.⁶⁸

- The City ordered the addition of an extensive and elaborate plaza design that had to be value engineered and re-bid. The re-bid and delayed start on construction required additional coordination and re-sequencing of activities.⁶⁹

- The late addition by the City of the east parking lot required extra coordination and revision to the interface with the plaza. Petra maintained a superintendent full time after the completion of the Project in October 2007 to manage the construction of the East Parking Lot pursuant to the direction of Keith Watts, the City’s designated agent.⁷⁰

- Petra had to actively manage changes resulting from 168 Architect’s Supplemental Instructions (“ASIs”), two Proposal Requests (“PRs”), 230 Requests for Information (“RFIs”) and miscellaneous City requested changes.⁷¹

- The majority of these changes resulted from the City’s design driven changes or site conditions that the City did not disclose to Petra prior to execution of the Construction Management Agreement.⁷²

- The management and supervision of these changes increased the complexity of

⁶⁷ Bennett April 7, 2010 Affidavit at ¶ 36.

⁶⁸ Bennett April 7, 2010 Affidavit at ¶ 37 and Exhibit I attached thereto.

⁶⁹ Bennett April 7, 2010 Affidavit at ¶ 39.

⁷⁰ Bennett April 7, 2010 Affidavit at ¶ 40.

⁷¹ Bennett April 7, 2010 Affidavit at ¶ 41 at Exhibits J and K.

⁷² Bennett April 7, 2010 Affidavit at ¶ 43.

sequencing and scheduling.⁷³

- The City continued to direct that Petra implement changes to the Project even after the October 15, 2008 substantial completion date.⁷⁴

4.4 The City's changes increased the cost of the Project by \$9.6 million, or 79%.

Meridian represented in the Construction Management Agreement that the Project Budget as described in the Construction Management Agreement was \$12,200,000.⁷⁵ This budget was established by Meridian in order to negotiate the Construction Management Agreement and was based upon the City's initial concept prior to the preparation of any drawings or specifications.⁷⁶

On January 10, 2007, Petra presented the City with a preliminary cost estimate of \$15,474,160 for the building and \$16,794,426 for the entire Project based on the 20% Shell & Core documents.⁷⁷ The 20% documents consisted of building floor plans and elevations and did not include structural, MEP or Plaza documents and was for a 104,000 square foot, three story structure with a basement. The City, represented by Councilman Keith Bird, stated that the City would find the extra \$2,275,000 and the City directed Petra and LCA to continue their work.⁷⁸

⁷³ Bennett April 7, 2010 Affidavit at ¶ 44.

⁷⁴ Bennett April 7, 2010 Affidavit at ¶ 44.

⁷⁵ Construction Management Agreement at Recitals B and ¶ 4.4.1(f).

⁷⁶ Bennett April 7, 2010 Affidavit at ¶ 14.

⁷⁷ Bennett April 7, 2010 Affidavit at ¶ 16 and Exhibits D and E attached thereto (Keith Watts Timeline at Petra Bates No. 93028) and (initial budget dated January 15, 2007 at Bates Nos. CM088801), respectively.

⁷⁸ Bennett April 7, 2010 Affidavit at ¶ 19 and Exhibit D (Keith Watts Timeline at Bates No. Petra 93028).

On February 12, 2007 Petra updated the cost estimate based on 60% Shell & Core drawings and 20% MEP drawings. Petra then estimated the cost of the building at \$16,254,033.⁷⁹

On February 26, 2007 Petra presented \$2.6 million in value engineering suggestions which included deleting the basement (\$1 million savings), removing the south wing (\$800,000 savings) and various other suggestions (\$812,000 savings).⁸⁰ Mayor DeWeerd stated that Council has expressed that they want a full building as designed and Councilman Bird confirmed that the City needed to stay with the larger building footprint and under floor HVAC system.⁸¹ At that meeting the City again directed LCA to finish the plans and Petra to prepare for public bidding.⁸²

As the design progressed the Project Budget was increased to account for the site contamination abatement, mechanical and electrical system upgrades, upgraded plaza features, interior drywall partitions, furniture, fixtures and equipment, including security systems, audio visual systems, telecommunications systems and interior signage package.⁸³

As of February 2008 the final project cost estimate of \$21,773,069.94 was established and approved by the City Council.⁸⁴ Between the initial cost estimate given by Petra to the City in January 2007 and the final cost estimate established as of February 2008, periodic updates

⁷⁹ Bennett April 7, 2010 Affidavit at ¶ 20.

⁸⁰ Bennett April 7, 2010 Affidavit at ¶ 22 and Exhibit G attached thereto (representing Value Engineering Options provided to the City of Meridian).

⁸¹ Bennett April 7, 2010 Affidavit at ¶¶ 23 and 24.

⁸² Bennett April 7, 2010 Affidavit at ¶ 25.

⁸³ Bennett April 7, 2010 Affidavit at ¶ 25 and Exhibit H attached thereto (February, 2008 Monthly Report representing an example of the reports provided to the City of Meridian from December 2007 through November 2008. See also Bennett May 5, 2010 Affidavit at ¶¶ 47-49.

⁸⁴ Bennett April 7, 2010 Affidavit at 46.

were provided to and reviewed with the Mayor, the City Council, Keith Watts, and City staff during the meetings of the Mayor's Building Committee and City Council workshop meetings.⁸⁵

The final cost estimate included a line item of \$376,808 as an estimate of Petra's construction manager's fee for extra work that was subsequently requested in Change Order No 2.⁸⁶ This line item was initially included in the cost estimate as of August 28, 2007.⁸⁷ All cost estimates, budgets, bids and contract awards were received and approved by the City.⁸⁸

The \$9.6 million, or 79%, increase from the initial Project Budget of \$12.2 million to the final estimate of \$21,773,069.94 was a direct result of increases in scope, size and complexity driven by City requirements.⁸⁹ Ultimately the Project was completed for \$21,513,416.34, \$259,653.60 under the final cost estimate.⁹⁰

Notwithstanding numerous value engineering recommendations made by Petra and LCA, which Meridian chose not to implement, the City did not at any time during the Project period direct Petra, LCA or any of the contractors or suppliers to stop implementing the numerous changes it had ordered and approved.⁹¹ At no time during the Project did the City provide any direction that the design needed to be revised or changed significantly to reduce the cost of the

⁸⁵ Bennett April 7, 2010 Affidavit at ¶ 47, and Exhibits L, M and N attached thereto. See also Exhibit P to Bennett's April 7, 2010 Affidavit (excerpts of all monthly reports provided to the City of Meridian showing budget updates).

⁸⁶ Bennett May 5, 2010 Affidavit at ¶ 40; Coughlin May 5, 2010 Affidavit at ¶ ¶ 10 and 11 and Exhibits 13 and 14.

⁸⁷ Bennett April 7, 2010 Affidavit at ¶ 50 and Exhibit O attached thereto, showing amount listed as \$367,408 as of August 28, 2007 for the additional CM fee based on project scale changes.

⁸⁸ Bennett April 7, 2010 Affidavit at ¶ 51. See also Bennett May 5, 2010 Affidavit, copies of City of Meridian Conditional Notice of Awards; 32 contractors attached thereto as Bates Nos. 91243-274.

⁸⁹ Construction Management Agreement at Recitals B and paragraph 6.2.2 compared to final scope of approved work by the City described in the April 2008 Monthly. See excerpt attached as Exhibit P to Bennett April 7, 2010 Affidavit.

⁹⁰ Bennett April 7, 2010 Affidavit at ¶ 54 and Exhibits S and T attached thereto (Final Pay Application No. 30 in April 2008 and Final Cost Estimate Summary).

⁹¹ Bennett April 7, 2010 Affidavit at ¶ 58.

Project.⁹² Importantly, Meridian did not at any time during the Project period inform Petra that it did not intend to pay Petra in full for the extra services it was required to render as construction manager for the greatly expanded and upgraded Project.⁹³ The first time Petra learned that Meridian was refusing to pay for its extra services identified in Change Order No. 2 was on February 24, 2009.⁹⁴

4.5 The City ordered extra services from Petra

In addition to the increased size, complexity and budget for the Project as a result of City driven requirements, the City had Petra coordinate the design, procurement and construction of several furniture, fixture and equipment (“FF&E”) items that were not originally included in the \$12.2 million Project Budget.⁹⁵ This included audio/visual systems, telecommunications, security systems, interior signage and appliances.⁹⁶ At the City’s request, Petra also helped coordinate the installation of the City supplied furniture and phone data equipment.⁹⁷

4.6 The cumulative effect of all factors required extra services and materially increased Petra’s costs.

The cumulative effect of all factors, including those listed above required extra services and materially increased Petra’s costs.⁹⁸ For example, increases in the size, complexity and budget contributed to an increase in the total man-hours expended, including man-hours expended dealing with design issues related to groundwater issues such as drainage systems,

⁹² Bennett April 7, 2010 Affidavit at ¶ 59.

⁹³ Bennett May 5, 2010 Affidavit at ¶ 44.

⁹⁴ Bennett May 5, 2010 Affidavit at ¶ 45; and Exhibit 16 (letter from City of Meridian dated February 24, 2009).

⁹⁵ Bennett May 5 2010 Affidavit at ¶ 47.

⁹⁶ Bennett May 5, 2010 Affidavit at ¶ 48.

⁹⁷ Bennett May 5, 2010 Affidavit at ¶ 49.

⁹⁸ Bennett April 7, 2010 Affidavit at Exhibit O.

basement or no basement; mechanical and electrical systems designs and scope additions.⁹⁹ As the complexity and size increased, the budget increased to reflect a much larger more complex building.¹⁰⁰ The budget increases also reflected the additional scope added to the Project by the City and design clarifications; and Petra expended substantial additional manpower dealing with these scope additions and clarifications.¹⁰¹

Petra assigned additional personnel to deal with the LEED certification requirements, documentation, and coordination of the MEP systems.¹⁰²

The City's decision to proceed with the bidding and construction of the Project before the construction documents were complete meant that multiple bid and award processes were required, i.e., four instead of the two originally contemplated by the Construction Management Agreement.¹⁰³ The fast-track nature of the Project also contributed to the increase in the budget

⁹⁹ *Id.* See also Bennett May 5, 2010 Affidavit at ¶ 50 and Exhibit 17. See cost and schedule Impacts for dewatering system and deleting basement; Petra email memo to Brad Watson dated March 2, 2007 at Bates Nos. Petra 88419-20; Building Options in Petra email memo to Steve Simmons of LCA dated April 3, 2007 at Bates Nos. Petra 88428-30; Building Elevation for raising the building four feet out of the water table. LCA memo to Will Berg dated April 12, 2009 Bates Nos. 88680.

¹⁰⁰ Bennett May 5, 2010 Affidavit at ¶ 51.

¹⁰¹ Bennett April 7, 2010 Affidavit and Exhibits J and K attached thereto.

¹⁰² Bennett May 5, 2010 Affidavit at ¶ 52.

¹⁰³ Bennett May 5, 2010 Affidavit at ¶ 53; and Exhibit 18, re discussions that bidding began prior to all construction documents being completed and because the Plaza has to be redesigned and rebid based on the cost; see Bid Results and Recommendations- Phase 1 Demolition Bid Results CH-06-001 dated October 10, 2006 attached thereto as Bates Nos. 88425-26; Phase 2 Shell and Core advertisement for bid dated May 13, 2007, Bates Petra 86632-33, Phase 2 Shell & Core Bid Result & Cost Summary, Bates No 86043, Phase 3 Advertisement for Bid, dated 6/6/07, Bates No 86686-87, Phase 3 TI's & MEP's Bid Package Summary 7/12/07, Bates No 86881, Phase 3 TI's & MEP's Bid Package Summary 7/12/07 Revised, Bates No 86098, Phase 3 TI's & MEP's Bid Package Summary 7/26/08, Bates No 86132, Phase 3 Advertisement for Re-bid - A/V Systems & Security, Bates No 86384, Phase 3 TI's & MEP's Bid Package Summary with A/V & Security System Bid Results, Bates No 86330-34, Phase 3 Interior Signage Bid Recommendations, 6/9/08, Bates No 88421, Phase 3 Final Cleaning Advertisement for Bid, 7/3/2008, Bates 86463-64, Phase 3 Final Cleaning Bid Recommendations & Results, 7/28/08, Bates No 86467, 86235-36, Phase 4 Plaza & Site Advertisement for Bid, Bates No 87015, Phase 4 Plaza & Site Bid Package Summary 11/29/08, Bates No 86168, Phase 4 Plaza & Site Bid Recommendations, 12/12/07, Bates No 88423, Phase 4 Plaza & Site Re-Bid Package Summary, 3/27/08, Bates No 86046, Phase 4 Plaza & Site Re-Bid

and the amount of time required to coordinate the work and documentation.¹⁰⁴

From time to time the City actively interfered with the progress of the Project, primarily by imposing last minute changes that required a significant number of design changes.¹⁰⁵ Petra worked with the City's Design Team and contractors to manage the effect of the changes and keep the October 15, 2008 target completion date.¹⁰⁶ The changes having the largest single impact on the project schedule were the soil contamination remediation, the Mayor's Suite Redesign/Relocation (PR-1) and the Plaza Design/Redesign.¹⁰⁷ The changes to the Plaza required it to be bid twice and the start of construction being pushed to the spring of 2008.¹⁰⁸

Initial design review of the conceptual construction documents were performed in joint meetings with the City, LCA, Engineering, Inc., Eidam, Hatchmueller, Stapley Engineering, Elk Mountain Engineering and Heery. Upon the issuance of the 60% Core & Shell drawings, Petra distributed the drawings for the peer review, value engineering input, and costing to the following professionals /contractors:¹⁰⁹

Recommendations, 4/4/08, Bates No 86218, Phase 5 East Parking Lot Advertisement for Bid, 8/11/08, Bates No 87283, Phase 5 East Parking Lot Bid Package Summary 8/28/08, Bates No 87293.

¹⁰⁴ Coughlin May 5, 2010 Affidavit at ¶ 14.

¹⁰⁵ Bennett April 7, 2010 Affidavit at Exhibit J. See ASI log previously showing volume of daily contacts and changes and interactions on the project. See also Coughlin May 5, 2010 Affidavit ¶¶ 17 and 18 and Exhibit 19.

¹⁰⁶ Bennett April 7, 2010 Affidavit at Exhibits at L, M, N and V demonstrating regular and frequent, contact between the various involved groups and the Petra representatives and the City of Meridian personnel.

¹⁰⁷ Coughlin May 5, 2010 Affidavit at ¶ 15.

¹⁰⁸ Coughlin May 5, 2010 Affidavit at ¶ 16 and Exhibit 20 thereto. Phase 4 Plaza & Site Advertisement for Bid, Bates No. Petra 88377; Phase 4 Plaza & Site Recommendations December 12, 2007, Bates No 88423; Phase 4 Plaza & Site Re-Bid Recommendations, April 4, 2008, Bates No 86218.

¹⁰⁹ Bennett May 5, 2010 Affidavit at ¶¶ 55 & 56 and Exhibit 21 (Transmittal Log maintained by Petra 92543-92813). 60% Shell and Core and 30% MEP Drawings: specifically, Masonry – TMC, Transmittal #0032, dated 2/2/07 & Mickelson, Str Steel & Deck – Mountain Steel, Transmittal #0031, dated 2/1/07 & Tombari, Transmittal #0027, dated 1/30/08, Doors & Hardware – ABS, Transmittal #0020, dated 1/30/08, Drywall & Acoustical – PS&G, #0018, dated 1/30/09 & ISI, #0028, dated 1/31/07, Glass & Glazing – Custom Glass, #0017, dated 1/29/07, Roofing – Western Roofing, #0019, dated 1/30/07, Elevators – Schindler, #0025, dated 1/30/07, Cabinetry – Idaho Custom Woodwork, #0024, dated 1/30/07, Flooring – Flooring America, #0026, dated 1/30/07, Demountable Walls –

Masonry	TMC & Mickelson
Str Steel & Deck	Mountain Steel & Tombari
Doors & Hardware	ABS
Drywall	PS&G and ISI
Glass & Glazing	Custom Glass
Roofing	Western Roofing
Elevators	Schindler
Cabinetry	Idaho Custom Woodwork
Flooring	Flooring America
Demountable Wall	Nordwall
Access Flooring	Barclay-Dean
Fire Sprinklers	TVFP
Plumbing	DeBest
HVAC	TML
Electrical	Mountain Power

Input from these professionals was included in the subsequent cost estimates dated February 12, 2007, value engineering suggestions, and plan modifications.¹¹⁰

On-going review and coordination efforts by the construction team is best evidenced by the questions forwarded in the 230 RFI's issued and answered during the course of the Project.¹¹¹

Nordwall & Business Systems of Idaho, #0029, dated 1/31/07, Access Flooring – Barclay-Dean, Fire Sprinklers – TVFP, #0023, dated 1/30/07, Plumbing – DeBest, 60% Shell & Core, #0021, dated 1/30/07 & 30% TI & MEP, #0037, dated 2/16/07, HVAC – TML, 60% Core & Shell & 30% MEP #0016, dated 1/29/07 & 30% TI & MEP, #0036, dated 2/16/07, Electrical – Mountain Power, 60% Core & Shell / 30% MEP, #0022, dated 1/30/07, City of Meridian, Keith Watts 60% Core & Shell / 30% MEP, Transmittal #0015, dated 1/29/07, and the Design Review Items were addressed in the following meetings and correspondence: Electrical Design Review Meeting with EE #0006, dated 2/16/07, Bates No 50769-70, Mechanical Engineering Review Meeting #0007, dated 2/19/07, Bates No 50776, Civil Engineering Review Meeting #0014, dated 3/14/07, Bates No 50777, Transmittal #0038 to COM – Brad Watson with Design Review Meeting Minutes, dated 2/20/07, Bates No 88795, Petra Email Memo to COM Brad Watson, Dewatering Issue Recap, dated 3/26/09, Bates No 88419-20, Petra Email Memo to LCA Steve Simmons, Cost & Schedule Issue related to Design, dated 4/3/09, Bates No 88428-30, VE Item Summary, Bates No 50202, Mayors Building Committee Meeting No 0005, dated 2/12/07, Bates No 50360-61, Mayors Building Committee Meeting No 0009, dated 2/26/07, Bates No 50362-64, Mayors Building Committee Meeting No 0013, dated 3/12/07, Bates No 50365-66, Mayors Building Committee Meeting No 0015, dated 3/19/07, Bates No 50367, Mayors Building Committee Meeting No 0017, dated 3/26/07, Bates No 50368-69, Design Coordination Interoffice Memo, dated 3/19/07, Bates No 88715.

¹¹⁰ Bennett May 5, 2010 Affidavit at ¶ 58; all noting that changes were added, but many were not included by the City. See information on Options and Value Engineering dated February 20, 2007 at Bates Nos. Petra 50202 and Value Engineering bathroom estimate at Bates Nos. Petra 50209.

¹¹¹ Bennett May 5, 2010 Affidavit at ¶ 60. See also Bennett April 7, 2010 Affidavit at Exhibit K.

Coordination issues were also covered as needed in the Weekly Construction Progress meetings.¹¹²

4.7 Value engineering was conducted throughout the Project up through and including building commissioning.

Value engineering was conducted throughout the Project up through and including building commissioning.¹¹³ Correspondence between Petra and general contractors is included in their individual correspondence files, ASI files, RFI files, and change order files.¹¹⁴ The following are the major value engineering items:

- Reduction in the amount of stone used in the building veneer was discussed at the meeting of February 12, 2007.

01/22/07 Estimate:	\$ 2,017,385
04/3/07 Bid	<u>1,584,760</u>
Savings	\$ 432,625 ¹¹⁵

- Alternate supplies of access flooring. Solicited help from Gary Christensen to put pressure on suppliers to provide pricing similar to Banner Bank.

02/12/07 Estimate	\$ 739,518
04/3/07 Bid	<u>528,800</u>
Savings	\$ 210,718 ¹¹⁶

¹¹² Bennett April 7, 2010 Affidavit at ¶ 67 and Exhibit N.

¹¹³ Bennett May 5, 2010 Affidavit at ¶ 61; and Exhibit Value Engineering items option summaries dated August 13, 2007 at Bates No. Petra 93129 and August 31, 2007 at Bates No. Petra 93130.

¹¹⁴ Bennett April 7, 2010 Affidavit at Exhibits J, K, P and Q. Change Orders were also listed in each Monthly report as part of the Contingency Allocation from April 2008 through November 2008. See also Bennett May 5, 2010 Affidavit at ¶ 63 and Exhibit 24.

¹¹⁵ See Bennett April 7, 2010 Affidavit at Exhibit M (Mayor's Building Committee Meeting Minutes at Bates 50362-64).

¹¹⁶ Bennett May 5, 2010 Affidavit at ¶ 64 and Exhibit 25. (LCA and Petra emails as Bates Nos. 82261-62 and 82269-72.)

- Mayor’s Building Committee Meeting February 12, 2007 – HVAC System Design – Concerns were expressed that similar systems in Boise were not performing correctly.¹¹⁷ Further investigations were conducted and information transmitted to the City on February 15, 2007 and February 27, 2007.¹¹⁸ Shortcomings of previous installations were addressed by the Design Team including individual supply/control at perimeter wall and elimination of plastic actuators.¹¹⁹

- Mayor’s Building Committee Meeting February 26, 2007 – Value Engineering / Peer Review Recommendations –

Value Engineering Items	\$ 812,353
Delete Basement	1,000,000
Delete South Wing	870,634
Unfinished Unassigned Areas	254,830

- Mayor’s Building Committee Meetings – March and April 2007. The building as designed had the basement into the ground water table. As contaminated dirt cleanup progressed during the month of March 2007, it became apparent that the contaminated soil on site had a clay underlayment which was protecting the groundwater table from the contaminated soil. Penetrating the clay layer to construct the basement would have put the City at risk for a multi-million dollar cleanup program. Consequently, Petra recommended the building be raised four

¹¹⁷ Frank May 4, 2010 Affidavit at ¶ 6; Bennett May 5, 2010 Affidavit ¶ 65 and Exhibit 26. (Bates Nos. 50362-64 and Petra email dated February 15, 2007 attached as Bates Nos. 88374 and email memo dated February 27, 2009 as Bates Nos. 88368-69 and 88375; see also Mayor’s Building Committee Meeting #005 dated February 12, 2007 at Bates Nos. Petra 50360-50361.

¹¹⁸ *Id.*

¹¹⁹ Frank May 4, 2010 Affidavit at ¶ 6; Bennett May 5, 2010 Affidavit at ¶ 69 and Exhibit 27. See also Petra E-mail memo from Wes Bettis to Will Berg, Ted Baird, Tammy de Weerd, Keith Watts, Keith Bird & Brad Watson, dated 2/15/07 CM020286-020287 regarding Engineering, Inc.

feet to eliminate that risk.¹²⁰ The City approved this value engineering suggestion and the drawings were modified to raise the building four feet.¹²¹

- Mayor's Building Committee Meetings June/July/August 2007. Numerous value engineering suggestions were offered by Petra and LCA during the months of June, July, and August 2007.¹²² These suggestions were summarized with a total savings of \$634,302 and given to the Mayor's Building Committee.¹²³ Items selected by the City included reducing the quantity of cabinets (\$5,480 savings), reducing the quantity of data drops (\$40,727 savings) and primary electrical feeder redesign (\$12,471 savings).

4.8 The "Owners Criteria" as outlined in the Construction Management Agreement was never formally prepared by the City.

Regarding Article 4.2 of the Construction Management Agreement, the "Owners Criteria" as outlined in 3.2.2 was never formally prepared by the City or submitted to Petra. In any event, the Development Strategies Phase of the Construction Management Agreement was accomplished through bi-weekly meetings with the City, LCA, Engineers and Petra. These

¹²⁰ See Bennett April 7, 2010 Affidavit at ¶ 49 and Exhibits M and N; See meeting minutes No. 19, dated April 2, 2007, Item 00006 at Bates Nos. 50370-71. See also Bennett May 5, 2010 Affidavit at Exhibit 17.

¹²¹ See Bennett May 5, 2010 Affidavit at ¶¶ 71-74 at Exhibits 28 and 29 (LCA memo to COM dated April 12, 2007 attached thereto as Bates No. 88680 and City Council Pre Council Meeting Minutes dated April 10, 2007 at Bates Nos. CM 077073, 077078 to 077091).

¹²² See Bennett April 7, 2010 Affidavit at ¶ 49. See also Bennett May 5, 2010 Affidavit ¶ 77 and Exhibit 30 (Contractor, Petra and LCA correspondence concerning Value Engineering attached thereto as Bates Nos. 82269-72, 86447-49, 91182, and 91184-94 and Value Engineering suggestions to the city on August 13, 2007 at Bates Nos. 86426-86428).

¹²³ See Bennett April 7, 2010 Affidavit at ¶¶ 22 and 23. See also Bennett May 5 Affidavit at ¶ 78 and Exhibit 31; August 31, 2007 at Bates Nos. Petra 93129-93130; see meeting minutes No.68 dated August 13, 2007 attached hereto as Bates Nos. 50405-06 and meeting minutes No.71 dated August 27, 2007 attached thereto as Bates Nos. 50407-08; see meeting minutes No.74 dated September 17, 2007 attached thereto as Bates Nos. 50411-12.

meetings resulted in the program for the Project which was delivered by LCA to the City on August 16, 2006.¹²⁴

From this baseline program, tours were conducted by LCA, Petra, and the City viewing the types of structures being built in the Treasure Valley. From these tours, the City decided on a structure with features similar to the Banner Bank building in Boise.¹²⁵ Twenty percent shell and core drawings were prepared by LCA and delivered to Petra in December 2006, and the initial cost estimate was given to the City on January 15, 2007, with an updated version on February 12, 2007 based on peer review comments.¹²⁶ At the meeting of February 26, 2007 Value Engineering Options were reviewed and LCA was authorized to finish the construction documents “as designed” for bidding in April.¹²⁷

An initial Construction Management Plan was provided to the City on January 22, 2007 and updated on May 9, 2007.¹²⁸

¹²⁴ See Bennett May 5, 2010 Affidavit at ¶¶ 80 and 81 and Exhibit 32; see LCA Programming Documents revised August 16, 2006 attached thereto as Bates Nos. 60737-63 and 75124-80.

¹²⁵ See Bennett May 5 Affidavit at ¶ 83.

¹²⁶ See Bennett May 5, 2010 Affidavit at ¶ 84 and Exhibit 33 (Budget summary to Mayor attached as Bates Nos. 50205). See also January and February Budgets included in monthly report (Exhibits H and P to Bennett April 7, 2010 Affidavit).

¹²⁷ See Bennett May 5, 2010 Affidavit at ¶ 86; See also meeting minutes No. 9 attached at Bates Nos. 50362-64 attached to Bennett April 7, 2010 Affidavit at Exhibit M.

¹²⁸ See Bennett May 5, 2010 Affidavit at ¶ 87 and Exhibit 34 thereto. (1) E-mail regarding Construction Management plan from Wes Bettis, dated 1/10/07; (2) Construction Management Plan & Binders – Transmittal #012, dated 1/19/07, to Keith Watts; (3) Keith Watts, acknowledged receipt of the Construction Management Plan at a 1/10/07 City Bid Meeting. See Exhibit D to Bennett April 7, 2010 Affidavit (timeline prepared by Keith Watts); (4) Construction Management Plan Update – Claims & Change Order Management – Transmittal #014, dated 1/23/07, to Keith Watts; (5) Construction Management Plan Update – Contractor Coordination, Methods & Procedures, Organizational Chart. – Transmittal #034, dated 2/5/07, to Keith Watts; and (6) Exhibit V to Bennett April 7, 2010 Affidavit (Construction Management Plan Update – Transmittal #242, dated 5/9/07, to Keith Watts.

A schedule was provided to the City on June 13, 2007.¹²⁹ The schedule was revised and updated periodically as required. Monthly schedule updates were included in monthly reports provided by Petra to the City.¹³⁰

Preliminary price estimates were transmitted to the City as the preliminary design progressed. The estimates were based on the basic criteria outlined in the CMA and the conceptual design documents as they existed at the time.¹³¹

By February 2008 all the value engineering options had been decided on and the only item left to bid was the Plaza. The Plaza budget was estimated at a cost of \$2.2 million based on the design at that time.¹³² This brought the total construction budget to \$21,773,078, where it

¹²⁹ Bennett May 5 Affidavit at ¶ 89 and Exhibit 35; See Initial Preconstruction Schedule with Design, dated 6/13/06 attached thereto as Bates Nos. 50231-34. See also FN 109.

¹³⁰ Bennett May 5, 2010 Affidavit at ¶¶ 90 and 91 and Exhibits 21 and 36 (Transmittal Log, Bates Nos. 92543-92813) See (1) Initial Preconstruction Schedule with Design, dated 6/13/06 attached thereto as Bates Nos. 50231-34; (2) Updated Project Schedule – Conceptual Construction Schedule, dated 1/23/07 attached thereto as Bates Nos. 50220-21; (3) Updated Project Schedule – Conceptual Construction Schedule, dated 2/12/07 attached thereto as Bates nos. 50222-27, Transmittal #035, to Keith Watts; (4) Updated Project Schedule – Conceptual Construction Schedule, dated 3/05/07 attached thereto as Bates Nos. 50239-40; (5) Updated Project Schedule – Conceptual Construction Schedule, dated 4/20/07 attached thereto as Bates No. 50228; (6) Updated Project Schedule – Conceptual Construction Schedule, dated 5/22/07 attached thereto as Bates No. 50229, Transmittals #255 and 257; (7) Updated Project Schedule – Conceptual Construction Schedule, dated 8/16/07 attached thereto as Bates No. 50250; (8) Updated schedule and progress narrative were also included with each Monthly Progress Report furnished to the City. See also Exhibits H and P to Bennett April 7, 2010 Affidavit (February 2008 Monthly Report) and (Excerpts of Monthly Progress Reports from December 2007 through November, 2008).

¹³¹ Bennett May 5, 2010 Affidavit at ¶¶ 93 and 94 and Exhibit 21 (Transmittal Log). See cost estimate (1) 20% Core & Shell Estimate, dated January 15, 2007, based on floor plans and elevations only, Bates Nos. Petra 60669-715; Transmittal #013, dated January 22, 2007 at Bates No. 60698; (2) 60% Core & Shell / 20% MEP & TI estimate, dated February 12, 2007, based on first set of documents issued for review and comments, at Bates No. Petra 60717-725, Transmittal #0035, dated 2/12/07 at Bates No. Petra 60716; (3) 100% Core & Shell bids and 60% MEP & TI estimate dated April 3, 2007, estimate included Phase 2 Shell and Core Bid Results, at Bates No. Petra 60727, Transmittal #0201, dated 4/4/07 at Bates No. Petra 60726; (4) 100% Core & Shell / 100% MEP & TI estimate dated July 12, 2007, budget included bid results for Phase 2 and 3 at Bates No. Petra 60729, Transmittal #345, dated 7/25/07 at Bates No. Petra 60728; (5) Monthly Budget Updates for City Council Workshops attached as Bates Nos. 60698-736 See also Exhibits H and P attached to the Bennett April 7, 2010 Affidavit.

¹³² Bennett April 7, 2010 Affidavit; February Monthly report at budget page attached as Exhibit H at (Bates Nos. CM073856 through CM073918); Bennett May 5, 2010 Affidavit at ¶ 96.

remained through the balance of the Project.¹³³ In the summer of 2008, the budget for the East Parking Lot was set at \$470,000.¹³⁴

To date the final costs excluding Change Order No. 2 are as follows:

	Budget	To-Date Billing
○ City Hall & Plaza ¹³⁵	\$21,773,078	\$ 21,513,416
○ East Parking Lot	\$ 470,000	\$ 400,660.16

4.9 The City occupied and took possession of the Project five weeks ahead of the Project schedule.

The Construction Management Agreement at section 6.2.2(a) identified a six-month preconstruction period and section 6.2.2(b) identifies an 18-month construction period.¹³⁶ Petra started providing preconstruction services as of July 6, 2006 upon receiving a Request for Proposal (“RFP”) for temporary construction fencing. Building construction started with basement footings on May 21, 2007.¹³⁷ Thus, the 18-month schedule duration would have expired on November 21, 2008.¹³⁸ The City issued a Temporary Certificate of Occupancy when its personnel occupied and took possession of the building on October 15, 2008, five weeks ahead of schedule.¹³⁹

From and after October 15, 2008, Petra’s duties and responsibilities under the Construction Management Agreement were limited to: (1) administering change orders for

¹³³ Bennett May 5, 2010 Affidavit at ¶ 93; See also February Monthly Report attached as Exhibit H to the Bennett April 7, 2010.

¹³⁴ *Id.* at ¶ 93

¹³⁵ See Bennett May 5, 2010 Affidavit at ¶ 100 (This includes the demolition costs for the old creamery and soil contamination removal procedures.)

¹³⁶ Construction Management Agreement at section 6.2.2.

¹³⁷ Bennett April 7, 2010 Affidavit at Exhibit M (Mayor’s Building Committee Meeting Minutes No. 48 dated June 18, 2007 at Item 00001.

¹³⁸ Bennett May 5, 2010 Affidavit at ¶ 101.

¹³⁹ Bennett May 5, 2010 Affidavit at ¶ 102; and Exhibit 38 (Temporary Certificate of Occupancy at Bates No. Petra 61983).

additions by the City to the scope of the Project, (2) supervising completion of Punch List items, and (3) payment by the City of the retentions it has withheld from various contractors.¹⁴⁰

All items on the Punch Lists were completed by August 9, 2009 and all final inspections were completed by the City's building inspectors, and the Project was accepted by the City.¹⁴¹

4.10 Meridian knew of and approved all changes.

During several City Council meetings, the project design budget and cost estimate were approved and the changes were implemented.¹⁴² All cost and value engineering changes were made with Meridian's knowledge and consent.¹⁴³ Meridian received and approved all contract awards, and contractor change orders.¹⁴⁴

The final cost estimate of \$21,773,078 for the Project was presented to Meridian's City Council in the revised monthly report in February 2008.¹⁴⁵ This amount was accepted by the

¹⁴⁰ Bennett May 5, 2010 Affidavit at ¶ 103.

¹⁴¹ Bennett April 7, 2010 Affidavit at Exhibit D (Project Summary/Recap prepared by Keith Watts, 4/08, Petra 93023-93033) and Mayors Building Committee Meetings, Exhibit M (Petra Bates Nos. 50360-50416, specifically #00005, 2/12/07, Items 8, 9, 10, 13, 19 & 20, #00009, 2/26/07, #00013, 3/12/07, #00015, 3/19/07, #00068, 8/13/07, No. 00083, 11/5/07 and Exhibit P, excerpts of Monthly Reports (December 2007 through November 2008). See also Bennett May 5, 2010 Affidavit at Exhibit 40 (Conceptual Budget 20% Shell (CM018482-0148483 Transmittal #00013 to Keith Watts, dated 1/22/07, Transmittal #00035 to Keith Watts, dated 2/12/07 with 60% Shell Design & 30% TI & MEP Budgets, CM000789, CM023811, CM018568-018576, Transmittal #00039, Keith Watts, dated 2/23/07 with Updated Project Budget Summary and Support Worksheet, CM000788, CM018484-85).

¹⁴² Bennett May 5, 2010 Affidavit at ¶ 105 and Exhibit 39.

¹⁴³ Bennett April 7, 2010 Affidavit at ¶¶ 58-61 and at Exhibit P; (excerpts of monthly report from March 2008 forward showing budget included each time. (Previously noted at Bates Nos. Petra 59654-59715.)

¹⁴⁴ Bennett May 5, 2010 Affidavit at ¶ 108; see notes on budget review at monthly meeting minutes No. 68 dated August 13, 2007 at Bates Nos. 50405-06, monthly meeting minutes No. 71 dated August 27, 2007 at Bates Nos. 50407-08, and monthly meeting minutes No. 68 dated September 17, 2007 at Bates Nos. 50411-12; and see notices to proceed on contract awards at Bates Nos. Petra 91243-91274.

¹⁴⁵ Bennett May 5, Affidavit at ¶¶ 109 and 110 and Exhibit 41; see budget page in revised February 2008 at Bates Nos. Petra 94208-209.

City. There were no exceptions taken by the Mayor, the City's designated representative, or members of the City Council.¹⁴⁶

Finally, the work that was submitted to the City for payment was certified by the Architects as being in substantial compliance with the plans and specifications. The certification reads as follows:

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge information and belief, the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the Amount Certified.

4.11 Meridian approved and entered into all the contracts for labor and materials it now claims it didn't know about.

After consultation with its own City Attorneys, Meridian, as the Owner of the Project, approved and signed numerous contracts with various contractors and suppliers for the labor and materials used in the construction of the Project, including the labor and materials for the changes to the Project that Meridian requested.¹⁴⁷

4.12 Petra formally requested additional compensation and expense reimbursement by submitting Change Order No. 2.

Regarding discussions Petra participated in with Meridian dealing with Change Order No. 2, the documentary evidence provides all of the details of the numerous meetings in which Petra

¹⁴⁶ Bennett April 7, 2010 Affidavit at ¶ 62 and 63 and Exhibit U attached thereto (City Council Meeting Minutes for February 12, 2008 Special Workshop (Bates Nos. CM 081230- 081238).

¹⁴⁷ Bennett May 5, 2010 Affidavit at ¶111; see previously listed Notice of Awards attached thereto as Exhibit 15 (Bates Nos. 91243 through 91274).

participated during the course of the Project.¹⁴⁸ For example, refer to meeting minutes and emails produced herewith. From and after August 2007, Petra also verbally and in writing informed Meridian's representatives, including the Mayor, certain City Council Members and Keith Watts, the City's designated representative, that Petra would request additional fees and reimbursable expenses because of the expanded scope of the Project.¹⁴⁹ The City was informed that Change Order No. 2 would be presented after the Project design and budget were finalized, which occurred after the Plaza was bid and Meridian issued its decision to proceed as described in the revised and upgraded design and budget.¹⁵⁰

Petra provided the original written notice of intent to submit a Change Order Request for an increase in the Construction Management Fee on October 1, 2007;¹⁵¹ this was revised and re-submitted on November 5, 2007.¹⁵² The request for the increased fee and reimbursable expenses was made pursuant to paragraph 7(b) of the Construction Management Agreement because the scope of the Project was materially altered from the criteria outlined in Recital B and paragraph 6.2.2.¹⁵³ Petra also reported that the formal change order would be forwarded once the Phase IV – Plaza & Site Improvements were bid out and the construction budget finalized.¹⁵⁴ Petra had

¹⁴⁸ Bennett April 7, 2010 Affidavit at ¶¶ 47-49 and 63; see previously documented meetings and reports attached thereto as Exhibits L, M, N, P and U which include, but is not limited to, the following: Weekly Progress Meetings attached thereto as Bates Nos. 50595 through 50641, Mayor's Building Committee Meetings attached thereto as Bates Nos. 50356 through 50430, Petra's Monthly Progress Reports: December 2007 through November 2008 previously noted.

¹⁴⁹ Bennett May 5, 2010 Affidavit at ¶ 112; see budget history attached thereto as Exhibit 42 (Bates No. 50095).

¹⁵⁰ Bennett May 5, 2010 Affidavit at ¶ 113; see also Exhibit 12, letter dated November 5, 2007 (Bates No. 92429.)

¹⁵¹ Bennett May 5, 2010 Affidavit at ¶ 114; see letter dated October 1, 2007 attached thereto as Exhibit 43 (Bates No. 92427-92428).

¹⁵² Bennett May 5, 2010 Affidavit at ¶ 115; see letter dated November 5, 2007 attached thereto as Exhibit 12 (Bates No. 92429).

¹⁵³ Bennett May 5 Affidavit at ¶ 118, and Construction Management Agreement.

¹⁵⁴ Bennett May 5, 2010 Affidavit at ¶119.

previously informed Meridian in writing of the estimated amount of its increase in fees and reimbursable expenses by the various budgets submitted in August and December, 2007 and January, February, March, and April 2008 with the presentation of the final budget that was accepted by the City Council.¹⁵⁵

On April 4, 2008, Petra presented Meridian with a request for Change Order No. 2 in the amount of \$376,808 for an additional Construction Manager's Fee. By this date, the scope of the Project had been defined and the design and budget had reached a point where the total cost could be estimated.¹⁵⁶ The amount of the additional fee requested was based on 4.7% of the estimated increase in the budgeted construction cost.¹⁵⁷

This request to increase the amount of the Construction Manager's Fee was in accordance with Article 7(b) of the "Agreement between Owner and Construction Manager" as a result of significant changes to the Project size, complexity and budget.¹⁵⁸ A reply from Ted Baird, Deputy City Attorney, was received by Petra on May 29, 2008.¹⁵⁹ This letter asked for additional information regarding the justification for the change order request. In response to this letter Petra requested a meeting with Ted Baird to review what specific information the City was looking for and discuss the request in general.¹⁶⁰ This meeting was held on August 8, 2008 with Gene Bennett and Tom Coughlin from Petra and Ted Baird from the City.¹⁶¹ Based on the

¹⁵⁵ Bennett May 5, 2010 Affidavit at ¶120. See also excerpts of monthly reports previously identified and budget history attached as Exhibit P to Bennett April 7, 2010 Affidavit.

¹⁵⁶ Coughlin May 5, 2010 Affidavit at ¶ 12; and Exhibit 13 (Bates Nos. 92430-92435).

¹⁵⁷ Bennett April 7, 2010 Affidavit at ¶122; and Exhibit Z. Note also, that Meridian consented to the 4.7% rate and paid it with respect to Change Order No. 1.

¹⁵⁸ Bennett May 5, 2010 Affidavit at ¶¶ 120-121 and Construction Management Agreement at ¶ 7(b).

¹⁵⁹ Coughlin May 5, 2010 Affidavit at ¶ ¶ 22 and 23; and Exhibit 14 (Bates Nos. 92436-37).

¹⁶⁰ Bennett May 5, 2010 Affidavit at ¶ 124 and Coughlin May 5, 2010 Affidavit at ¶ 24 .

¹⁶¹ Bennett May 5, 2010 Affidavit at ¶ 125; Coughlin May 5, 2010 Affidavit at ¶ 25.

discussion, Petra provided additional information concerning the actual hours worked and recalculated the amount requested for Change Order No. 2 on October 3, 2008.¹⁶² The amount requested was increased from \$376,808 to \$512,427 to reflect the actual increase in the salary costs that Petra had not included in the original request.¹⁶³ No response was received from the City other than verbal assurances from Keith Watts that Meridian was “reviewing” the request until February, 2009 when Petra received a letter from the City of Meridian dated February 24, 2009 denying the request.¹⁶⁴

Notwithstanding Petra’s best efforts to resolve Change Order No. 2 and obtain payment, Meridian has failed and refused to engage in meaningful discussions.¹⁶⁵

On March 16, 2009 Petra requested mediation of the claim.¹⁶⁶ No response was received from the City. Instead, Petra received a summons and complaint on April 21, 2009 alleging various non-specific claims against Petra. No previous discussion or correspondence regarding any performance issues had been brought to Petra’s attention by the City, except for one exchange of letters in the spring of 2007 which is discussed in more detail in section 4.13 below.¹⁶⁷

On May 6, 2010, Petra submitted a revised and updated Change Order No.2 to reflect additional information received after April 2008.¹⁶⁸

¹⁶² Bennett May 5, 2010 Affidavit at ¶ 126. See also Exhibit Q to Bennett April 7, 2010 Affidavit.

¹⁶³ Bennett May 5, 2010 Affidavit at ¶ 127. See also Exhibit Q to Bennett April 7, 2010 Affidavit.

¹⁶⁴ Bennett May 5, 2010 Affidavit at ¶ 128. And Exhibit 16. See also Exhibit 44, Petra emails to Keith Watts, City of Meridian attached thereto as Bates Nos. 66034, 66056, 68650, 68344, 68358, and 69218-19.

¹⁶⁵ Bennett May 5, 2010 Affidavit at ¶ 130.

¹⁶⁶ Walker April 29, 2010 Affidavit at ¶¶ 4 and 5; see letter regarding mediation attached thereto as Exhibit A (Bates No. 63724); Bennett May 5, 2010 Affidavit at ¶ 131.

¹⁶⁷ Bennett May 5, 2010 Affidavit at ¶ 133 .

¹⁶⁸ Bennett May 5, 2010 Affidavit at ¶ 126 and Exhibit 48; Quapp May 5, 2010 Affidavit at Exhibit 49.

4.13 Written notifications from Petra to the City are not required by the Construction Management Agreement.

Although the City has implied that Article 2.2 of the Construction Management Agreement sets forth specific requirements concerning written notifications to the Owner, it does not. Article 2.2 states –

Construction Manager shall endeavor to keep the Owner fully informed regarding the progress of the project so the Owner can have meaningful review and involvement in the Project. Without limiting the generality of the foregoing sentence, Construction Manager shall, as a matter of course, promptly provide the Owner with copies of all documents relating to the design and construction management and coordination, meeting notes and memorandum and any other information related to the Project for the Owner's review and input. Construction Manager shall notify Owner of any decisions that are required to be made by Owner, and any deadlines pertaining thereto. Construction Manager shall consult with and advise Owner with respect to any decisions.

Petra fulfilled all of its obligations under the Construction Management Agreement including the notifications anticipated by Article 2.2.¹⁶⁹ As noted above and elsewhere in this Statement, Petra held regular periodic meetings with the Mayor, the Mayor's Building Committee, the City Council and other City representatives.¹⁷⁰ These meetings included the Design Team.¹⁷¹ Discussions at these weekly or bi-weekly meetings included design and coordination issues.¹⁷² Meeting minutes were kept of the Mayor's Building Committee discussions and recorded decisions made and instructions issued by the City.¹⁷³

¹⁶⁹ Bennett May 5, 2010 Affidavit at ¶ 134.

¹⁷⁰ Bennett May 5, 2010 Affidavit at ¶ 135.

¹⁷¹ See Bennett May 5, 2010 Affidavit at ¶ 136.

¹⁷² Bennett May 5, 2010 Affidavit at ¶ 137.

¹⁷³ Bennett May 5, 2010 Affidavit at ¶ 138. See also Bennett May 7, 2010 Affidavit at Exhibits L, M, N and V.

4.14 During the Project Meridian never complained about Petra's services as Construction Manager and Meridian's own building inspectors certified that the Project was complete.

As noted above, Meridian never complained about Petra's services as construction manager except for one time during the early spring of 2007. Petra received a letter from the City of Meridian dated March 30, 2007. This letter discussed performance concerns, project staffing issues concerning the management of the irrigation ditch, topo survey, delays in bid documents, improper staff substitution, improper management of the demolition contractor and improper management of the contaminated soil removal. Meridian asked Petra to come to an Executive Session prior to a City Council meeting to discuss the issues. This occurred, but there is no record of what transpired during the meeting because recordings of executive sessions are not created or maintained. Following that meeting, Petra responded in writing to the concerns raised.¹⁷⁴ All items were satisfactorily addressed in Petra response to the City dated April 3, 2007. As a result of this exchange the City was satisfied and the City directed Petra to proceed with its work as Construction Manager. Pursuant to the City's request, Petra assigned Jon Anderson, a Petra superintendent, to manage the removal and abatement of the contaminated soil which was not in the original scope of work included in the Construction Management Agreement.¹⁷⁵ Petra was compensated for the direct cost of Mr. Anderson's time.¹⁷⁶ Change Order No 1 in the amount of \$52,502 was issued to Petra by the City for additional contraction manager's fee for management of the contaminated soils removal.¹⁷⁷ This amount represents

¹⁷⁴ Bennett May 5, 2010 Affidavit at ¶¶ 140 and 141.

¹⁷⁵ Bennett May 5, 2010 Affidavit at ¶ 142.

¹⁷⁶ Bennett May 5, 2010 Affidavit at ¶ 143.

¹⁷⁷ Bennett May 5, 2010 Affidavit at ¶ 144.

4.7% of the additional cost resulting from the contaminated soils abatement and is the City's acknowledgment that 4.7% is the appropriate rate to calculate Petra's fee.¹⁷⁸

Except for the exchange described above, the City did not, during the Project period, discuss with or provide any written statements to Petra regarding any issues concerning Petra's services. Such notification is required by section 3.2.6 of the Construction Management Agreement.¹⁷⁹ Meridian's own building inspectors certified that the Project was complete and issued a final occupancy permit for the entire Project. Simply stated, the City accepted and approved Petra's work on the Project in all respects.¹⁸⁰

4.15 Meridian's refusal to mediate violated the Construction Management Agreement.

After more than a year of attempting to settle the matters covered by Change Order No. 2, Petra instructed its counsel to request mediation under Paragraph 8.2 of the Agreement.¹⁸¹ Petra's counsel made the request for mediation by letter dated March 16, 2009.¹⁸² The March 16 letter also reminded Meridian that Section 8.2 of the Agreement required his response within 15 days of that letter.¹⁸³

On March 26, 2009, rather than agreeing to mediation, Meridian's counsel instead demanded an exhaustive document production that were largely irrelevant to the claims set forth

¹⁷⁸ Bennett April 7, 2010 Affidavit at ¶ 122 and Exhibit Z attached thereto; Bennett May 5, 2010 Affidavit at ¶ 145.

¹⁷⁹ Bennett May 5, 2010 Affidavit at ¶ 143 and Exhibits 45 and 46; The City of Meridian letter dated March 30, 2007 is attached as Bates Nos. Petra 88346-88350. Petra's response to the City dated April 3, 2007 is attached as Bates Nos. 88455-57.

¹⁸⁰ Bennett April 7, 2010 Affidavit at ¶¶ 87 and 88 and Exhibit W attached thereto.

¹⁸¹ Walker April 29, 2010 Affidavit at ¶ 4.

¹⁸² Walker April 29, 2010 Affidavit at ¶ 5, Exhibit A.

¹⁸³ *Id.* at 6.

in its subsequently filed complaint.¹⁸⁴ With regard to these documents, most of the significant documents had been provided to Meridian during the Project period.¹⁸⁵

Six days later, although it had demanded all of Petra's records, Meridian refused to make the City's records available to Petra, because "the parties are not in litigation;" and requested an extension for mediation, claiming that the required 60 days would not allow sufficient time for a "thorough analysis of the facts" and be counterproductive to good faith mediation.¹⁸⁶ Petra was at first reluctant to extend mediation beyond the May 15, 2009 deadline because the City had had more than a year to conduct whatever forensic accounting its officials thought necessary.¹⁸⁷ On April 10, 2009, Petra's counsel again emailed Meridian requesting a meeting to select a mediator.¹⁸⁸ At 6:17 a.m. on April 16, 2009, Petra's counsel again contacted Meridian's counsel about mediation.¹⁸⁹

At 2:55 p.m. on April 16, 2009, Meridian's counsel informed Petra's counsel that Meridian did not believe that mediation would be productive until it had gathered even more information and did not understand why Petra wanted mediation to occur within the time frame required by the Agreement.¹⁹⁰ Meridian's counsel suggested that if Petra insisted on mediation John Magel would be an acceptable choice as mediator.¹⁹¹ Unbeknownst to Petra, prior to

¹⁸⁴ *Id.* at 7; Exhibit B.

¹⁸⁵ Bennett Affidavit at ¶ 148.

¹⁸⁶ Walker April 29, 2010 Affidavit at ¶ 9; and Exhibits C, D and E attached thereto.

¹⁸⁷ Bennett May 5, 2010 Affidavit at ¶ 149.

¹⁸⁸ Walker April 29, 2010 Affidavit at ¶ 12.

¹⁸⁹ Walker April 29, 2010 Affidavit at ¶ 14.

¹⁹⁰ Walker April 29, 2010 Affidavit at ¶ 15; see copy of email from Kim Trout attached thereto as Exhibit G.

¹⁹¹ Walker April 29, 2010 Affidavit at ¶ 17.

sending that email, Meridian's counsel had already prepared and filed its April 16, 2009 Complaint.¹⁹²

From and after April 16, 2009 to the date of this memorandum, Petra has produced 53,843 pages of documents and incurred attorney fees and litigation costs in this case in excess of \$312,000.00.¹⁹³

4.16 Monies Owed Petra.

There are three categories of monies currently owed to Petra: (1) money due under the basic agreement, which includes the East Parking lot: \$126,047.04; (2) fees for additional services related to the changes Meridian requested for the Project: \$386,392 and (3) reimbursable expenses due for the changes: \$136,197.¹⁹⁴

Petra's fee of \$386,392 is based on the same 4.7% compensation rate as Petra's original compensation under the CMA and as approved by the City in Change Order No. 1.¹⁹⁵ By its course of performance, Meridian admitted that the 4.7% was the proper compensation rate.¹⁹⁶

John E. Quapp, Petra's CFO, has calculated interest from the due date of each unpaid invoice at the rate of .75% per month as provided for in paragraph 6.3.2 of the Construction Management Agreement. Accrued interest as of May 31, 2010 equals \$93,525.82.¹⁹⁷

Thus, the total amount owed by the City to Petra is \$742,161.86.¹⁹⁸

¹⁹² Walker April 29, 2010 Affidavit at ¶ 17.

¹⁹³ Walker April 29, 2010 Affidavit at ¶ 19.

¹⁹⁴ Quapp May 5, 2010 Affidavit at ¶ ¶ 5 and 6 and Exhibits 48 and 49.

¹⁹⁵ Bennett May 5, 2010 Affidavit at ¶ 150.

¹⁹⁶ Bennett May 5 Affidavit at ¶ 151. See also Bennett April 7, 2010 Affidavit at Exhibit Z.

¹⁹⁷ Quapp May 5, 2010 Affidavit at ¶ 7 and Exhibit 49.

¹⁹⁸ Quapp May 5, 2010 Affidavit at Exhibit 49.

Notably, as pointed out above, Meridian has not asserted any specific grounds for failing to pay all amounts due under the Construction Management Agreement.¹⁹⁹

COSHO HUMPHREY, LLP

DATED: May 6, 2010.

By: 
THOMAS G. WALKER
Attorneys for Petra Defendant/Counterclaimant

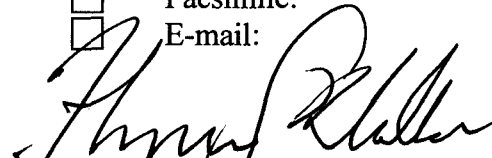
¹⁹⁹ Counterclaim at ¶ 99; Motion to Dismiss at p. 2 and supporting Memorandum at pp. 11 -13.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 6th day of May, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile:
- E-mail:



THOMAS G. WALKER

3. During times relevant to this case I was employed by Petra Incorporated (“Petra”).

4. I served as a project engineer on the new Meridian City Hall project (“Project”).

5. I am one of the custodians of Petra’s business records.

6. The documents referred to herein are true, correct and complete copies of the documents in Petra’s files or documents produced by the City of Meridian (“City” or “Meridian”) during the course of this litigation, which files and documents are kept in the course of Petra’s regularly conducted business activity. It is Petra’s regular practice to make and/or keep such documents.

7. Paragraph 1.1 of the Construction Management Agreement identifies the applicable standard of care as follows:

Construction Manager will perform its services under this Agreement, in the exercise of ordinary and reasonable care and with the same degree of professional skill, diligence and judgment as is customary among construction managers of similar reputation performing work for projects of a size, scope and complexity similar to the Project.

Petra performed its work as Construction Manager in accordance with this standard of care.

8. Paragraph 1.2 of the Construction Management Agreement states as follows:

Owner and Construction Manager shall designate a representative who shall be authorized to act on that parties’ behalf with respect to the Project. Each party’s representative shall render decisions in a timely manner in order to avoid unreasonable delay in the progress of the Project. Each party may rely upon the directions and decisions of such representatives as the directions and decisions of the other party. Neither Owner nor Construction Manager shall change its authorized representative without five (5) days prior written notice to the other party.

9. Keith E. Watts was appointed by the City as its designated representative. Consequently, I relied upon the directions and decisions of Keith Watts as the duly authorized directions and decisions of the City.

10. In August 2008, Mr. Watts directed that Petra include selected extra work order items or project general conditions items to be included as part of the monthly billing as reimbursable costs.

11. Based upon Mr. Watts' directions, these charges were included in the monthly pay applications.

12. Exhibit 13 is a true and correct copy of my correspondence to Keith Watts dated April 4, 2008 transmitting Change Order No. 2 with the attached Change Order No. 2 and supporting documentation.

13. Exhibit 14 is a true and correct copy of correspondence dated May 29, 2008 from Ted Baird to me.

14. The fast-track nature of the Project contributed to the increase in cost and the amount of time required to coordinate the work and documentation.

15. The matters having the largest single impact on the project schedule were the soil contamination remediation, the Mayor's Suite Redesign/Relocation (PR-1) and the Plaza Design/Redesign.

16. The changes to the Plaza required it to be bid twice and the start of construction being pushed to the spring of 2008

17. From time to time the City actively interfered with the progress of the Project, primarily by imposing last minute changes that required design and implementation changes.

18. Attempts by Petra to eliminate impacts from delays caused by the City is evidenced by a June 12, 2008 email from me to Mr. Watts.

19. Exhibit 19 is a true and correct copy of the email correspondence dated June 12, 2008 from me to Mr. Watts.

20. Petra worked with the City's Design Team and contractors to manage the effect of the changes and meet the October 15, 2008 target completion date.

21. Exhibit 20 is a true and correct copy of the Phase 4 Plaza & Site Advertisement for Bid, Phase 4 Plaza and Site Recommendations dated December 12, 2007 and Phase 4 Plaza & Site Re-Bid Recommendations, April 4, 2008.

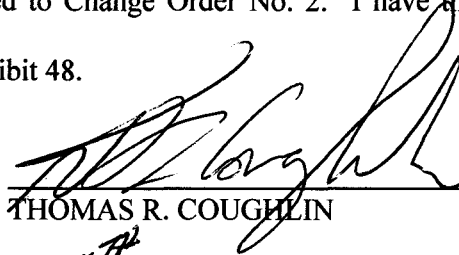
22. A reply from Ted Baird, Deputy City Attorney, was received by Petra on May 29, 2008.

23. Exhibit 14 is a true and correct copy of correspondence from Ted Baird to me dated May 29, 2008.

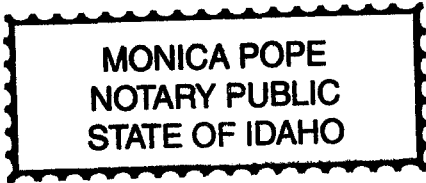
24. In response to this letter, Petra requested a meeting with Ted Baird to review the specific information the City was looking for and to discuss the contents of the letter in general.

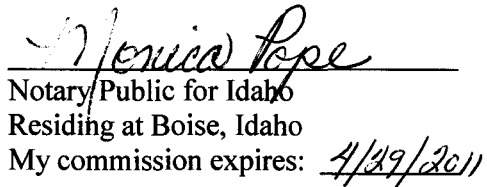
25. The meeting was held on August 8, 2008 with Eugene R. Bennett and me and Mr. Baird. Based on our discussions, Petra provided additional information concerning the actual hours worked and re-calculated the amount requested for Change Order No. 2 on October 3, 2008.

26. During the course of this litigation I became aware that there was some confusion regarding the time sheet reports attached to Change Order No. 2. I have therefor revised Change Order No. 2 and it's marked as Exhibit 48.


THOMAS R. COUGHLIN

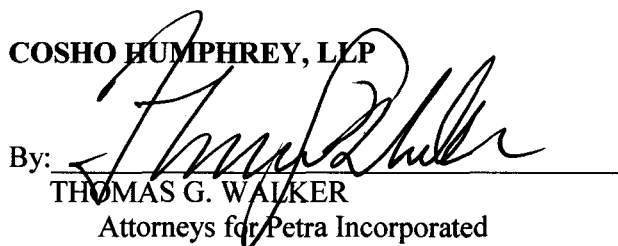
SUBSCRIBED AND SWORN to before me this 5th day of May, 2010.




Notary Public for Idaho
Residing at Boise, Idaho
My commission expires: 4/29/2011

DATED: May 6, 2010

COSHO HUMPHREY, LLP

By: 
THOMAS G. WALKER
Attorneys for Petra Incorporated

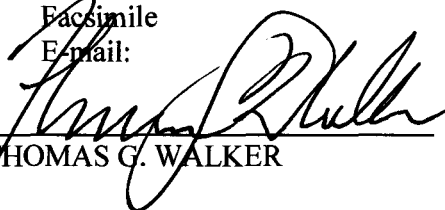
CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 6th day of May, 2010, a true and correct copy

of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile
- E-mail:



THOMAS G. WALKER

ORIGINAL

AM 10:30 FILED PM

MAY 06 2010

J. DAVID NAVARRO, Clerk
By KATHY J. BIEHL
DEPUTY

Thomas G. Walker (ISB 1856)
Mackenzie Whatcott (ISB 6774)
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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF

THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff/Counterdefendant,

vs.

PETRA INCORPORATED, an Idaho
corporation,

Defendant/Counterclaimant.

Case No. CV OC 0907257

**AFFIDAVIT OF EUGENE R. BENNETT
DATED MAY 5, 2010 IN SUPPORT OF
PETRA INCORPORATED'S MOTION
FOR SUMMARY JUDGMENT**

STATE OF IDAHO)
) ss.
County of Ada)

Eugene R. Bennett, being first duly sworn upon oath, depose and state:

1. I make this Affidavit based upon my own personal knowledge and I am competent to testify to the facts set forth below if called as a witness.

45

2. I have more than 39 years of experience in the construction industry.

3. I am a licensed Construction Manager in the State of Idaho.

4. I am employed by Petra Incorporated (“Petra”).

5. I was hired by Petra on September 20, 1999 and have been employed there ever since.

6. My current title is Senior Advisor.

7. I served as project manager on the new Meridian City Hall project (“Project”).

8. I am one of the custodians of Petra’s business records.

9. The documents referred to herein are true, correct and complete copies of the documents in Petra’s files or documents produced by the City of Meridian (“City” or “Meridian”) during the course of this litigation, which files and documents are kept in the course of Petra’s regularly conducted business activity. It is Petra’s regular practice to make and/or keep such documents.

10. Paragraph 1.1 of the Construction Management Agreement identifies the applicable standard of care as follows:

Construction Manager will perform its services under this Agreement, in the exercise of ordinary and reasonable care and with the same degree of professional skill, diligence and judgment as is customary among construction managers of similar reputation performing work for projects of a size, scope and complexity similar to the Project.

Petra performed its work as Construction Manager in accordance with this standard of care.

11. Paragraph 1.2 of the Construction Management Agreement states as follows:

Owner and Construction Manager shall designate a representative who shall be authorized to act on that parties' behalf with respect to the Project. Each party's representative shall render decisions in a timely manner in order to avoid unreasonable delay in the progress of the Project. Each party may rely upon the directions and decisions of such representatives as the directions and decisions of the other party. Neither Owner nor Construction Manager shall change its authorized representative without five (5) days prior written notice to the other party.

12. The City appointed Keith E. Watts as its designated representative under the Construction Management Agreement. Consequently, I relied upon the directions and decisions of Keith Watts as the duly authorized directions and decisions of the City.

13. Petra appointed me as its designated representative under the Construction Management Agreement.

14. In Mr. Watts' affidavit dated September 28, 2009 filed in opposition to Petra's motion to dismiss, he identified five defects. If the five defects actually exist as the City claims, they were apparent and obvious and consequently not latent.

15. The portions of the Project identified with regard to the five defects were accepted by the independent professionals hired by Meridian, by its own employees or agents who signed off on the Punch Lists and by the City's building inspectors.

16. Paragraph 6 of the Construction Management Agreement divides Petra's fee into three components: (a) a fee of \$574,000 based on a total project cost estimate of \$12,200,000 or 4.7% of the total project cost; (b) reimbursable expenses for direct personnel expense (i.e.

payroll plus related taxes, insurance and customary benefits) of the project engineer, project superintendent and project foreman; and (c) general condition reimbursables at cost.

17. In addition to the original Construction Management Agreement, a Construction Management Agreement for the City Hall East Parking Lot was proposed to Meridian on or about October 6, 2008.

18. Exhibit 1 is a true and correct copy of correspondence dated October 6, 2008 from me to Keith Watts.

19. Mr. Watts directed Petra to proceed with the East Parking Lot and he accepted the scope of work based on Petra's proposal.

20. Exhibit 2 is a true and correct copy of an email from Mr. Watts to me dated September 30, 2008 and an email exchange between Mr. Watts and Tom Coughlin regarding the East Parking Lot.

21. Part of Petra's fee for services rendered with respect to the East Parking Lot has been paid. The balance of \$51,152.79 is past due.

22. Attached hereto as Exhibit 3 is a true and correct copy of the Aged AR by Job showing the balance due to Petra for its services on the East Parking Lot.

23. The demolition plan referred to in Article 4.3 of the Construction Management Agreement was contained in the bid package for the demolition prepared and issued by the Architect, Petra and the City.

24. By Transmittal No. 007, the actual written site specific work plan was provided by the demolition contractor and transmitted to Ted Baird, Deputy City Attorney.

25. Exhibit 4 is a true and correct copy of the original version of the Demolition Bid Package CH-06-001, Exhibit 5, is a true and correct copy of the “marked up” version of the Invitation for Bid regarding the Abatement & Demolition work and Exhibit 6, is Transmittal 00007 with the Site Specific Work Plan from Ideal Demolition Services.

26. During the construction Lombard-Conrad, the architects (Lombard-Conrad” or “LCA”) and the engineers conducted periodic site inspections and produced site inspection reports.

27. LCA’s contract with the City also included a duty of inspection, which was fulfilled, and LCA signed off on the Project as complete and in accordance with the plans and specifications.

28. Exhibit 7 consists of true and correct copies of the Design Team Field Reports.

29. Exhibit 8 is a true and correct copy of the signed Professional Services Agreement between the City of Meridian and Lombard-Conrad effective July 11, 2006.

30. Continuously throughout the construction of the Project, Petra coordinated with the City’s employees, agents and inspectors and with Materials Testing & Inspection (“MTI”) to insure that special inspections were performed as required.

31. Exhibit 9 is a true and correct copy the budget report dated July 12, 2007, provided to the City.

32. Exhibit 10 is a true and correct copy of an email exchange from Wesley Bettis to Jon Kruck with MTI.

33. Regarding the additional services required for the LEED certification, the City agreed that Petra would be compensated for that work.

34. The cost for reimbursables and additional time required for the LEED activities has been reimbursed.

35. No additional fee for these services was billed by Petra to the City.

36. In August 2008, Mr. Watts directed that Petra include selected extra work order items or project general conditions items to be included as part of the monthly billing as reimbursable costs.

37. Based upon Mr. Watts' directions, these charges were included in the monthly pay applications.

38. Payment of some of these invoices from various vendors is seriously past due and awaiting payment by the City.

39. Exhibit 11 is a true and correct copy of the Aged A/R report showing Meridian City Hall Job accounts receivable report and breakdown on money owed and the vendors still due to be paid by the City.

40. The final cost estimate (Exhibit 41) included a line item budget of \$376,808 as an estimate of Petra's additional construction manager's fee for extra work that was subsequently requested in Change Order No 2.

41. Cost estimates, budgets, bids and contract awards were received by and approved by the City.

42. Exhibit 12 is a true and correct copy of the November 5, 2007 correspondence to Keith Watts from Wesley Bettis regarding the Notice of Intent to submit formal Change Order Request.

43. Exhibit 15 consists of true and correct copies of Conditional Notices of Award with Authorization to Proceed issued by Keith Watts.

44. The City did not at any time during the Project period inform Petra that it did not intend to pay Petra in full for the extra services it was required to render as Construction Manager for the expanded and upgraded Project.

45. The first time Petra learned that the City did not want to pay for its extra services identified in Change Order No. 2 was on February 24, 2009.

46. Exhibit 16 is a true and correct copy of correspondence from the City of Meridian to Jerry S. Frank dated February 24, 2009.

47. In addition to the increased size, complexity and budget for the Project as a result of City driven requirements, the City had Petra coordinate the design, procurement and construction of several furniture, fixture and equipment ("FF&E") items that were not originally included in the \$12.2 million Project Budget.

48. These FF&E items included audio/visual systems, telecommunications, security systems, interior signage and appliances.

49. At the City's request, Petra also helped coordinate the installation of the City supplied furniture and phone data equipment.

50. Increases in the size, complexity and budget contributed to a substantial increase in the total man-hours expended, including man-hours expended dealing with design issues related to groundwater issues such as drainage systems, basement or no basement; mechanical and electrical systems designs and scope additions.

51. As the complexity and size increased, the budget increased to reflect a much larger more complex building.

52. Petra assigned additional personnel to deal with the LEED certification requirements, documentation, and coordination of the mechanical, electrical and plumbing (“MEP”) systems.

53. The City’s decision to proceed with the bidding and construction of the Project before the construction documents were complete required multiple bid and award processes, *i.e.*, four instead of the two originally contemplated by the Construction Management Agreement.

54. Exhibit 18 is a true and correct copy of documentation regarding discussions relating to the bidding process as identified.

55. Initial design review of the conceptual construction documents were performed in joint meetings with the City, LCA, Engineering, Inc., Eidam, Hatchmueller, Stapley Engineering, Elk Mountain Engineering and Heery.

56. Upon the issuance of the 60% Core and Shell drawings, Petra distributed the drawings for the peer review, value engineering input, and costing to the following professionals and contractors:

Masonry	TMC & Mickelson
Str Steel & Deck	Mountain Steel & Tombari
Doors & Hardware	ABS
Drywall	PS&G and ISI
Glass & Glazing	Custom Glass
Roofing	Western Roofing
Elevators	Schindler
Cabinetry	Idaho Custom
Flooring	Woodwork
Demountable Wall	Flooring America
Access Flooring	Nordwall
Fire Sprinklers	Barclay-Dean
Plumbing	TVFP
HVAC	DeBest
Electrical	TML
	Mountain Power

57. Exhibit 21 consists of true and correct copies of the complete Transmittal Log maintained by Petra and relevant meeting minutes regarding discussions on design review, value engineering and costing.

58. Input from the professionals listed was included in the subsequent cost estimates dated February 12, 2007, value engineering suggestions, and plan modifications.

59. Exhibit 22 consists of true and correct copies of documents relating to Options and Value Engineering dated February 20, 2007.

60. On-going review and coordination efforts by the construction team is evidenced by the questions forwarded in the 230 RFI's issued and answered during the course of the Project.

61. Value engineering was conducted throughout the Project up through and including building commissioning.

62. Exhibit 23 is a true and correct copy of Value Engineering Options summary provided to the City of Meridian.

63. Exhibit 24 consists of true and correct copies of Change Order Reports provided to the City of Meridian.

64. Petra and LCA provided alternate suppliers for access flooring and solicited help from Gary Christensen, the developer of the Banner Bank building, to put pressure on suppliers for pricing similar that charged for the Banner Bank building.

02/12/07 Estimate	\$	739,518
04/3/07 Bid		<u>528,800</u>
Savings	\$	210,718

65. At the Mayor's Building Committee Meeting on February 12, 2007, HVAC System Design – Concerns were expressed that similar systems in the Banner Bank building were not performing correctly.

66. Exhibit 25 consists of true and correct copies of emails between Petra and LCA regarding these matters.

67. Further investigations were conducted and information transmitted to the City on February 15, 2007 and February 27, 2007.

68. Exhibit 26 consists of true and correct copies of relevant documents regarding the access flooring and HVAC system issues.

69. Shortcomings of previous installations were addressed by the Design Team, including individual supply/control at perimeter wall and elimination of plastic actuators.

70. Exhibit 27 is a true and correct copy of an email directed to Mayor DeWeerd, Keith Bird, Will Berg, Brad Watson, Keith Watts, Ted Baird and Steve Simmons regarding the Access Floor Construction In-Place References.

71. As contaminated dirt cleanup progressed during the month of March, 2007, it became apparent that the contaminated soil on site had a clay underlayment which was protecting the groundwater table from the contaminated soil.

72. Penetrating the clay layer to construct the basement would have put the City at risk for a multi-million dollar cleanup program.

73. Petra recommended that the building be raised four feet to eliminate that risk.

74. The City approved this value engineering suggestion and the drawings were modified to raise the building four feet.

75. Exhibit 28 is a true and correct copy of a memorandum to Will Berg from Steve Simmons regarding the building elevation.

76. Exhibit 29 is a true and correct excerpt of the City Council Pre-Council Meeting Minutes of April 10, 2007.

77. Exhibit 30 consists of true and correct copies of additional documentation supporting the numerous value engineering suggestions that were offered by Petra and LCA.

78. These suggestions were summarized with a total savings of \$634,302 and given to the Mayor's Building Committee.

79. Exhibit 31 consists of true and correct copies of the August 12, 2007 and August 31, 2007 Value Engineering Option summaries and relevant meeting minutes regarding value engineering discussions.

80. The Development Strategies Phase of the Construction Management Agreement was accomplished through bi-weekly meetings with the City, LCA, Engineers and Petra.

81. These meetings resulted in the program for the Project which was delivered by LCA to the City on August 16, 2006.

82. Exhibit 32 consists of true and correct LCA Programming Documents revised as of August 16, 2006.

83. From this baseline program, tours were conducted by LCA, Petra, and the City viewing the types of structures being built in the Treasure Valley. From these tours, the City decided on a structure with features similar to the Banner Bank building in Boise.

84. Twenty percent shell and core drawings were prepared and delivered to Petra in December, 2006, and the initial cost estimate was given to the City on January 15, 2007, with an updated version on February 12, 2007 based on peer review comments.

85. Exhibit 33 is a true and correct Project Cost/Schedule Progression and Budget Summary dated May 13, 2009 which was submitted to the Mayor.

86. At the meeting of February 26, 2007 Value Engineering Options were reviewed and LCA was authorized to finish the construction documents "as designed" for bidding in April.

87. An initial Construction Management Plan was provided to the City on January 22, 2007 and updated on May 9, 2007.

88. Exhibit 34 consists of true and correct copy of relevant documents regarding delivery of the Construction Management Plan.

89. A schedule was provided to the City on June 13, 2007. Exhibit 35 is a true and correct copy of the Conceptual Design and Development Schedule

90. The schedule was revised and updated periodically as required.

91. Monthly schedule updates were included in monthly reports provided by Petra to the City.

92. Exhibits 35 and 36 consist of true and correct copies of Conceptual Design & Development Schedules routinely provided to the City of Meridian.

93. Preliminary price estimates were transmitted to the City as the preliminary design progressed.

94. The estimates were based on the basic criteria outlined in the Construction Management Agreement and the conceptual design documents as they existed at the time

95. By February 2008 the City had decided on all of the value engineering options and the only item left to bid was the Plaza.

96. The Plaza budget was estimated at a cost of \$2.2 million based on the design at that time.

97. This brought the total construction budget to \$21,773,078, where it remained throughout the balance of the Project period.

98. In the summer of 2008, the budget for the East Parking Lot was estimated at \$470,000.

99. Exhibit 37 is a true and correct copy of Transmittal 00013 dated 1/22/07 transmitting the conceptual budget.

100. To date the final costs excluding Change Order No. 2 are as follows:

	<u>Budget</u>	<u>To-Date Billing</u>
City Hall & Plaza	\$21,773,078	\$ 21,513,416
East Parking Lot	\$ 470,000	\$ 400,660.16

101. The construction period started on May 21, 2007. Thus, the 18-month construction schedule would have expired on November 21, 2008.

102. The City issued a Temporary Certificate of Occupancy when its personnel occupied and took possession of the building on October 15, 2008, five weeks ahead of schedule.

103. From and after October 15, 2008, Petra's duties and responsibilities under the Construction Management Agreement were limited to: (1) administering change orders for additions by the City to the scope of the Project, (2) supervising completion of Punch List items, and (3) payment by the City of the retentions it has withheld from various contractors.

104. Exhibit 38 is a true and correct copy of the Temporary Occupancy Permit issued by the City of Meridian.

105. The project design budget and cost estimates were approved by the City and the changes directed by the City were implemented.

106. Exhibit 39 consists of true and correct relevant excerpts from City Council meeting minutes of February 12, 2008 and September 4, 2007.

107. Exhibit 40 consists of true and correct copies of relevant transmittals and budget updates.

108. The City received and approved all contract awards, and contractor change orders.

109. The final cost estimate of \$21,773,078 for the Project was presented to Meridian's City Council in the revised monthly report in February 2008.

110. Exhibit 41 is a true and correct copy of the excerpt of the revised February 2008 Monthly Report presented at the City Council meeting on February 12, 2008.

111. After consultation with its own City Attorneys, the City, as the Owner of the Project, approved and signed numerous contracts with various contractors and suppliers for the labor and materials used in the construction of the Project, including the labor and materials for the changes to the Project that the City had required.

112. Petra also verbally and in writing informed Meridian's representatives, including the Mayor, certain City Council Members and Keith Watts, the City's designated representative for the Project, that Petra would request additional fees and reimbursable expenses because of the expanded scope of the Project.

113. The City was informed that a Change Order No. 2 would be presented after the Project design and budget were finalized, which occurred after the Plaza was bid and Meridian issued its decision to proceed as described in the revised and upgraded design and budget.

114. Petra provided the original written notice of intent to submit a Change Order Request for an increase in the Construction Management Fee on October 1, 2007.

115. This was this was revised and re-submitted on November 5, 2007.

116. Exhibit 42 is a true and correct copy of the August 28, 2007 budget history.

117. Exhibit 43 is a true and correct copy of correspondence dated October 1, 2007 from Wesley Bettis to Will Berg regarding intent to submit Change Order No. 2.

118. Change Order No. 2 resulted from the scope of the Project being materially altered from the criteria described in Recital B of the Construction Management Agreement. Such additions to the Construction Manager's fees and reimbursable expenses is authorized by the terms and conditions of the Construction Management Agreement, including those terms set forth in paragraph 6.2.2 and Article 7.

119. Petra also reported to the City that the formal change order would be forwarded once the Phase IV – Plaza & Site Improvements were bid out and the construction budget finalized.

120. Petra had previously informed Meridian in writing of the estimated amount of its increase in fees and reimbursable expenses by the various budgets submitted in August and December, 2007 and January, February, March, and April 2008 with the presentation of the final budget that was accepted by the City.

121. The amount of the additional fee requested was based on 4.7% of the estimated increase in the total cost of the Project.

122. Specifically, but not by way of limitation, Petra's request for an increase in the amount of its fees was in accordance with paragraph 7(b) of the Construction Management

Agreement because of significant changes to the Project size, quality, complexity, Owner's schedule, budget and procurement methods.

123. With regard to the letter from Mr. Baird (Exhibit 14), it asked for additional information regarding the justification for Change Order No. 2.

124. In response to Mr. Baird's letter Petra requested a meeting with him to determine the specific information the City wanted and to discuss the request in general.

125. This meeting was held on August 8, 2008. Tom Coughlin and I were present for Petra and Mr. Baird was present for the City.

126. Based on our discussions, Petra provided additional information concerning the actual hours worked commencing with pre-August 1, 2006 time. The amount of Change Order No. 2 was subsequently revised a couple of times (Exhibit 13), including the latest revision dated May 3, 2010 (Exhibit 48).

127. Initially the amount requested was increased from \$376,808 to \$512,427 to reflect the actual increase in the salary costs that Petra had not included in the original request.

128. No response was received from the City other than verbal assurances from Keith Watts that Meridian was "reviewing" the request. On February 24, 2009 Petra received a letter from the City denying the requests set forth in Change Order No.2, as then revised.

129. Exhibit 44 consists of true and correct copies of emails between Petra and Keith Watts regarding Change Order No. 2.

130. Notwithstanding Petra's best efforts to resolve Change Order No. 2 and obtain payment, the City has failed and refused to engage in meaningful discussions.

131. On March 16, 2009 Petra requested mediation of its claims as provided for in the Construction Management Agreement.

132. No response was received from the City. Instead, Petra received a summons and complaint on April 21, 2009 alleging various non-specific claims against Petra.

133. No discussion or correspondence regarding Petra's performance had been brought to Petra's attention by the City prior to April 21, 2009, except for one exchange of letters in the spring of 2007.

134. Petra fulfilled all of its obligations under the Construction Management Agreement including the notifications anticipated by paragraph 2.2.

135. Throughout the course of the Project, Petra held regular periodic meetings with the Mayor, the Mayor's Building Committee, the City Council, Keith Watts (the City's designated representative) and other City representatives and agents.

136. These meetings also included the Design Team as necessary.

137. Discussions at these weekly or bi-weekly meetings included design and coordination issues.

138. Meeting minutes were kept of the Mayor's Building Committee discussions and recorded decisions made and instructions issued by the City.

139. By letter dated March 30, 2007, the City's representatives asked Petra to come to an Executive Session of the City Council scheduled for April 3, 2007 prior to a meeting to discuss outstanding issues.

140. In preparation for the Executive Session, Petra responded by letter dated April 3, 2007 (Exhibit 46) to the concerns raised in Mr. Baird's letter, for discussion during the Executive Session.

141. The Executive Session was held on April 3, 2007 and Petra participated, but there is no record of what transpired during the meeting because no recordings or minutes of executive sessions are created or maintained.

142. Following the Executive Session, Petra assigned Jon Anderson, a Petra superintendent, to manage the removal and abatement of the contaminated soil which was not in the original scope of work included in the Construction Management Agreement.

143. Petra was compensated for the direct cost of Mr. Anderson's time.

144. Change Order No 1 in the amount of \$52,502 (4.7% of the cost) was issued by Petra to the City for additional contraction manager's fee for management of the contaminated soils removal.

145. Meridian did not, during the Project period, discuss with or provide any written statements to Petra regarding any issues concerning Petra's services. Such notification is required by section 3.2.6 of the Construction Management Agreement.

146. Exhibit 45 is a true and correct copy of correspondence from the City of Meridian to me dated March 30, 2007.

147. Exhibit 46 is a true and correct copy of correspondence from me to Ted Baird in response to the City's March 30, 2007 correspondence.

148. With regard to documents requested by the City after the request for mediation, most, if not all, of the significant documents had been provided to the City during the Project period.

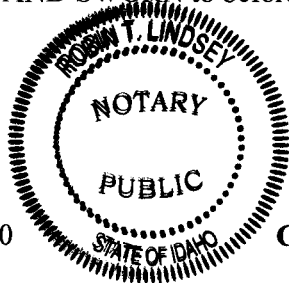
149. Petra was at reluctant to extend mediation beyond the May 15, 2009 deadline because the City had had more than a year to conduct whatever forensic accounting its officials thought necessary.

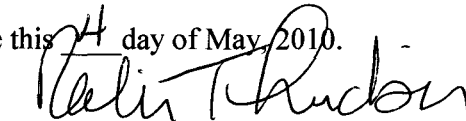
150. Petra's Construction Manager's fee of \$386,392 as set forth in revised Change Order No. 2 (Exhibit 48), was based on the same 4.7% compensation rate as Petra's original compensation under the Construction Management Agreement and as approved by the City in Change Order No. 1.

151. By its course of performance, the City admitted that the 4.7% was the proper compensation rate for determining Petra's Construction Manager's fee.


EUGENE R. BENNETT

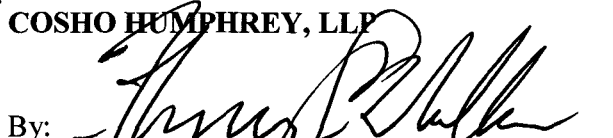
SUBSCRIBED AND SWORN to before me this 24 day of May, 2010.




Notary Public for Idaho
Residing at Boise, Idaho
My commission expires: 10/10/13

DATED: May 6, 2010

COSHO HUMPHREY, LLP

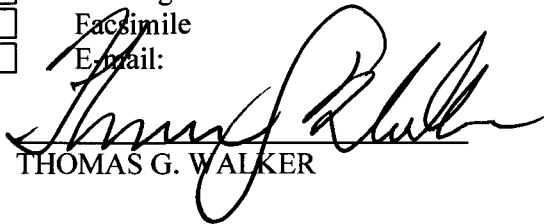
By: 
THOMAS G. WALKER
Attorneys for Petra Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 6th day of May, 2010, a true and correct copy of the
within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile
- E-mail:



THOMAS G. WALKER

ORIGINAL

NO. _____ FILED
A.M. 10:29 P.M. _____

MAY 06 2010

J. DAVID NAVARRO, Clerk
By KATHY J. BIEHL
DEPUTY

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Attorneys for Defendant/Counterclaimant, Petra Incorporated

IN THE DISTRICT COURT OF THE FOURTH JUDICIAL DISTRICT OF
THE STATE OF IDAHO, IN AND FOR THE COUNTY OF ADA



THE CITY OF MERIDIAN, an Idaho
Municipal Corporation,

Plaintiff/Counterdefendant,

vs.

PETRA INCORPORATED, an Idaho
corporation,

Defendant/Counterclaimant.

Case No. CV OC 0907257

**AFFIDAVIT OF JERALD S. FRANK
DATED MAY 4, 2010 IN SUPPORT OF
PETRA INCORPORATED'S MOTION
FOR SUMMARY JUDGMENT**

STATE OF IDAHO)
) ss.
County of Ada)

I, Jerald S. Frank, being first duly sworn upon oath, depose and state:

1. I make this affidavit based upon my own personal knowledge and I am competent to testify to the facts set forth below if called as a witness.

2. I am the founder and president of Petra Incorporated ("Petra").

5

3. Petra was incorporated on June 15, 1994 and has continuously conducted a general construction and construction management business since that time.

4. I have more than 30 years of experience in commercial construction and construction management.

5. I am one of the custodians of Petra's business records.

6. During discussions between the City of Meridian, Lombard-Conrad, the Architects and Petra personnel regarding the HVAC systems, I suggested that the City specify a conventional tried and true heat pump system to save money and the potential problems then being experienced by tenants in the Banner Bank Building.

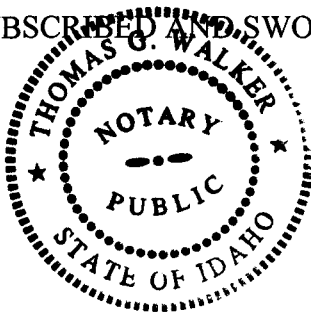
7. In accordance with the Construction Management Agreement, Eugene R. Bennett was appointed Petra's designated representative and Keith Watts, Meridian's purchasing agent was appointed by Meridian's City Council as the City's designated representative.

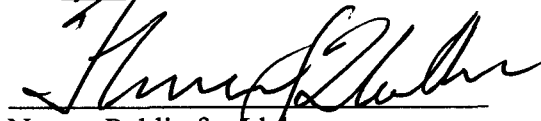
8. At all times during the course of this project, Petra performed its work in accordance with the applicable standard of care for construction managers



JERALD S. FRANK

SUBSCRIBED AND SWORN to before me this 4th day of May, 2010.



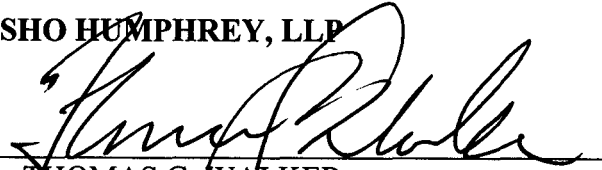


Notary Public for Idaho
Residing at Bone, Idaho
My commission expires: 3/20/2013

DATED: May 4, 2010.

COSHO HUMPHREY, LLP

By: _____



THOMAS G. WALKER

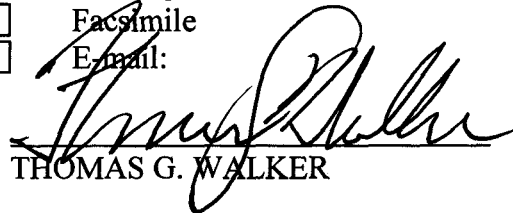
Attorneys for Petra Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 6th day of May, 2010, a true and correct copy of the within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

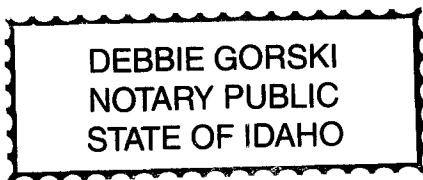
- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile
- E-mail:



THOMAS G. WALKER

3. I am one of the custodians of Petra's business records.
4. At all times relevant to this case I was responsible for Petra's financial and accounting records.
5. The principal balance remaining due and owing by the City of Meridian to Petra for unpaid invoices on the new Meridian City Hall Project and Change Order No. 2 is \$648,636.04.
6. The principal balance includes \$74,894.25 for the Meridian City Hall project, \$51,152.79 for the East Parking Lot and \$522,589.00 for Change Order No. 2.
7. I have calculated interest from the due date of each unpaid invoice at the rate of .75% per month as provided for in paragraph 6.3.2 of the Construction Management Agreement. Accrued interest as of May 31, 2010 equals \$93,525.82.
8. Attached hereto as Exhibit 49 is a true and correct copy of a summary showing my calculations, totaling \$742,161.86 owed by the City to Petra.


JOHN E. QUAPP

SUBSCRIBED AND SWORN to before me this 5th day of May, 2010.




Notary Public for Idaho
Residing at Middleton, Idaho
My commission expires: 7-5-12

DATED: May 6, 2010

COSHO HUMPHREY, LLP

By:


THOMAS G. WALKER

Attorneys for Petra Incorporated

CERTIFICATE OF SERVICE

I HEREBY CERTIFY That on the 6th day of May 2010, a true and correct copy of the
within and foregoing document was served upon:

Kim J. Trout, Esq.
Trout Jones Gledhill Fuhrman, P.A.
225 North 9th Street, Suite 820
P.O. Box 1097
Boise, Idaho 83701

- U.S. Mail
- Hand Delivery
- Overnight Courier
- Facsimile
- E-mail:


THOMAS G. WALKER

**VOL. 1
EXHIBITS TO**

**AFFIDAVIT OF EUGENE R. BENNETT
DATED MAY 5, 2010**

**AFFIDAVIT OF THOMAS R. COUGHLIN
DATED MAY 5, 2010**

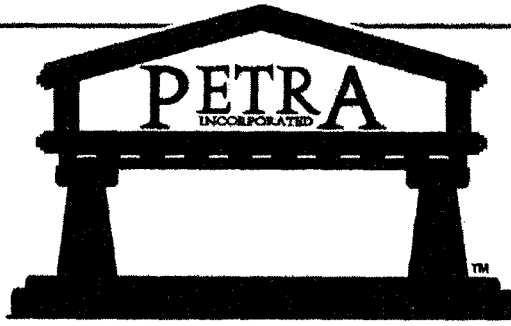
**AFFIDAVIT OF JOHN E. QUAPP
DATED MAY 5, 2010**

**IN SUPPORT OF PETRA
INCORPORATED'S
MOTION FOR SUMMARY JUDGMENT**

EXHIBITS 1 THROUGH 25

COURT – FILING ORIGINAL

**CITY OF MERIDIAN V. PETRA
INCORPORATED
Ada County Case No. CV OC 0907257**



FILE COPY

GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

October 6, 2008

Mr. Keith Watts, Purchasing Agent
City of Meridian
33 East Idaho Avenue
Meridian, ID 83642-2300

Re: East Parking Lot

Dear Keith:

Our proposal for the east parking lot is as follows:

Pre-Construction Services	\$5,000
Fee	5%
Project Superintendent & Engineer	At Cost

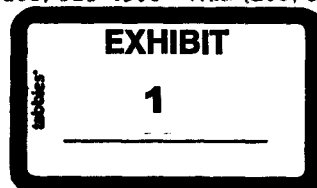
Sincerely,

Gene Bennett
Construction Manager

INTERROGATORY No 4. RFP No 1, Item # 2

1097 N. ROSARIO ST. · MERIDIAN, ID 83642 · PHONE: (208) 323-4500 · FAX: (208) 323-4507

WWW.PETRAINC.NET
RCE-1875



002445

Petra92426

From: Keith Watts
Sent: Tuesday, September 30, 2008 03:04 PM
To: Steve Christiansen; jvaughn@petrainc.net; Gene Bennett
CC: Ted Baird
Subject: RE: ACHD Permit

Thanks for the great news!

Keith Watts

Purchasing Agent
City of Meridian
33 East Idaho Avenue
Meridian, ID 83642

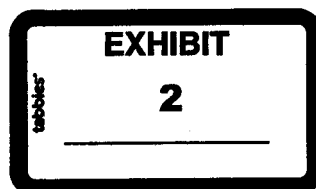
Ph. 208-888-4433 x207
Fax: 208-887-4813

From: Steve Christiansen [mailto:schristian@lcarch.com]
Sent: Tuesday, September 30, 2008 3:50 PM
To: jvaughn@petrainc.net; Gene Bennett; Keith Watts
Subject: ACHD Permit

I just got off of the phone with Jeanne with ACHD and she told me that the east parking lot is approved and is at construction and ready for permit. She told me to have the contractor to contact Stacey @ ACHD @ 387-6280.

Thanks,

Steve Christiansen
LCA Architects
schristian@lcarch.com
Phone (208)-345-6677
Fax (208)-344-9002



002446
CM007019

From: Tom Coughlin
Sent: Thursday, August 07, 2008 05:04 PM
To: 'Keith Watts'
CC: Gene Bennett; 'Steve Christiansen'; Jack Vaughan
Subject: RE: East Parking Lot
Attachments: image001.jpg

Keith

We do have the info from LCA and are reviewing it currently. We will have the bid package ready for pickup by Thursday, 8/14 barring the discovery of any major issues.

Are the various City Departments OK with the overall design concept as shown and the landscaping?

We were thinking doing the following packages:

- Earthwork, Utilities & Paving
- Site Concrete
- Landscape
- Electrical - (We would like to consider this as a CO to Tri-State since they already have the bldg and system)
- Any other misc items would be Purchased direct or CO to existing contracts.

Let me know immediately if the City has any major comments concern the package as currently presented.

Thanks
Tom Coughlin

Tom Coughlin
Project Manager
Petra, Inc.
1097 N. Rosario
Meridian, ID 83642
Phone: (208) 323-4500 Fax: (208) 323-4507
E-Mail: tcoughlin@petrainc.net

This Communication contains proprietary business information and may contain confidential information. If the reader of this message is not the intended recipient, or the employee or agent responsible to deliver it to the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please immediately destroy, discard, or erase this information.

From: Keith Watts [mailto:wattsk@meridiancity.org]
Sent: Wednesday, August 06, 2008 11:14 AM
To: Tom Coughlin
Subject: East Parking Lot

Tom, Steve Christiansen just informed me that you have the drawings and everything you need to put the bid package together. Is this true? If so when can we expect the bid package to be available. I need to know the Friday before so I can get it in the paper. Thanks,

Keith Watts

Purchasing Agent
City of Meridian
33 East Idaho Avenue
Meridian, ID 83642

Ph. 208-888-4433 x207

002447
Petra78654

Fax: 208-887-4813

Date: 11/02/2009

AGED A/R-BY JOB

Report Code: 58.83

Time: 08:40:09 AM

Page: 1

Company No. 1 PETRA Incorporated

Printing: A/R Detail and Retention at end of Period 11, 2009 Invoices Aged From 11/02/09

All Customers Jobs 080920 thru 080920 All Job Categories

CUSTOMER	INVOICE DATE	INVOICE DATE	0 to 30 DAYS	31 to 60 DAYS	61 to 90 DAYS	over 90 DAYS	TOTAL RECEIVABLE
080920 Meridian City Hall Parking Lot							
Job Total			0.00	0.00	0.00	51,152.79	51,152.79
		Total Selected Jobs	0.00	0.00	0.00	51,152.79	51,152.79



002449

PETRA94145



7/13/06?
PURCHASING AGENT
33 East Idaho Avenue, Meridian, ID 83642
Phone: (208) 888-4433 x207
Fax: (208) 887-4813

INVITATION FOR BID

BID NO. CH-06-001

PROJECT NAME & SPECIFICATIONS:

ABATEMENT & DEMOLITION

**BIDS MUST BE RECEIVED PRIOR TO 2:30 P.M.
OCTOBER 3, 2006**

DELIVER BID RESPONSES TO:

City of Meridian, City Clerk
33 East Idaho
Meridian, ID 83642

Bidders are required to submit one (1) original and two (2) additional signed copies of their Bid response (including all required attachments) to the above address. Bids shall clearly identify the project name, Bid number, and Bid response date on the outside of the envelope and be delivered in a sealed envelope. Failure to do so may cause the Bid to be rejected.

PRE-BID CONFERENCE DATE:

SEPTEMBER 25, 2006

PRE-BID CONFERENCE TIME:

2:00 pm MST

LOCATION OF PRE-BID CONFERENCE:

27 E. BROADWAY
MERIDIAN, ID 83642

NAME AND LICENSE # OF COMPANY SUBMITTING BID

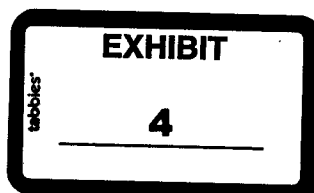
NAME: _____

IDAHO CONTRACTORS LICENSE NO. _____

IDAHO PUBLIC WORKS CONTRACTORS LICENSE NO. _____

INVITE TO BID / BID PACKAGE

RFP No 14, Item #1



Petra 93034
002450

Signed addenda/addendum to be included in the BID Response. Contractor to complete the below and return with the BID Response.

Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____

Bidder's Name (Printed): _____

Bidder's Signature: _____

Bidder's Title: _____

BOND REQUIREMENTS *

Bid Security required	Bid Security – Yes	Amount <u>\$ 5% of the Bid Price</u>
Performance bond required	(Performance Bond - Yes)	Amount <u>\$ 100% of the Contract Amount</u>
Payment bond required	(Payment Bond - Yes)	Amount <u>\$ 100% of the Contract Amount</u>

*See item 3 under General Terms and Conditions for specific security/bonding requirements. If required, only the successful Bidder shall submit a performance and payment bond as described in the General Terms and Conditions of this Bid.

FOR CITY USE ONLY

Bid was opened on above date and at prescribed place.

Received: [] Cashiers or Certified Check drawn on a Idaho bank
[] Surety Bond

By: _____

Purchasing Agent, City of Meridian

EXAMPLE

If Bidder is:

- | | Sign: |
|---|--|
| 1. An individual doing business under own name..... | Your name only |
| 2 An individual using a firm name | John Doe, an individual doing business as
Blank Company |
| 3 A Partnership | John Doe and Richard Roe, partners doing
business as Blank Company, By John Doe,
partner |
| 4 A Corporation..... | Blank Company, by John Doe, secretary (or
other title) |

Note: The above Non-collusion Affidavit is part of the Bid. Signing this Bid on the signature portion thereof shall also constitute signature of this Non-collusion Affidavit. Bidders are cautioned that making a false certification may subject the certifier to criminal prosecution.

ALL BID RESPONSES MUST BE ACCOMPANIED BY EVIDENCE OF AUTHORITY TO SIGN

CITY OF MERIDIAN PURCHASING DEPARTMENT
ABATEMENT AND DEMOLITION OF STRUCTURES
Located at 27 E. Broadway Ave, Meridian, ID

PROJECT DESCRIPTION (Overview)

The City of Meridian is requesting bids for the Abatement and Demolition of the Creamery located at 27 E. Broadway, Meridian, ID. *All bid documents, contracts, contract administration and work to be executed in accordance with the applicable IDAHO PUBLIC WORKS statutes*

SCOPE OF WORK / SERVICES

Abatement:

Furnish all materials, tools, equipment, labor and supervision for a complete Hazardous Material Abatement at the project site. The work is to include the complete removal, handling, disposal and *chain of ownership* documentation of the asbestos laden products that meet the EPA requirements for abatement in accordance with the *MERIDIAN CREAMERY TARGETED BROWNFIELDS ASSESSMENT REPORT* prepared by *Weston Solutions, Inc.* of Seattle, WA dated May 2005 and the supplemental hazardous material report by *Materials Testing, Inc* dated September 1, 2006 specific to areas not surveyed in the first report. Remove, handle, contain, transport and dispose of all contaminated materials from the building to a registered disposal site as detailed in the reports and as required by all applicable laws, statutes and ordinances. Identified hazardous materials may include friable and non-friable asbestos in flooring, flooring mastic, ceiling tile, texture, wall joint compound, insulation and plaster on interior and exterior applications; and all soil contamination as currently identified by the Brownfields report. Any additional contaminants, both surface and subsurface, that may be encountered are to be brought to the immediate attention of the Construction Manager who will assess, order additional testing as required and develop an amended scope of work for pricing and abatement. *(Keith, do you want unit costs to be attached to the proposals.?)*

Demolition:

Furnish all materials, tools, equipment, labor and supervision for a complete demolition scope of work of all buildings and structures both above and below ground.

Are you going to ask LCA to create a site plan that identifies all of the existing structures to be demolished?

Do you want to specifically prohibit the use of explosives and explosive technology to raze any building or structure?

Most Demo Contractors base part of their bid on the estimated salvage value of some of the components from the demo job. Who is going to decide what needs to be salvaged from the demo scope of work and set aside for the Owner? I know that the Mayor wants the door off the stack and possibly the barrel trusses out of the warehouse building, what else?

I am getting calls almost daily from people who want to buy or “haul away” some treasures from the buildings. A photographer wants to buy and salvage some big sliding doors that they like to use as photo backdrops, another man wants some pipes off the creamery roof. How are these requests going to be handled, or do we refer them to the successful bidder or does the City want to get into the salvage pick and choose business? I don't want to anger anyone or create a problem where one does not exist, but two major issues exist: 1) What is to be salvaged for the city? 2) What is available for purchase by the public?

WORK DESCRIPTION

- a) Notify and coordinate with all utility companies to avoid any impact on existing and continuing customer service.
- b) Contractor shall notify City 24-hours prior to start of work and meet with Construction Manager prior to commencing any operations on site..
- c) Install signs, barricades, and etc. to keep the area clear of vehicles and spectators.
- d) Demolish stack and all remaining structures completely. Remove all marked trees and brush. All salvaged material shall be disposed of in an approved disposal site. All rubble, debris, and trash material shall be removed from the site. Remove all concrete slabs, foundations, mow strips and sidewalks.
- e) Grade entire site and wheel compact prior to leaving the site so as not to present any public nuisance. Re-stretch and reset any temporary fence that may have been moved during the course of demolition. Replace any fence or gates that may have been damaged during the course of demolition.

SAFETY – Contractor shall observe all State, Local and Federal safety regulations.

DUST CONTROL – Contractor shall water to control dust as necessary.

DEMOLITION PERMIT – Contractor shall obtain a demolition permit from ??? County or City?

PRE-BID CONFERENCE

A Pre-Bid Conference will be held on September 25, 2006, 2:00 pm MST at the demolition location, 27 E. Broadway, Idaho. Representatives of the City and Petra, Inc, Construction Manager will be present to discuss the project. Bidders are encouraged to attend and participate in the conference. The City Purchasing Agent will transmit to all prospective bidders of record such Addenda as required in response to questions arising at the conference. Oral statements may not be relied upon and will not be binding or legally effective.

Dated this _____ day of September, 2006.

Keith Watts, Purchasing Agent

BID FORM

**ABATEMENT & DEMOLITION
BID NUMBER
CH-06-001**

Furnish all labor, materials, equipment, and incidentals as required for the ABATEMENT of project site per the Scope of Work and Work Description.....	\$ _____.
Furnish all labor, materials, equipment, and incidentals as required for the DEMOLITION of project site per the Scope of Work and Work Description.....	\$ _____.
TOTAL IF AWARDED BOTH ITEMS	\$ _____.

State number of days to complete Abatement _____.

State number of days to complete Demolition _____.

Total cost to include all labor, material, equipment, freight, insurance, travel, lodging, incidentals, and applicable taxes

Payment Discount

Cash discount of _____% for payment within _____ calendar days.
(No deposits, prepayments or percentage payments will be allowed)

Certificate of Understanding

The undersigned represents and warrants that the undersigned has examined the location of the proposed work and is familiar with the local conditions at the place where the work is to be done, and the undersigned has reviewed and understands the plans, specifications and other documents, and the undersigned is satisfied with all conditions for performance of the work.

The undersigned has checked carefully all the above figures and understands that the City of Meridian will not be responsible for any errors or omissions on the part of the undersigned in creating this bid.

The undersigned declares: that he/she holds the position indicated below as a corporate officer or the owner or a partner in the business entity submitting this bid; that the undersigned is informed of the relevant facts surrounding the preparation and submission of this bid, that the undersigned knows and represents and warrants to the City of Meridian that this bid is prepared and submitted without collusion with any other person, business entity, or corporation with any interest in this bid.

I declare under penalty of perjury that the foregoing is true and correct.

CONTRACTOR/FIRM: _____

By: _____

PRINTED OR TYPED NAME: _____

TITLE: _____

DATE: _____

INSTRUCTIONS TO BIDDER

1. Bid must be submitted on the forms provided by the City of Meridian Purchasing Department. All items shall be filled in and the signatures of all persons signing shall be written in longhand. Bids not submitted on the forms provided **may not** be considered by the City. Bids shall be delivered to the City Clerk, 33 East Idaho Avenue, Meridian, ID 83642 prior to 2:30 P.M. on **OCTOBER 3, 2006**. Bids, received after that time will be returned unopened to the respective bidder and will not be considered for evaluation.

Mistakes must be corrected and the correction inserted; correction must be initialed in ink by the person signing the Bid.

All bids shall be submitted in a sealed envelope and clearly identified on the outside to read:

a) **ABATEMENT & DEMOLITION**

b) **Bid Number CH-06-001**

c) **Opening Date OCTOBER 3, 2006**

Bids shall be opened in public at 2:30 P.M. on said date.

Bidder shall submit entire Bid package completed and signed.

2. Alternate bids will be considered unless otherwise stipulated.
3. If required, before award or execution of the contract by the City, the Contractor shall file with the City a surety bond satisfactory to the City in the amounts and for the purpose noted. Bonds shall be duly executed by a responsible corporate surety, authorized to issue such bonds in Idaho and secured through an authorized agent with an office in Idaho. Contractor shall pay all bond premiums, costs and incidentals.
 - a) **Bid Bond**
If required, Bidder's security shall take the form of a bond, cashier check, or a certified check representing the Contractor's firm commitment to stand behind the Bid price. The Bidder's bond shall be prepared and guaranteed by an admitted corporate surety made payable to the "City of Meridian", or the certified check shall be issued and certified by a responsible bank or banker.
 - b) **Performance Bond**
A Performance Bond may be required to secure fulfillment of all of the contractor's obligations under the contract. If required, prior to the execution of the contract or awarding of a Bid by the City, the successful contractor shall file with the City a surety bond satisfactory to the City in the amounts noted herein. Bonds shall be duly executed by a responsible corporate surety, authorized to issue such bonds in Idaho and secured through an authorized agent with an office in Idaho. **Contractor shall pay all bond premiums, costs and incidentals.**

c) Payment Bonds

A Payment Bond may be required to assure the contractor's full discharge of its obligations to subcontractors, suppliers, and other labor used on the project. If required the successful contractor shall file with the City a surety bond issued by a Idaho admitted surety in the amounts noted herein.

4. No bidder shall be interested in more than one Bid.
5. The City reserves the right to waive any informalities or minor irregularities in connection with the bids received.
6. All provisions of the City Purchasing Policies are applicable to any bid submitted or contract awarded pursuant thereto.
7. If equipment is proposed, it is to be newest and latest model in current production. Used, remanufactured, shopworn, demonstrator, prototype or discontinued models are not acceptable unless otherwise stipulated.
8. Within thirty (30) days after the bid opening, a contract may be awarded by the City to the most responsive and responsible bidder, subject to the right of the City to reject all bids, as it may deem proper in its absolute discretion. The time for awarding a contract may be extended at the sole discretion of the City. If required to evaluate bids or for such other purposes as the City may determine, unless the bidder objects to such extension in writing with his bid.
9. Except as where the City of Meridian Purchasing Department exercises the right reserved herein to reject any or all bids, the contract will be awarded to the bidder who has submitted the lowest responsible and responsive bid determined by lowest total base bid amount based on the quantities given in the schedule. Quantities are approximate, only being as a basis for the comparison of bids. The City of Meridian Purchasing Department reserves the right to increase, decrease or omit portions of the work as may be deemed necessary in the sole discretion of the City. In addition to price in determining the most responsive and responsible, consideration shall be given, but not limited to:
10. The City of Meridian does not discriminate on the basis of race, religion, sex, national origin, marital status, age, physical handicap, ownership by women or minorities or sexual orientation.

GENERAL TERMS AND CONDITIONS

CONTRACTOR DEFINITION

The term "Contractor" means an individual or firm, registered with the State of Idaho as a General Contractor, *Subcontractor*, *Specialty Contractor* or licensed with the State as a Public Works Contractor in the discipline required for the work.

EQUAL EMPLOYMENT OPPORTUNITY

Contractor agrees to comply with the provisions of Title VI and VII of the Civil Rights Act, Revenue Sharing Act Title 31, U.S. Code Section 2176. Specifically, the Contractor agrees not to discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, age, political affiliation, marital status, or handicap. Contractor will take affirmative action during employment or training to insure that employees are treated without regard to race, color, religion, sex, national origin, age, political affiliation, marital status, or handicap.

ADDENDA OR BULLETINS

Any Addenda issued during the time of bidding shall be covered in the bid and will be made a part of the contract.

COST OF PREPARATION OF BID

The City shall not pay costs incurred in the bid preparation, printing or demonstration process. All such costs shall be borne by the Bidder.

EXAMINATION OF CONTRACT DOCUMENTS

Bidders shall carefully examine the specifications, and satisfy themselves as to their sufficiency, and shall not at any time after submission of the bid, dispute such specifications and the directions explaining or interpreting them.

Should a Bidder find discrepancies in, or omissions from, the specifications and/or drawings, or should he/she be in doubt of their meaning, he/she shall at once notify the City of Meridian Purchasing Department. Notification is to be in written form and must be submitted at least ten (10) days prior to the bid opening date. Any interpretations by the City will be made in written form. Any change in requirements will be done in the form of a written addenda. The receipt of any resulting amendments must be acknowledged in accordance with the directions on the amendment. *Oral explanations or instructions given before the award of the contract will not be binding.*

RIGHTS TO PERTINENT MATERIALS

All responses, inquiries, and correspondence relating to the Invitation for Bid and all reports, charts, coverage maps, displays, schedules, exhibits, and other documentation produced by

the bidder that are submitted as part of the bid shall become the property of the City after the bid submission deadline.

RIGHT OF THE CITY TO REJECT BIDS

The City reserves the right to reject any and all bids or any part of any bids, to waive minor defects or technicalities, or to solicit new bids on the same project or on a modified project which may include portions of the originally proposed project as the City may deem necessary.

BID EVALUATION

In determining the amount proposed by each Contractor, the City shall disregard the mathematical errors in addition, subtraction, multiplication and division that appear obvious on the face of the bid. When an item price is required to be set forth in the bid and the total for the item set forth separately does not agree with a figure which is derived by multiplying the item price times the City's estimate of the quantity of work to be performed for said item, the item price shall prevail over the sum set forth as the total for the item unless, in the sole discretion of the City, such a procedure would be inconsistent with the policy of the bid procedure. The total paid for each such item of work shall be based upon the item price and not the total price.

Should the bid contain only a total price for the item and the item price is omitted, the City shall determine the item price by estimated quantities of work to be performed as items of work.

If the bid contains neither the item price nor the total price for the item, then it shall be deemed incomplete and the bid shall be non-responsive.

AWARD

The City of Meridian reserves the right to award this contract to the Contractor whose total aggregate bid is most responsive to the needs of the City. An evaluation of the Contractors ability, quality, and performance on previous or current contracts will be used in addition to total cost as a basis of award for any resultant contract. The winning Contractor will be required to enter into a "Independent Contractor Agreement" with the City, of which a sample copy is attached as Exhibit B.

SEPARATE CONTRACTS

The City of Meridian reserves the right to let separate contracts for portions of the work concurrently with the project. This Contractor shall work and coordinate with separate contractors and City personnel.

PURCHASE AGREEMENT DOCUMENTS

A copy of the Notice Inviting Bids, Instructions to Bidders, General Conditions, Special Conditions, Specifications, Plans and/or Drawings, Bidder's Proposal and any other related documents will remain on file in the office of the City Purchasing Agent.

ADDITIONAL TERMS AND CONDITIONS

SITE VISIT

All interested Contractors are encouraged to visit the areas where the services are to be performed and familiarize themselves with all conditions that may affect the time or cost of performance. Failure to ascertain such conditions shall not be the basis of any subsequent claim or contract modification.

PUBLIC WORKS CONTRACTOR

All contractors bidding on Public Works projects MUST be licensed with the state as a Public Works Contractor and MUST submit their Public Works Contractors License number with their bid.

LICENSURE / SUBCONTRACTORS

Per State of Idaho Statute #54-1902, the following must be strictly adhered to; Bidders are required to hold current licenses as Public Works Contractors in the State of Idaho at the time of Bid, Contractor shall require that all of its subcontractors be licensed in their respective fields, and Contractor is prohibited to subcontract in excess of eighty percent (80%) of the work under this Public Works Contract. *(Any work planned to be Subcontracted shall be so listed on the bid form and the qualified Subcontractor identified?.)*

Per State of Idaho Statute #67-2310, Contractor must list all subcontractors engaged for this project and such subcontractors must be licensed by the State at time of Bid.

Contractor shall obtain and hold such other licenses as required by federal and local laws and regulations. A bidder may be deemed not responsible and the bid rejected if a listed subcontractor is not responsible.

Responsibility of any bidder or of any listed subcontractor shall be determined at the sole discretion of the City of Meridian. Bidders shall comply with all applicable laws and regulations in submission of bids or be considered non-responsive.

INSURANCE AND INDEMNIFICATION

The Contractor shall hold harmless and defend, save, and keep the City of Meridian and its elected officials, officers, employees, agents, and volunteers free from any/all liability for damages including, but not limited to, monetary loss, judgments, fees, costs, and expense, incurred by reason of claims, suits, or decrees that may arise from any injury to a person or persons or damages to property occurring during the performance of the work determined by this Contract.

The Contractor shall reimburse the City of Meridian for all costs, fees, and monetary disbursements of any nature incurred by reason of said claims, suits, or decrees wherein suit is deemed expedient and necessary by the City to do so in the good faith disposition of said claim.

Neither party hereto shall be liable for any damages proximately arising from the negligence, wrongful act, or omissions of the other party and shall indemnify, defend, and hold harmless the other party from such claim for damage for liability that should occur.

Indemnification

Contractor shall indemnify the City from any and all claims, losses, damages or liability arising out of this contract from any cause whatsoever, except the active negligence of the City.

Insurance

Contractor shall procure and maintain at Contractor's expense, for the duration of the Agreement, insurance coverage provided by a Idaho admitted insurer licensed to transact business in Idaho, as hereinafter provided, including insurance coverage against claims for injuries or death to person or damage to property which may arise from or in connection with the performance or omission to perform any term or condition of the Agreement by the Contractor or Contractor's agents, representatives, employees or subcontractors as follows:

A. Minimum Scope of Insurance

Insurance coverage shall be at least as broad as:

1. General Liability

ONE MILLION DOLLARS (\$1,000,000.00) combined single limit per occurrence for bodily injury, personal injury and property damage. If Commercial General Liability Insurance or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to this project or the general aggregate limit shall be twice the required occurrence limit.

2. Professional Errors and Omissions:

Policy limits of ONE MILLION DOLLARS (\$1,000,000.00) in professional errors and omissions insurance.

3. Automobile Liability:

Owned/Nonowned automobile liability insurance providing combined single limits covering bodily injury liability with limits of no less than ONE MILLION DOLLARS (\$1,000,000.00 per accident and providing property damage liability of no less than ONE MILLION DOLLARS (\$1,000,000.00 PER ACCIDENT.

4. Workers' Compensation Insurance:

Workers' Compensation Insurance as required by the Labor Code of the State of Idaho.

B. Deductibles, Self-Insured Retentions, Named Insureds

Any deductibles, self-insured retentions or named insureds must be declared in writing and approved by City. At the option of the City, either: the insurer shall reduce or eliminate such deductibles, self-insured retentions or named insured; or the Contractor shall post cash, bond, or letter of credit guaranteeing payment of losses and related investigations, claim administration and defense expenses.

C. The insurance policies are to contain, or be endorsed to contain, the following provisions:

1. General Liability and Automotive Liability Coverages

- a. The Contractor shall provide a specific endorsement naming the City of Meridian and City's elected officials, officers, employees, agents, and Volunteers as additional insureds regarding: liability arising from or in connection with the performance or omission to perform any term, condition or requirement of the Agreement by or on behalf of the Contractor; services, products and completed operations of the Contractor; premises owned, occupied or used by the Contractor; and automobiles owned, leased, hired or borrowed by the Contractor. The coverage shall contain no special limitations on the scope of protection afforded to the City or City's elected officials, officers, employees, agents, and Volunteers.
- b. The Contractor's insurance coverage shall be primary insurance regarding the City and City's elected officials, officers, employees, agents, and Volunteers. Any insurance or self-insurance maintained by the City or City's elected officials, officers, employees, agents, and Volunteers shall be excess of the Contractor's insurance and shall not contribute with Contractor's insurance.
- c. Any failure to comply with reporting provisions of the policies shall not affect coverage provided to City, its elected officials, officers, employees, agents, and volunteers.
- d. The Contractor's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.

2. Workers' Compensation and Employers Liability Coverage

The insurer shall agree to waive all rights of subrogation against the City and City's elected officials, officers, employees, agents, and volunteers for losses arising from the performance of or the omission to perform any term, condition or requirement of this Agreement by the Contractor.

3. All Coverages

Each insurance policy required by this section shall be endorsed to state that coverage shall not be suspended, voided, canceled by either party, reduced in coverage or in limits except after thirty (30) days prior written notice by certified mail, return receipt requested, has been given to City.

D. Acceptability of Insurers

Insurance is to be placed with an Idaho admitted insurer with a Best's rating of no less than A-VII.

E. Verification of Coverage

Prior to performing any term, condition or requirement of this Agreement, Contractor shall furnish City with certificates of insurance and with original endorsements effecting coverage required by this section. The certificates and endorsements for each insurance policy are to be signed by a person authorized by that insurer to bind coverage on its behalf. All certificates and endorsements shall be received and, in City's sole and absolute discretion, approved by the City before any term, condition or requirement of the Agreement is performed by Contractor. City reserves the right to require complete copies of all required insurance policies and endorsements, at any time.

F. Subcontractors

Contractor shall require that all of its subcontractors shall be subject to all of the insurance and indemnity requirements stated herein.

G. Insurance Limits to Not Limit Contractors Liability

The limits of insurance described herein shall not limit the liability of Contractor and Contractor's agents, representatives, employees or subcontractors.

PAYMENT REQUEST

Payment requests shall be submitted to City of Meridian, Attn. Keith Watts, Purchasing Agent. The Purchasing Agent will forward a copy to the Construction Manager for review and approval. The Purchasing Agent and Construction Manager will compare the invoice against the Payment Schedule in the Agreement for compliance. Upon approval that the work has been done and in compliance with the Agreement, the Purchasing Agent will return the invoice to AP for payment. *(We haven't talked about the pay applications, do you want the bids broken down in the contract to units of measure to make our collective jobs easier when it comes time to identify payment due? i.e. manhours, SF, etc?)*

CLEANUP

Contractor shall keep the worksite clean and free from debris. At completion of work and prior to requesting final inspection, the Contractor shall remove all traces of waste materials and debris resulting from the work. Final payment will not be made if cleanup is not performed.

TIME FOR EXECUTING CONTRACT AND LIQUIDATED DAMAGES

Upon receipt of a Notice to Proceed, the Contractor shall have ____ calendar days to complete the work as described herein. Contractor shall be liable to the City for any delay beyond this time period in the amount of \$150.00 per calendar day at owners discretion. Such payment shall be construed to be liquidated damages by the Contractor in lieu of any claim or damage because of such delay and not be construed as a penalty.

FORM AGREEMENT

Form Agreement; Exceptions and Alternatives. The Agreement attached to this Invitation for Bid ("IFB") and, by this reference, made a part hereof, contains terms and conditions that apply to the performance of this work. If the bidder suggests alternatives or states exceptions to any term or condition in the Agreement, or to any provision or recurrent of the IFB, such alternative or exception shall be clearly stated and identified in the submitted bid. Otherwise, the successful bidder will be expected to sign the Agreement upon award of the contract. Any alternative must satisfy all minimum qualifications specified in the IFB. The City expressly reserves the right, in it's sole discretion, to (1) reject a bid containing any exception or alternatives as non-conforming, or (2) accept any bid alternative or exception and to award a contract based there on if determination to be in the best interest of the City.

BID INQUIRIES

Questions, in written form, regarding this bid should be sent to:

**City of Meridian, Purchasing Department
33 East Idaho Avenue
Meridian, ID 83642**

**Attn: Keith Watts
wattsk@meridiacity.org
(208) 888-4433 x207**

BID FORM

MISCELLANEOUS EQUIPMENT FOR PARKS DEPARTMENT

BID NUMBER

CH-06-001

Furnish all labor, materials, equipment, and incidentals as required for the **SUPPLY AND INSTALL PUMPING PLANT #17**, per the attached drawings and specifications (Attachment A*)

LUMP SUM TOTAL \$

Total cost to include all labor, material, equipment, freight, insurance, travel, lodging, incidental, and applicable taxes

Payment Discount

Cash discount of _____% for payment within _____ calendar days.
(No deposits, prepayments or percentage payments will be allowed)
See General Terms No. 8 for further clarification.

Certificate of Understanding

The undersigned represents and warrants that the undersigned has examined the location of the proposed work and is familiar with the local conditions at the place where the work is to be done, and the undersigned has reviewed and understands the plans, specifications and other documents, and the undersigned is satisfied with all conditions for performance of the work.

The undersigned has checked carefully all the above figures and understands that the City of Meridian will not be responsible for any errors or omissions on the part of the undersigned in creating this bid.

The undersigned declares: that he/she holds the position indicated below as a corporate officer or the owner or a partner in the business entity submitting this bid; that the undersigned is informed of the relevant facts surrounding the preparation and submission of this bid, that the undersigned knows and represents and warrants to the City of Meridian that this bid is prepared and submitted without collusion with any other person, business entity, or corporation with any interest in this bid.

I declare under penalty of perjury that the foregoing is true and correct.

CONTRACTOR/FIRM: _____

By: _____

PRINTED OR TYPED NAME: _____

TITLE: _____

DATE: _____

EXHIBIT A

LIST OF SUBCONTRACTORS

In accordance with the State of Idaho Statute #67-2310, all Bidders must list the names and license numbers of all subcontractors and the percentage of the total bid price for each. Bidder may not subcontract more than 80% of the total project cost per Idaho State Law. Failure to complete the list of subcontractors will render Bid as non-responsive and cause Bid to be rejected.

Trade to be Performed	Contractor License Number	Percent of Total Contract	Subcontractor's Name, Address and Contact Person
1. Plumbing			
2. Electrical			
3. HVAC			
4. Instrumentation			
5. Coatings			
6.			
7.			
8.			
9.			



EXHIBIT B

LIST OF EQUIPMENT MANUFACTURERS

NOT USED

EXHIBIT D

CONTRACTORS QUALIFICATION / EXPERIENCE STATEMENT

1. On Schedule A, attached, list all major, similar construction projects completed by your firm in the past five (5) years.
2. On Schedule B, attached, list current projects under construction by your firm. If joint venture list each partner and their respective responsibility.
3. List the name, address and contact of your firms surety company.

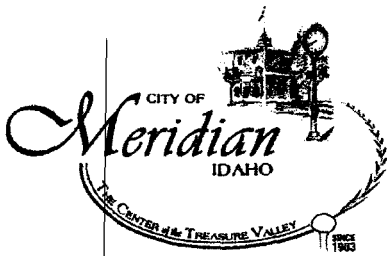
4. On Schedule C, attached, list the experience of the principal individuals or your firm Who will involved in this construction project.
5. Has your firm ever failed to complete a construction contract awarded to it?
 Yes No
If yes attach explanation.
6. In the last five (5) years, has your firm ever failed to substantially complete a project in a timely manner?
 Yes No
If yes attach explanation.
8. What is your firms approximate total bonding capacity? _____
9. Does your firm have a formal safety program?
 Yes No
If yes please provide a copy.

EXHIBIT F

REFERENCES AND EXPERIENCE & CURRENT PROJECTS

EXHIBIT G
STATE OF IDAHO BID PREFERENCES

ATTACHEMENT A
INDEPENDENT CONTRACTORS AGREEMENT



9/15/06 R
PURCHASING AGENT
33 East Idaho Avenue, Meridian, ID 83642
Phone: (208) 888-4433 x207
Fax: (208) 887-4813

INVITATION FOR BID

BID NO. CH-06-001

PROJECT NAME & SPECIFICATIONS:

ABATEMENT & DEMOLITION

BIDS MUST BE RECEIVED PRIOR TO 2:30 P.M.
OCTOBER 3, 2006

DELIVER BID RESPONSES TO:

City of Meridian, City Clerk
33 East Idaho
Meridian, ID 83642

Bidders are required to submit one (1) original and two (2) additional signed copies of their Bid response (including all required attachments) to the above address. Bids shall clearly identify the project name, Bid number, and Bid response date on the outside of the envelope and be delivered in a sealed envelope. Failure to do so may cause the Bid to be rejected.

PRE-BID CONFERENCE DATE:

SEPTEMBER 25, 2006

PRE-BID CONFERENCE TIME:

2:00 pm MST

LOCATION OF PRE-BID CONFERENCE:

**27 E. BROADWAY
MERIDIAN, ID 83642**

NAME AND LICENSE # OF COMPANY SUBMITTING BID

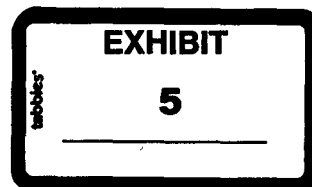
NAME: _____

IDAHO CONTRACTORS LICENSE NO. _____

IDAHO PUBLIC WORKS CONTRACTORS LICENSE NO. _____

*Invite a Bid / Bid Package
Demolition - w/ Petra Comments*

RFP No 14 Item # 2



Petra93064
002480

Signed addenda/addendum to be included in the BID Response. Contractor to complete the below and return with the BID Response.

Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____
Addendum No. _____ Dated _____ Date Received _____ Initials _____

Bidder's Name (Printed): _____

Bidder's Signature: _____

Bidder's Title: _____

BOND REQUIREMENTS *

Bid Security required	Bid Security – Yes	Amount <u>\$ 5% of the Bid Price</u>
Performance bond required	(Performance Bond - Yes)	Amount <u>\$ 100% of the Contract Amount</u>
Payment bond required	(Payment Bond - Yes)	Amount <u>\$ 100% of the Contract Amount</u>

*See item 3 under General Terms and Conditions for specific security/bonding requirements. If required, only the successful Bidder shall submit a performance and payment bond as described in the General Terms and Conditions of this Bid.

FOR CITY USE ONLY

Bid was opened on above date and at prescribed place.

Received: Cashiers or Certified Check drawn on a Idaho bank
 Surety Bond

By: _____

Purchasing Agent, City of Meridian

EXAMPLE

If Bidder is:

Sign:

- 1. An individual doing business under own name.....Your name only
- 2 An individual using a firm name John Doe, an individual doing business as Blank Company
- 3 A Partnership John Doe and Richard Roe, partners doing business as Blank Company, By John Doe, partner
- 4 A Corporation..... Blank Company, by John Doe, secretary (or other title)

Note: The above Non-collusion Affidavit is part of the Bid. Signing this Bid on the signature portion thereof shall also constitute signature of this Non-collusion Affidavit. Bidders are cautioned that making a false certification may subject the certifier to criminal prosecution.

ALL BID RESPONSES MUST BE ACCOMPANIED BY EVIDENCE OF AUTHORITY TO SIGN

CITY OF MERIDIAN PURCHASING DEPARTMENT

**ABATEMENT AND DEMOLITION OF STRUCTURES
Located at 27 E. Broadway Ave, Meridian, ID**

PROJECT DESCRIPTION (Overview)

The City of Meridian is requesting bids for the Abatement and Demolition of the Creamery located at 27 E. Broadway, Meridian, ID. *All bid documents, contracts, contract administration and work to be executed in accordance with the applicable IDAHO PUBLIC WORKS statutes*

SCOPE OF WORK / SERVICES

Abatement :

Furnish all materials, tools, equipment, labor and supervision for a complete Hazardous Material Abatement at the project site. The work is to include the complete removal, handling, disposal and *chain of ownership* documentation of the asbestos laden products that meet the EPA requirements for abatement in accordance with the *MERIDIAN CREAMERY TARGETED BROWNFIELDS ASSESSMENT REPORT* prepared by Weston Solutions, Inc. of Seattle, WA dated May 2005 and the supplemental hazardous material report by Materials Testing, Inc dated September 1, 2006 specific to areas not surveyed in the first report. Remove, handle, contain, transport and dispose of all contaminated materials from the building to a registered disposal site as detailed in the reports and as required by all applicable laws, statutes and ordinances. Identified hazardous materials may include friable and non-friable asbestos in flooring, flooring mastic, ceiling tile, texture, wall joint compound, insulation and plaster on interior and exterior applications; and all soil contamination as currently identified by the Brownfields report. Any additional contaminants, both surface and subsurface, that may be encountered are to be brought to the immediate attention of the Construction Manager who will assess, order additional testing as required and develop an amended scope of work for pricing and abatement. **(Keith, do you want unit costs to be attached to the proposals.?)**

Demolition:

Furnish all materials, tools, equipment, labor and supervision for a complete demolition scope of work of all buildings and structures both above and below ground.

Are you going to ask LCA to create a site plan that identifies all of the existing structures to be demolished?

Do you want to specifically prohibit the use of explosives and explosive technology to raze any building or structure?

Most Demo Contractors base part of their bid on the estimated salvage value of some of the components from the demo job. Who is going to decide what needs to be salvaged from the demo scope of work and set aside for the Owner? I know that the Mayor wants the door off the stack and possibly the barrel trusses out of the warehouse building, what else?

I am getting calls almost daily from people who want to buy or "haul away" some treasures from the buildings. A photographer wants to buy and salvage some big sliding doors that they like to use as photo backdrops, another man wants some pipes off the creamery roof. How are these requests going to be handled, or do we refer them to the successful bidder or does the City want to get into the salvage pick and choose business? I don't want to anger anyone or create a problem where one does not exist, but two major issues exist: 1) What is to be salvaged for the city? 2) What is available for purchase by the public?

WORK DESCRIPTION

- a) Notify and coordinate with all utility companies to avoid any impact on existing and continuing customer service.
- b) Contractor shall notify City 24-hours prior to start of work and meet with Construction Manager prior to commencing any operations on site..
- c) Install signs, barricades, and etc. to keep the area clear of vehicles and spectators.
- d) Demolish stack and all remaining structures completely. Remove all marked trees and brush. All salvaged material shall be disposed of in an approved disposal site. All rubble, debris, and trash material shall be removed from the site. Remove all concrete slabs, foundations, mow strips and sidewalks.
- e) Grade entire site and wheel compact prior to leaving the site so as not to present any public nuisance. Re-stretch and reset any temporary fence that may have been moved during the course of demolition. Replace any fence or gates that may have been damaged during the course of demolition.

SAFETY – Contractor shall observe all State, Local and Federal safety regulations.

DUST CONTROL – Contractor shall water to control dust as necessary.

DEMOLITION PERMIT – Contractor shall obtain a demolition permit from ??? County or City?

PRE-BID CONFERENCE

A Pre-Bid Conference will be held on September 25, 2006, 2:00 pm MST at the demolition location, 27 E. Broadway, Idaho. Representatives of the City and Petra, Inc, Construction Manager will be present to discuss the project. Bidders are encouraged to attend and participate in the conference. The City Purchasing Agent will transmit to all prospective bidders of record such Addenda as required in response to questions arising at the conference. Oral statements may not be relied upon and will not be binding or legally effective.

Dated this _____ day of September, 2006.

Keith Watts, Purchasing Agent

BID FORM

**ABATEMENT & DEMOLITION
BID NUMBER
CH-06-001**

Furnish all labor, materials, equipment, and incidentals as required for the ABATEMENT of project site per the Scope of Work and Work Description.....\$_____.
Furnish all labor, materials, equipment, and incidentals as required for the DEMOLITION of project site per the Scope of Work and Work Description.....\$_____.
TOTAL IF AWARDED BOTH ITEMS\$_____.

State number of days to complete Abatement _____.

State number of days to complete Demolition _____.

Total cost to include all labor, material, equipment, freight, insurance, travel, lodging, incidentals, and applicable taxes

Payment Discount

Cash discount of _____% for payment within _____calendar days.
(No deposits, prepayments or percentage payments will be allowed)

Certificate of Understanding

The undersigned represents and warrants that the undersigned has examined the location of the proposed work and is familiar with the local conditions at the place where the work is to be done, and the undersigned has reviewed and understands the plans, specifications and other documents, and the undersigned is satisfied with all conditions for performance of the work.

The undersigned has checked carefully all the above figures and understands that the City of Meridian will not be responsible for any errors or omissions on the part of the undersigned in creating this bid.

The undersigned declares: that he/she holds the position indicated below as a corporate officer or the owner or a partner in the business entity submitting this bid; that the undersigned is informed of the relevant facts surrounding the preparation and submission of this bid, that the undersigned knows and represents and warrants to the City of Meridian that this bid is prepared and submitted without collusion with any other person, business entity, or corporation with any interest in this bid.

I declare under penalty of perjury that the foregoing is true and correct.

CONTRACTOR/FIRM: _____

By: _____

PRINTED OR TYPED NAME: _____

TITLE: _____

DATE: _____

INSTRUCTIONS TO BIDDER

1. Bid must be submitted on the forms provided by the City of Meridian Purchasing Department. All items shall be filled in and the signatures of all persons signing shall be written in longhand. Bids not submitted on the forms provided **may not** be considered by the City. Bids shall be delivered to the City Clerk, 33 East Idaho Avenue, Meridian, ID 83642 prior to 2:30 P.M. on **OCTOBER 3, 2006**. Bids, received after that time will be returned unopened to the respective bidder and will not be considered for evaluation.

Mistakes must be corrected and the correction inserted; correction must be initialed in ink by the person signing the Bid.

All bids shall be submitted in a sealed envelope and clearly identified on the outside to read:

a) **ABATEMENT & DEMOLITION**

b) **Bid Number CH-06-001**

c) **Opening Date OCTOBER 3, 2006**

Bids shall be opened in public at 2:30 P.M. on said date.

Bidder shall submit entire Bid package completed and signed.

2. Alternate bids will be considered unless otherwise stipulated.
3. If required, before award or execution of the contract by the City, the Contractor shall file with the City a surety bond satisfactory to the City in the amounts and for the purpose noted. Bonds shall be duly executed by a responsible corporate surety, authorized to issue such bonds in Idaho and secured through an authorized agent with an office in Idaho. Contractor shall pay all bond premiums, costs and incidentals.
 - a) **Bid Bond**
If required, Bidder's security shall take the form of a bond, cashier check, or a certified check representing the Contractor's firm commitment to stand behind the Bid price. The Bidder's bond shall be prepared and guaranteed by an admitted corporate surety made payable to the "City of Meridian", or the certified check shall be issued and certified by a responsible bank or banker.
 - b) **Performance Bond**
A Performance Bond may be required to secure fulfillment of all of the contractor's obligations under the contract. If required, prior to the execution of the contract or awarding of a Bid by the City, the successful contractor shall file with the City a surety bond satisfactory to the City in the amounts noted herein. Bonds shall be duly executed by a responsible corporate surety, authorized to issue such bonds in Idaho and secured through an authorized agent with an office in Idaho. **Contractor shall pay all bond premiums, costs and incidentals.**

c) Payment Bonds

A Payment Bond may be required to assure the contractor's full discharge of it's obligations to subcontractors, suppliers, and other labor used on the project. If required the successful contractor shall file with the City a surety bond issued by a Idaho admitted surety in the amounts noted herein.

- 4. No bidder shall be interested in more than one Bid.**
- 5. The City reserves the right to waive any informalities or minor irregularities in connection with the bids received.**
- 6. All provisions of the City Purchasing Policies are applicable to any bid submitted or contract awarded pursuant thereto.**
- 7. If equipment is proposed, it is to be newest and latest model in current production. Used, remanufactured, shopworn, demonstrator, prototype or discontinued models are not acceptable unless otherwise stipulated.**
- 8. Within thirty (30) days after the bid opening, a contract may be awarded by the City to the most responsive and responsible bidder, subject to the right of the City to reject all bids, as it may deem proper in its absolute discretion. The time for awarding a contract may be extended at the sole discretion of the City. If required to evaluate bids or for such other purposes as the City may determine, unless the bidder objects to such extension in writing with his bid.**
- 9. Except as where the City of Meridian Purchasing Department exercises the right reserved herein to reject any or all bids, the contract will be awarded to the bidder who has submitted the lowest responsible and responsive bid determined by lowest total base bid amount based on the quantities given in the schedule. Quantities are approximate, only being as a basis for the comparison of bids. The City of Meridian Purchasing Department reserves the right to increase, decrease or omit portions of the work as may be deemed necessary in the sole discretion of the City. In addition to price in determining the most responsive and responsible, consideration shall be given, but not limited to:**
- 10. The City of Meridian does not discriminate on the basis of race, religion, sex, national origin, marital status, age, physical handicap, ownership by women or minorities or sexual orientation.**

GENERAL TERMS AND CONDITIONS

CONTRACTOR DEFINITION

The term "Contractor" means an individual or firm, registered with the State of Idaho as a General Contractor, *Subcontractor*, *Specialty Contractor* or licensed with the State as a Public Works Contractor in the discipline required for the work.

EQUAL EMPLOYMENT OPPORTUNITY

Contractor agrees to comply with the provisions of Title VI and VII of the Civil Rights Act, Revenue Sharing Act Title 31, U.S. Code Section 2176. Specifically, the Contractor agrees not to discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, age, political affiliation, marital status, or handicap. Contractor will take affirmative action during employment or training to insure that employees are treated without regard to race, color, religion, sex, national origin, age, political affiliation, marital status, or handicap.

ADDENDA OR BULLETINS

Any Addenda issued during the time of bidding shall be covered in the bid and will be made a part of the contract.

COST OF PREPARATION OF BID

The City shall not pay costs incurred in the bid preparation, printing or demonstration process. All such costs shall be borne by the Bidder.

EXAMINATION OF CONTRACT DOCUMENTS

Bidders shall carefully examine the specifications, and satisfy themselves as to their sufficiency, and shall not at any time after submission of the bid, dispute such specifications and the directions explaining or interpreting them.

Should a Bidder find discrepancies in, or omissions from, the specifications and/or drawings, or should he/she be in doubt of their meaning, he/she shall at once notify the City of Meridian Purchasing Department. Notification is to be in written form and must be submitted at least ten (10) days prior to the bid opening date. Any interpretations by the City will be made in written form. Any change in requirements will be done in the form of a written addenda. The receipt of any resulting amendments must be acknowledged in accordance with the directions on the amendment. Oral explanations or instructions given before the award of the contract will not be binding.

RIGHTS TO PERTINENT MATERIALS

All responses, inquiries, and correspondence relating to the Invitation for Bid and all reports, charts, coverage maps, displays, schedules, exhibits, and other documentation produced by

the bidder that are submitted as part of the bid shall become the property of the City after the bid submission deadline.

RIGHT OF THE CITY TO REJECT BIDS

The City reserves the right to reject any and all bids or any part of any bids, to waive minor defects or technicalities, or to solicit new bids on the same project or on a modified project which may include portions of the originally proposed project as the City may deem necessary.

BID EVALUATION

In determining the amount proposed by each Contractor, the City shall disregard the mathematical errors in addition, subtraction, multiplication and division that appear obvious on the face of the bid. When an item price is required to be set forth in the bid and the total for the item set forth separately does not agree with a figure which is derived by multiplying the item price times the City's estimate of the quantity of work to be performed for said item, the item price shall prevail over the sum set forth as the total for the item unless, in the sole discretion of the City, such a procedure would be inconsistent with the policy of the bid procedure. The total paid for each such item of work shall be based upon the item price and not the total price.

Should the bid contain only a total price for the item and the item price is omitted, the City shall determine the item price by estimated quantities of work to be performed as items of work.

If the bid contains neither the item price nor the total price for the item, then it shall be deemed incomplete and the bid shall be non-responsive.

AWARD

The City of Meridian reserves the right to award this contract to the Contractor whose total aggregate bid is most responsive to the needs of the City. An evaluation of the Contractors ability, quality, and performance on previous or current contracts will be used in addition to total cost as a basis of award for any resultant contract. The winning Contractor will be required to enter into a "Independent Contractor Agreement" with the City, of which a sample copy is attached as Exhibit B.

SEPARATE CONTRACTS

The City of Meridian reserves the right to let separate contracts for portions of the work concurrently with the project. This Contractor shall work and coordinate with separate contractors and City personnel.

PURCHASE AGREEMENT DOCUMENTS

A copy of the Notice Inviting Bids, Instructions to Bidders, General Conditions, Special Conditions, Specifications, Plans and/or Drawings, Bidder's Proposal and any other related documents will remain on file in the office of the City Purchasing Agent.

ADDITIONAL TERMS AND CONDITIONS

SITE VISIT

All interested Contractors are encouraged to visit the areas where the services are to be performed and familiarize themselves with all conditions that may affect the time or cost of performance. Failure to ascertain such conditions shall not be the basis of any subsequent claim or contract modification.

PUBLIC WORKS CONTRACTOR

All contractors bidding on Public Works projects MUST be licensed with the state as a Public Works Contractor and MUST submit their Public Works Contractors License number with their bid.

LICENSURE / SUBCONTRACTORS

Per State of Idaho Statute #54-1902, the following must be strictly adhered to; Bidders are required to hold current licenses as Public Works Contractors in the State of Idaho at the time of Bid, Contractor shall require that all of its subcontractors be licensed in their respective fields, and Contractor is prohibited to subcontract in excess of eighty percent (80%) of the work under this Public Works Contract. *(Any work planned to be Subcontracted shall be so listed on the bid form and the qualified Subcontractor identified?.)*

Per State of Idaho Statute #67-2310, Contractor must list all subcontractors engaged for this project and such subcontractors must be licensed by the State at time of Bid.

Contractor shall obtain and hold such other licenses as required by federal and local laws and regulations. A bidder may be deemed not responsible and the bid rejected if a listed subcontractor is not responsible.

Responsibility of any bidder or of any listed subcontractor shall be determined at the sole discretion of the City of Meridian. Bidders shall comply with all applicable laws and regulations in submission of bids or be considered non-responsive.

INSURANCE AND INDEMNIFICATION

The Contractor shall hold harmless and defend, save, and keep the City of Meridian and its elected officials, officers, employees, agents, and volunteers free from any/all liability for damages including, but not limited to, monetary loss, judgments, fees, costs, and expense, incurred by reason of claims, suits, or decrees that may arise from any injury to a person or persons or damages to property occurring during the performance of the work determined by this Contract.

The Contractor shall reimburse the City of Meridian for all costs, fees, and monetary disbursements of any nature incurred by reason of said claims, suits, or decrees wherein suit is deemed expedient and necessary by the City to do so in the good faith disposition of said claim.

Neither party hereto shall be liable for any damages proximately arising from the negligence, wrongful act, or omissions of the other party and shall indemnify, defend, and hold harmless the other party from such claim for damage for liability that should occur.

Indemnification

Contractor shall indemnify the City from any and all claims, losses, damages or liability arising out of this contract from any cause whatsoever, except the active negligence of the City.

Insurance

Contractor shall procure and maintain at Contractor's expense, for the duration of the Agreement, insurance coverage provided by a Idaho admitted insurer licensed to transact business in Idaho, as hereinafter provided, including insurance coverage against claims for injuries or death to person or damage to property which may arise from or in connection with the performance or omission to perform any term or condition of the Agreement by the Contractor or Contractor's agents, representatives, employees or subcontractors as follows:

A. **Minimum Scope of Insurance**

Insurance coverage shall be at least as broad as:

1. **General Liability**

ONE MILLION DOLLARS (\$1,000,000.00) combined single limit per occurrence for bodily injury, personal injury and property damage. If Commercial General Liability Insurance or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to this project or the general aggregate limit shall be twice the required occurrence limit.

2. **Professional Errors and Omissions:**

Policy limits of ONE MILLION DOLLARS (\$1,000,000.00) in professional errors and omissions insurance.

3. **Automobile Liability:**

Owned/Nonowned automobile liability insurance providing combined single limits covering bodily injury liability with limits of no less than ONE MILLION DOLLARS (\$1,000,000.00 per accident and providing property damage liability of no less than ONE MILLION DOLLARS (\$1,000,000.00 PER ACCIDENT.

4. **Workers' Compensation Insurance:**

Workers' Compensation Insurance as required by the Labor Code of the State of Idaho.

B. Deductibles, Self-Insured Retentions, Named Insureds

Any deductibles, self-insured retentions or named insureds must be declared in writing and approved by City. At the option of the City, either: the insurer shall reduce or eliminate such deductibles, self-insured retentions or named insured; or the Contractor shall post cash, bond, or letter of credit guaranteeing payment of losses and related investigations, claim administration and defense expenses.

C. The insurance policies are to contain, or be endorsed to contain, the following provisions:

1. General Liability and Automotive Liability Coverages

- a. The Contractor shall provide a specific endorsement naming the City of Meridian and City's elected officials, officers, employees, agents, and Volunteers as additional insureds regarding: liability arising from or in connection with the performance or omission to perform any term, condition or requirement of the Agreement by or on behalf of the Contractor; services, products and completed operations of the Contractor; premises owned, occupied or used by the Contractor; and automobiles owned, leased, hired or borrowed by the Contractor. The coverage shall contain no special limitations on the scope of protection afforded to the City or City's elected officials, officers, employees, agents, and Volunteers.
- b. The Contractor's insurance coverage shall be primary insurance regarding the City and City's elected officials, officers, employees, agents, and Volunteers. Any insurance or self-insurance maintained by the City or City's elected officials, officers, employees, agents, and Volunteers shall be excess of the Contractor's insurance and shall not contribute with Contractor's insurance.
- c. Any failure to comply with reporting provisions of the policies shall not affect coverage provided to City, its elected officials, officers, employees, agents, and volunteers.
- d. The Contractor's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.

2. Workers' Compensation and Employers Liability Coverage

The insurer shall agree to waive all rights of subrogation against the City and City's elected officials, officers, employees, agents, and volunteers for losses arising from the performance of or the omission to perform any term, condition or requirement of this Agreement by the Contractor.

3. All Coverages

Each insurance policy required by this section shall be endorsed to state that coverage shall not be suspended, voided, canceled by either party, reduced in coverage or in limits except after thirty (30) days prior written notice by certified mail, return receipt requested, has been given to City.

D. Acceptability of Insurers

Insurance is to be placed with an Idaho admitted insurer with a Best's rating of no less than A-VII.

E. Verification of Coverage

Prior to performing any term, condition or requirement of this Agreement, Contractor shall furnish City with certificates of insurance and with original endorsements effecting coverage required by this section. The certificates and endorsements for each insurance policy are to be signed by a person authorized by that insurer to bind coverage on its behalf. All certificates and endorsements shall be received and, in City's sole and absolute discretion, approved by the City before any term, condition or requirement of the Agreement is performed by Contractor. City reserves the right to require complete copies of all required insurance policies and endorsements, at any time.

F. Subcontractors

Contractor shall require that all of its subcontractors shall be subject to all of the insurance and indemnity requirements stated herein.

G. Insurance Limits to Not Limit Contractors Liability

The limits of insurance described herein shall not limit the liability of Contractor and Contractor's agents, representatives, employees or subcontractors.

PAYMENT REQUEST

Payment requests shall be submitted to City of Meridian, Attn. Keith Watts, Purchasing Agent. The Purchasing Agent will forward a copy to the Construction Manager for review and approval. The Purchasing Agent and Construction Manager will compare the invoice against the Payment Schedule in the Agreement for compliance. Upon approval that the work has been done and in compliance with the Agreement, the Purchasing Agent will return the invoice to AP for payment. *(We haven't talked about the pay applications, do you want the bids broken down in the contract to units of measure to make our collective jobs easier when it comes time to identify payment due? i.e. manhours, SF, etc?)*

CLEANUP

Contractor shall keep the worksite clean and free from debris. At completion of work and prior to requesting final inspection, the Contractor shall remove all traces of waste materials and debris resulting from the work. Final payment will not be made if cleanup is not performed.

TIME FOR EXECUTING CONTRACT AND LIQUIDATED DAMAGES

Upon receipt of a Notice to Proceed, the Contractor shall have ____ calendar days to complete the work as described herein. Contractor shall be liable to the City for any delay beyond this time period in the amount of \$150.00 per calendar day at owners discretion. Such payment shall be construed to be liquidated damages by the Contractor in lieu of any claim or damage because of such delay and not be construed as a penalty.

FORM AGREEMENT

Form Agreement; Exceptions and Alternatives. The Agreement attached to this Invitation for Bid ("IFB") and, by this reference, made a part hereof, contains terms and conditions that apply to the performance of this work. If the bidder suggests alternatives or states exceptions to any term or condition in the Agreement, or to any provision or recurrent of the IFB, such alternative or exception shall be clearly stated and identified in the submitted bid. Otherwise, the successful bidder will be expected to sign the Agreement upon award of the contract. Any alternative must satisfy all minimum qualifications specified in the IFB. The City expressly reserves the right, in it's sole discretion, to (1) reject a bid containing any exception or alternatives as non-conforming, or (2) accept any bid alternative or exception and to award a contract based there on if determination to be in the best interest of the City.

BID INQUIRIES

Questions, in written form, regarding this bid should be sent to:

**City of Meridian, Purchasing Department
33 East Idaho Avenue
Meridian, ID 83642**

**Attn: Keith Watts
wattsk@meridiacity.org
(208) 888-4433 x207**

BID FORM

MISCELLANEOUS EQUIPMENT FOR PARKS DEPARTMENT

BID NUMBER

CH-06-001

PRICING SCHEDULE

Furnish all labor, materials, equipment, and incidentals as required for the **SUPPLY AND INSTALL PUMPING PLANT #17**, per the attached drawings and specifications (Attachment A")

LUMP SUM TOTAL

\$

Total cost to include all labor, material, equipment, freight, insurance, travel, lodging, incidental, and applicable taxes

Payment Discount

Cash discount of _____% for payment within _____calendar days.

(No deposits, prepayments or percentage payments will be allowed)

See General Terms No. 8 for further clarification.

Certificate of Understanding

The undersigned represents and warrants that the undersigned has examined the location of the proposed work and is familiar with the local conditions at the place where the work is to be done, and the undersigned has reviewed and understands the plans, specifications and other documents, and the undersigned is satisfied with all conditions for performance of the work.

The undersigned has checked carefully all the above figures and understands that the City of Meridian will not be responsible for any errors or omissions on the part of the undersigned in creating this bid.

The undersigned declares: that he/she holds the position indicated below as a corporate officer or the owner or a partner in the business entity submitting this bid; that the undersigned is informed of the relevant facts surrounding the preparation and submission of this bid, that the undersigned knows and represents and warrants to the City of Meridian that this bid is prepared and submitted without collusion with any other person, business entity, or corporation with any interest in this bid.

I declare under penalty of perjury that the foregoing is true and correct.

CONTRACTOR/FIRM: _____

By: _____

PRINTED OR TYPED NAME: _____

TITLE: _____

DATE: _____

EXHIBIT A

LIST OF SUBCONTRACTORS

In accordance with the State of Idaho Statute #67-2310, all Bidders must list the names and license numbers of all subcontractors and the percentage of the total bid price for each. Bidder may not subcontract more than 80% of the total project cost per Idaho State Law. Failure to complete the list of subcontractors will render Bid as non-responsive and cause Bid to be rejected.

Trade to be Performed	Contractor License Number	Percent of Total Contract	Subcontractor's Name, Address and Contact Person
1. Plumbing			
2. Electrical			
3. HVAC			
4. Instrumentation			
5. Coatings			
6.			
7.			
8.			
9.			

EXHIBIT B

LIST OF EQUIPMENT MANUFACTURERS

NOT USED

EXHIBIT D

CONTRACTORS QUALIFICATION / EXPERIENCE STATEMENT

- 1. On Schedule A, attached, list all major, similar construction projects completed by your firm in the past five (5) years.
- 2. On Schedule B, attached, list current projects under construction by your firm. If joint venture list each partner and their respective responsibility.
- 3. List the name, address and contact of your firms surety company.

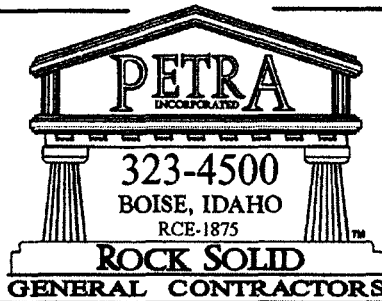
- 4. On Schedule C, attached, list the experience of the principal individuals or your firm Who will involved in this construction project.
- 5. Has your firm ever failed to complete a construction contract awarded to it?
 Yes No
If yes attach explanation.
- 6. In the last five (5) years, has your firm ever failed to substantially complete a project in a timely manner?
 Yes No
If yes attach explanation.
- 8. What is your firms approximate total bonding capacity? _____
- 9. Does your firm have a formal safety program?
 Yes No
If yes please provide a copy.

EXHIBIT F

REFERENCES AND EXPERIENCE & CURRENT PROJECTS

EXHIBIT G
STATE OF IDAHO BID PREFERENCES

ATTACHEMENT A
INDEPENDENT CONTRACTORS AGREEMENT



TRANSMITTAL
No. 00007

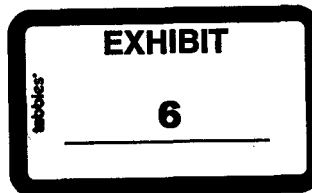
1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

PROJECT: Meridian City Hall # 060675 **DATE:** 10/20/2006
TO: City of Meridian **REF:** Ideal Demolition
 33 E Idaho Avenue Contract Exhibits
 Meridian, ID 83642 **PHONE:** 888.4433
ATTN: Ted Baird **FAX:** 884.8723
CELL: 631.6469

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input checked="" type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input checked="" type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input type="checkbox"/> Plans		<input checked="" type="checkbox"/> Submit
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned
<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Returned for Corrections
<input checked="" type="checkbox"/> Other:	<input type="checkbox"/> Separate Cover Via: Hand Delivery	<input type="checkbox"/> Due Date:

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/20/2006			Smokestack Scaffold Sketch	NA
2	1	10/16/2006			EPA-Idaho DEQ Notification	NA
3	1				Certificate of Insurance	NA
4	1	10/19/2006			Site Specific Work Plan for Demolition	NA
5	1	5/1/2005			Ideal Demolition Safety Program for Wrecking & Demolition	NA
6	1	10/19/2006			Asbestos Abatement Standards & Procedures for Ideal Demolition	NA

Remarks:



CC: File

RFP No 14, Item #3

Signed: _____

Wes Bettis

Expedition®

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Petra93094

QSP NO 14

Item 4

Site Specific Work Plan

Demolition

Meridian Creamery

27 E Broadway Ave.

Meridian, ID 83642

10-19-06

PREPARED BY

David Aparicio

Ideal Demolition Services

2299 Mill Road

Emmett, ID 83617

MCH / IDem Domb

002511

Petra93095

W

TABLE OF CONTENTS

DEMOLITION

Meridian Creamery
27 E Broadway Ave.
Meridian, ID 83642

1. DESCRIPTION OF STRUCTURE
2. SCOPE OF WORK
3. SAFETY
4. DEMOLITION METHODS AND PROCEDURES

10-19-06

Ideal Demolition Services
2299 Mill Road
Emmett, ID 83617

1.0 DESCRIPTION OF STRUCTURES

Site consists of five structures Main creamery, Boiler house, Warehouse, Smoke Stack and pump building. All structures are constructed of concrete, brick and wood.

2.0 SCOPE OF WORK

Demolish Stack and all other structures completely including foundations, walls and footings below grade. Removal of trees and brush, line of trees on south side to remain. Back fill with existing soil and rough grade entire site.

Salvage for owner door and frame from smoke stack; brick from east side of creamery building, and all of the brick from warehouse building. All the barrel trusses and 2x purlins over the barrel trusses and beams per specifications.

Smoke Stack

IDS will erect a 4' wide by 180' tall scaffold with stair case. Tower will be contained using 12 mill poly using a shrink wrap method. Using this method IDS employees will be able to remove the asbestos material and demolish stack from top down using "Rivet Busters" at bottom of stack will have a 12' wide 30' long 9' tall containment for dumpster to be stage.

Main Creamery

Once an opening large enough for our excavator to pass through is created the soft demo components of building will be wrecked & sized up at this time the debris are loaded off site the remaining perimeter brick walls will be laid down and remove from site for separation.

Once this is complete IDS will start removing foundations identified for removal, debris to remove from site. All concrete trash debris will be delivered to approve land fills all metal will be sent to Pacific recycling in Boise.

Warehouse

Barrel trusses, 2x purlins and beams will be salvage by hand wrecking using Man Lift and forklifts. Once all lumber is removed brick will be safely be removed using an excavator and transported to a designated site.

Boiler House and Pump Building

Structures will be demolish using excavators debris will be size and transported to approved land fill and metal will sent to Pacific recycling.

3.0 PROJECT SAFETY

Tony Parra has been designated as the responsible safety officer for this project. Ideal Demolition Services will provide a safe environment for our employees, and the general public.

Ideal Demolition Services will follow all OSHA Construction Safety Orders.

Project will be performed following S. IDS Approved Injury / Illness Prevention Program and Code of Safe Practices.

Workers will be trained in general construction safety regulations. Weekly "Tool Box Safety" meetings will be held to discuss specific job site safety hazards. Workers will use the required head, foot, eye, face, and hand protection. Flagmen will be provided with approved vests and flags for traffic control.

4.0 DEMOLITION METHODS AND PROCEDURES

Buildings will be wrecked using a combination of hand wrecking and machinery wrecking. No debris will be dumped on the exterior of the building from a height greater than 25 feet unless parking lot fences are locked to act as a barrier to foot traffic. Work will start on the East side of site.

Hand wrecking will consist of worker working from outside of building using man lifts, or from roof with men harnessed off properly.

An excavator will help pull this material to the ground to be separated and sized for recycling.

Buildings exterior finishes & concrete architectural features will be wrecked with a combination of an excavator with a hydraulic breaker.

Below grade footings will be demolished using excavators both with & without hydraulic breakers, concrete walls, slabs and footings. Excavation will be filled with on site materials and left in a safe condition.

Resulting trash and metal debris will be loaded into semi-end dump trucks to be transported to approved landfill / recycle site.

Project work hours will be from 8:00 AM – 6:00 PM Monday through Friday.

Manpower utilization on this project will consist of

1 – Superintendent

5 – Labor for dust control, traffic control & cleanup and salvage operations.

2 – Operator for excavator

Workers assigned to this project are experienced in demolition work

Project Superintendent has 10 years experience in demolition of buildings and Asbestos Abatement.

10-19-06

Ideal Demolition Services

2299 Mill Rd

Emmett, ID 83617



FIELD REPORT

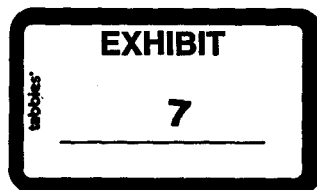
Field Report Date:	July 2, 2007	Field Report #	One
Date of Issuance:	July 5, 2007	Time:	2:30 p.m.
		Weather:	Partly Cloudy/Breezy
		Temp:	90°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	2%	Conformance w/Schedule (+ -):	Even
Submitted by:	Steve Christiansen		
Distribution List:	Wes Bettis – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen – LCA John Anderson, Wes Bettis, Adam Johnson – Petra Keith Watts – City of Meridian

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
1.01	07/02/07	Concrete basement wall at grid line D has been placed.	Info
1.02	07/02/07	Concrete wall at grid line 3 has been placed.	Info
1.03	07/02/07	Concrete wall at grid line 10 has been placed.	Info
1.04	07/02/07	Installation of formwork and reinforcing is currently in progress at grid line H.	Info
1.05	07/02/07	Elevator pit for elevator #3 has been installed.	Info
1.06	07/02/07	Vapor barrier has been installed and granular fill compacted for the south slab pour.	Info
1.07	07/02/07	Interior footings have been placed.	Info
1.08	07/02/07	Foundation for elevators 1 and 2 has been placed this date.	Info
1.09	07/02/07	Foundation drainage system has been installed along grid line D and is continuing along grid line 3.	Info
1.10	07/02/07	Waterproof membrane and drainage mat have also been installed along grid lines D and 3, and backfilling is beginning at these locations.	Info

End of Report

Attachments: None





FIELD REPORT

Field Report Date: August 27, 2007				Field Report # Five
Date of Issuance: August 29, 2007	Time: 2:30 p.m.	Weather: Clear	Temp: 80°	
Project Name: Meridian City Hall	Project #: 06016.01	File Code: 7-f		
Est. % of Comp: 10%	Conformance w/Schedule (+ -): Even			
Submitted by: Steve Christiansen				
Distribution List: Wes Bettis – Petra Keith Watts – City of Meridian	Present on Site: Steve Christiansen, Alexis Townsend – LCA John Anderson, Wes Bettis – Petra Grady, Keith Watts – City of Meridian Jan Welch – Stapley Mike Wisdom – Engineering, Inc.			

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
5.01	08/27/07	Basement slab-on-grade is complete.	Info
5.02	08/27/07	Masonry stair towers are complete.	Info
5.03	08/27/07	Structural steel columns to first splice point are 95% complete.	Info
5.04	08/27/07	Floor beams are in progress at the first floor.	Info
5.05	08/27/07	Floor beams are in progress at the second floor between gridlines 3 and 6.	Info
5.06	08/27/07	Concrete foundation and stem walls have been completed around two-story wings and backfilling and compaction of granular fill for slab on grade in progress and nearing completion at these wings.	Info
5.07	08/27/07	Radiused wall on the west elevation is currently being formed and concrete placement is scheduled for August 28th between gridlines 4 and 6.	Info
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
5.09	08/27/07	Coordination meeting occurred between mechanical, electrical and architectural this date. There are a couple of locations where there are conflicts between mechanical ductwork and steel beams, which will impact the ceiling height at the second floor corridors 205, 222, 246, and 262. These corridors will be lowered from 10'-0" to 9'-6" and soffits at these locations will be lowered from 9'-6" down to 9'-5". In addition, the plan vault room 210 will be lowered to an 8'-0" ceiling and wall at gridline 9, roughly between gridline H and the east side of corridor 246 will need to be relocated to the south to provide clearance for return air. LCA to prepare an ASI for these revisions.	LCA

PETRA85954
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Item	Date	Observation	Action by
5.10	08/27/07	It was noted that there is a conflict between roof drains and grade beams at gridlines 1 and F, and 12 and F. It was agreed that these roof drains will be relocated between the two adjacent windows along gridline F on each side of the building and will be furred out. LCA to issue an ASI regarding this change.	LCA

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	July 16, 2007	Field Report #	Two
Date of Issuance:	July 18, 2007	Time:	1:30 p.m.
		Weather:	
		Temp:	100°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	3%	Conformance w/Schedule (+ -):	Even
Submitted by:	Steve Christiansen		
Distribution List:	Wes Bettis – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts – LCA John Anderson, Wes Bettis, Adam Johnson – Petra Keith Watts, Lynn Grady – City of Meridian

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
2.01	07/16/07	Masonry scaffolding is in progress to start masonry work at the stair towers.	Info
2.02	07/16/07	Masonry has started at all three stair towers.	Info
2.03	07/16/07	Slab-on-grade is approximately 90 percent complete. Block-outs remain at the locker room/shower area and along east side of basement wall.	Info
2.04	07/16/07	Foundation drain and backfilling is occurring on north foundation and basement wall.	Info
2.05	07/16/07	Footing layout occurring at the south two-story building wing.	Info
2.06	07/16/07	Waterproof membrane is starting to peel off the wall at the south basement wall. This will need to be reapplied to ensure proper adhesion prior to drainage mat and backfilling reoccurring.	Petra
2.07	07/16/07	Basement wall has been cast with the exception of the opening between gridlines 8 and 9 where access is being provided for future trades.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	August 6, 2007	Field Report #	Four
Date of Issuance:	August 7, 2007	Time:	3:00 p.m.
		Weather:	Partly Cloudy
		Temp:	87°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	5%	Conformance w/Schedule (+ -):	Even
Submitted by:	Steve Simmons		
Distribution List:	Wes Bettis – Petra Keith Watts – City of Meridian	Present on Site:	Steve Simmons – LCA John Anderson, Wes Bettis, Adam Johnson – Petra Ed Ankerman – City of Meridian

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
3.01	07/30/07	Masonry remains in progress at stair towers 1, 2, and 3. Masonry is approaching 8' above head of second floor door frame.	Info
	08/06/07	South and center stair towers completed. North tower to be topped out tomorrow. Concrete truck was on site and masons were grouting block. Scaffolding was being removed from completed towers.	Info.
3.02	07/30/07	Backfilling remains in progress around perimeter of basement.	Info
	08/06/07	Backfilling has progressed and is completed around the west, south and east sides, except area left for access into the basement.	Info.
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
4.02	08/06/07	Footings at the north two story wing have been recently placed. Forms have yet to be stripped. Rebar is evident.	Info
4.03	08/06/07	Steel has been placed adjacent to the east foundation awaiting placement.	Info.

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	October 1, 2007	Field Report #	Seven
Date of Issuance:	October 3, 2007	Time:	2:00 p.m.
		Weather:	Cloudy & Raining
		Temp:	60°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-4
Est. % of Comp:	15%	Conformance w/Schedule (+ -):	Even
Submitted by:	Steve Christiansen		
Distribution List:	Wes Bettis – Petra Keith Watts – City of Meridian	Present on Site:	Brent Pitts – LCA Jan Welch – Stapley Engineering John Anderson, Scott Trepagnier- Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
5.09	08/27/07	Coordination meeting occurred between mechanical, electrical and architectural this date. There are a couple of locations where there are conflicts between mechanical ductwork and steel beams, which will impact the ceiling height at the second floor corridors 205, 222, 246, and 262. These corridors will be lowered from 10'-0" to 9'-6" and soffits at these locations will be lowered from 9'-6" down to 9'-5". In addition, the plan vault room 210 will be lowered to an 8'-0" ceiling and wall at gridline 9, roughly between gridline H and the east side of corridor 246 will need to be relocated to the south to provide clearance for return air. LCA to provide clearance for return air. LCA to prepare an ASI for these revisions.	LCA
	09/17/07	LCA issued ASI #22 revising the ceiling heights as noted. LCA still to issue an ASI for relocating the wall at gridline 9, roughly between gridline H and the east side of corridor 246 to provide clearance for return air.	LCA
	10/01/07	Open.	LCA
5.10	08/27/07	It was noted that there is a conflict between roof drains and grade beams at gridlines 1 and F, and 12 and F. It was agreed that these roof drains will be relocated between the two adjacent windows along gridline F on each side of the building and will be furred out. LCA to issue an ASI regarding this change.	LCA
	09/17/07	LCA still to issue an ASI for relocating roof drains at locations as noted above.	LCA

Item	Date	Observation	Action by
	10/01/07	Open.	LCA
7.01	10/01/07	Backfilling compaction is occurring this date on the southwest corner of the building.	Info
6.02	10/01/07	Slab-on-grade at basement cast from gridline 1-6.	Info
6.03	10/01/07	Floor deck and concrete slab on deck cast at first floor from gridlines 3 to 6.	Info
6.04	10/01/07	Floor deck being installed at first floor from gridline 6 to 8.	Info
6.05	10/01/07	Acoustical and standard deck that will be at the radiused trusses is on site.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	October 15, 2007	Field Report #	Eight
Date of Issuance:	October 18, 2007	Time:	2:00 p.m.
		Weather:	Clear
		Temp:	60°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	20%	Conformance w/Schedule (+ -):	Even
Submitted by:	Steve Christiansen		
Distribution List:	Wes Bettis – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts – LCA Adam Johnson, Wes Bettis – Petra Jon Anderson, Scott Trepagnier – Petra Ed Ankerman – City of Meridian

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
5.09	08/27/07	Coordination meeting occurred between mechanical, electrical and architectural this date. There are a couple of locations where there are conflicts between mechanical ductwork and steel beams, which will impact the ceiling height at the second floor corridors 205, 222, 246, and 262. These corridors will be lowered from 10'-0" to 9'-6" and soffits at these locations will be lowered from 9'-6" down to 9'-5". In addition, the plan vault room 210 will be lowered to an 8'-0" ceiling and wall at gridline 9, roughly between gridline H and the east side of corridor 246 will need to be relocated to the south to provide clearance for return air. LCA to provide clearance for return air. LCA to prepare an ASI for these revisions.	LCA
	09/17/07	LCA issued ASI #22 revising the ceiling heights as noted. LCA still to issue an ASI for relocating the wall at gridline 9, roughly between gridline H and the east side of corridor 246 to provide clearance for return air.	LCA
	10/01/07	Open.	LCA
5.10	08/27/07	It was noted that there is a conflict between roof drains and grade beams at gridlines 1 and F, and 12 and F. It was agreed that these roof drains will be relocated between the two adjacent windows along gridline F on each side of the building and will be furred out. LCA to issue an ASI regarding this change.	LCA
	09/17/07	LCA still to issue an ASI for relocating roof drains at locations as noted above.	LCA

Item	Date	Observation	Action by
	10/01/07	Open.	LCA
8.01	10/15/07	Structural steel columns are being set for the third floor at gridlines 6 and 7.	Info
8.02	10/15/07	Metal decking is in progress at the second floor.	Info
8.03	10/15/07	Roof framing is nearing completion on south wing.	Info
8.04	10/15/07	First floor slab-on-grade and slab-on-deck is complete with the exception of the building lobby and council chamber area.	Info
8.05	10/15/07	Steel stud wall framing is in progress at basement level.	Info
8.06	10/15/07	Duct work, plumbing, and electrical rough-in is in progress at basement level. It was noted that plastic piping is currently being installed in the basement. LCA to review the acceptability of plastic piping with Engineering, Inc.	LCA
8.07	10/15/07	Transformers have been installed on site.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	October 29, 2007	Field Report #	Nine
Date of Issuance:	November 9, 2007	Time:	1:30 p.m.
		Weather:	Clear
		Temp:	60°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	25%	Conformance w/Schedule (+ -):	Even
Submitted by:	Steve Christiansen		
Distribution List:	Wes Bettis – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts, Lexi Townsend – LCA Mike Wisdom – Engineering, Inc. Geoff Johnson – Eidam & Assoc. Jan Welch – Stapley Engineering Adam Johnson, Wes Bettis – Petra Jon Anderson, Scott Trepagnier – Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	10/29/07	Open	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	10/29/07	Open	Petra
5.09	08/27/07	Coordination meeting occurred between mechanical, electrical and architectural this date. There are a couple of locations where there are conflicts between mechanical ductwork and steel beams, which will impact the ceiling height at the second floor corridors 205, 222, 246, and 262. These corridors will be lowered from 10'-0" to 9'-6" and soffits at these locations will be lowered from 9'-6" down to 9'-5". In addition, the plan vault room 210 will be lowered to an 8'-0" ceiling and wall at gridline 9, roughly between gridline H and the east side of corridor 246 will need to be relocated to the south to provide clearance for return air. LCA to provide clearance for return air. LCA to prepare an ASI for these revisions.	LCA
	09/17/07	LCA issued ASI #22 revising the ceiling heights as noted. LCA still to issue an ASI for relocating the wall at gridline 9, roughly between gridline H and the east side of corridor 246 to provide clearance for return air.	LCA

Item	Date	Observation	Action by
	10/29/07	Open.	LCA
5.10	08/27/07	It was noted that there is a conflict between roof drains and grade beams at gridlines 1 and F, and 12 and F. It was agreed that these roof drains will be relocated between the two adjacent windows along gridline F on each side of the building and will be furred out. LCA to issue an ASI regarding this change.	LCA
	09/17/07	LCA still to issue an ASI for relocating roof drains at locations as noted above.	LCA
	10/29/07	Open.	LCA
8.06	10/15/07	Duct work, plumbing, and electrical rough-in is in progress at basement level. It was noted that plastic piping is currently being installed in the basement. LCA to review the acceptability of plastic piping with Engineering, Inc.	LCA
	10/29/07	Plastic piping has been removed and replaced with cast iron.	Closed
9.01	10/29/07	Concrete slab on deck has been placed at the main building lobby and the council chambers.	Info
9.02	10/29/07	Second floor deck is being installed on the north wing.	Info
9.03	10/29/07	Concrete topping on metal deck is being placed at second floor on south wing of building.	Info
9.04	10/29/07	Metal wall framing is nearing completion at basement.	Info
9.05	10/29/07	Electrical rough-in remains in progress at basement level.	Info
9.06	10/29/07	Mechanical and plumbing rough-in remains in progress at basement level.	Info
9.07	10/29/07	Petra is concerned regarding access to the fire smoke dampers that are located underneath the access panels at the first floor corridors where the ductwork comes out of the mechanical shaft underneath the access floor. LCA and Engineering, Inc. to review and provide a solution to Petra for this item.	LCA/EI
9.08	10/29/07	It was noted that shafts, where they penetrate the first floor, need to be provided with a two-hour horizontal assembly to close off the shaft at these locations. LCA to provide design for these locations.	LCA

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	December 10, 2007	Field Report #	Twelve
Date of Issuance:	December 11, 2007	Time:	2:00 p.m.
		Weather:	Clear
		Temp:	32°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	30%	Conformance w/Schedule (+ -):	Even
Submitted by:	Brent Pitts		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Brent Pitts – LCA Adam Johnson, Tom Coughlin, Barbra Crawford - Petra Jon Anderson, Scott Trepagnier – Petra Ed Ankerman – City of Meridian

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	12/10/07	Open	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	12/10/07	Open	Petra
5.09	08/27/07	Coordination meeting occurred between mechanical, electrical and architectural this date. There are a couple of locations where there are conflicts between mechanical ductwork and steel beams, which will impact the ceiling height at the second floor corridors 205, 222, 246, and 262. These corridors will be lowered from 10'-0" to 9'-6" and soffits at these locations will be lowered from 9'-6" down to 9'-5". In addition, the plan vault room 210 will be lowered to an 8'-0" ceiling and wall at gridline 9, roughly between gridline H and the east side of corridor 246 will need to be relocated to the south to provide clearance for return air. LCA to provide clearance for return air. LCA to prepare an ASI for these revisions.	LCA
	09/17/07	LCA issued ASI #22 revising the ceiling heights as noted. LCA still to issue an ASI for relocating the wall at gridline 9, roughly between gridline H and the east side of corridor 246 to provide clearance for return air.	LCA
	11/28/07	LCA has issued ASI #50 providing a path for return air.	Closed.

Item	Date	Observation	Action by
	12/10/07	LCA issued ASI #57 to revise the ceiling and soffits in second floor corridors and main lobby and waiting area as follows: All soffits are to be at 9'-4"; lay-in ceiling at Lobby and Waiting are to be at 10'-0"; Lay-in ceiling at corridors is to be at 9'-6" with the exception of the area outside the department entry doors, this has been shown as 11'-0" but will need to be revised to 10'-0". This will be done by revised ASI #57.	LCA
12.01	12/10/07	Exterior steel studs are being framed at the east three-story portion and west three-story portion adjacent to the south stair and the east two-story portion.	Info
12.02	12/10/07	Tube steel structure for the barrel vaulted roof front and back is stored on site.	Info
12.03	12/10/07	A portion of the barrel vault roof has been assembled on the ground include roof deck.	Info
12.04	12/10/07	Interior stud wall framing is in progress at the first floor.	Info
12.05	12/10/07	Under-slab duct work and cable trays are in progress at the north portion of the first floor.	Info
12.06	12/10/07	The curb at the radiused balcony handrail has been cast.	Info
12.07	12/10/07	Floor deck has been installed at the north portion of the third floor.	Info
12.08	12/10/07	Floor deck installation at the fourth floor level is in progress.	Info
12.09	12/10/07	Interior steel stud framing has started at the second floor.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	February 11, 2008	Field Report #	Fourteen
Date of Issuance:	February 13, 2008	Time:	1:00 p.m.
		Weather:	Sunny
		Temp:	42°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	40%	Conformance w/Schedule (+ -):	Even
Submitted by:	Brent Pitts		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts – LCA John Anderson, Adam Johnson, Tom _____ - Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	01/28/08	Open	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	01/28/08	Open	Petra
13.12	01/28/08	It was noted on the second floor south wing that approximately 20 inches of drywall around the perimeter has been installed so that access floor may begin; however, no vapor barrier has been installed between drywall and insulation. Vapor barrier must be installed at all locations of exterior wall.	Petra
	02/11/08	It was noted that vapor barrier has now been installed at the exterior wall at locations previously noted.	Closed
13.13	01/28/08	It was noted that sealant at exterior walls and interior walls where gypsum board meets concrete floor deck does not appear to be completed. All perimeter walls and interior walls, as shown on drawings, require sealant to maintain pressurized access floor system.	Petra
	02/11/08	Caulking is in progress on this date.	Closed
14.01	02/11/08	Roofing is in progress at third floor.	Info
14.02	02/11/08	Air handlers have been set on the north and south wings.	Info
14.03	02/11/08	Metal decking remains in progress at barrel vault.	Info

Item	Date	Observation	Action by
14.04	02/11/08	Metal stud framing is in progress at the third floor.	Info
14.05	02/11/08	Mechanical and electrical rough-ins are occurring on the third floor.	Info
14.06	02/11/08	Interior wall framing remains in progress at second floor.	Info
14.07	02/11/08	Interior metal framing is nearing completion at the first floor and hollow metal frames are being set at first floor.	Info
14.08	02/11/08	Under-floor mechanical duct work is in progress at second floor, north half.	Info
14.09	02/11/08	Brick veneer remains in progress at north wing of building.	Info
14.10	02/11/08	Densglass wall remains in progress at three-story portion of the building.	Info
14.11	02/11/08	Discussion occurred in the field regarding ceiling height at lobby 304. Plans currently show a 14-foot-high ceiling at this lobby. Due to electrical conduit and ductwork requirements, this ceiling may be dropped to 13 feet ±. Maintain as high a ceiling as possible in this area.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	March 24, 2008	Field Report #	Sixteen
Date of Issuance:	March 28, 2008	Time:	2:30 p.m.
		Weather:	Cloudy
		Temp:	50°F
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	65%	Conformance w/Schedule (+ -):	-1 month
Submitted by:	Steve Christiansen		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Lexie Townsend – LCA Mike Wisdom – Engineering Inc. Ed Anckerman – City of Meridian John Anderson, Adam Johnson - Petra Gene Bennett, Tom Coughlin - Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	03/24/08	Open	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	03/24/08	Open	Petra
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	03/24/08	Note: This was not verified this date to see fire sealant. This will be confirmed at next site visit.	LCA/Petra
15.13	02/25/08	Where sill window flashing is being installed, Petra to ensure sealant is being installed at inside corners prior to the window sill being installed on top of the window sill flashing to ensure that a water-tight seal has been created to prevent water from penetrating the interior of the building.	Petra
	03/24/08	It has been confirmed by Petra that sealant is being installed.	Closed
16.01	03/24/08	Excavation work is in progress for seepage beds located in south parking lot.	Info

Item	Date	Observation	Action by
16.02	03/24/08	Sunshade devices have been installed on building exterior.	Info
16.03	03/24/08	Arriscraft stone is continuing at third floor of building, north and south sides.	Info
16.04	03/24/08	Brick veneer is in progress at the radiused wall on west side of building.	Info
16.05	03/24/08	Discussion occurred on equipment requirements at fire riser room. It was determined that the room needs to expand to the south to accommodate all required equipment and code clearances. This wall will encroach into the receiving area. After review of existing conditions, it appeared that this did not create any problems in the receiving area. Petra will provide a layout sketch of equipment with the expanded room for LCA to review.	Petra/LCA
16.06	03/24/08	Drywall is in progress at the basement.	Info
16.07	03/24/08	Drywall taping and finishing is in progress at the first floor, south wing.	Info
16.08	03/24/08	Drywall is in progress at the first floor north wing.	Info
16.09	03/24/08	Drywall and sound attenuation insulation is in progress at second floor, south wing.	Info
16.10	03/24/08	Framing is nearing completion at second floor, north wing.	Info
16.11	03/24/08	Electrical rough-in is continuing at second floor, north wing.	Info
16.12	03/24/08	Access floor is in progress at third floor, south wing.	Info
16.13	03/24/08	Mechanical ductwork and piping, and electrical cable tray are in progress at third floor.	Info
16.14	03/24/08	Chiller has been set on the roof.	Info
16.15	03/24/08	Roof insulation is in progress at barrel vault.	Info
16.16	03/24/08	Detail E3 on sheet A3.3 was reviewed this date at window type 1 locations. It was determined to rotate the Arriscraft stone 90 degrees of what is detailed for appearance purposes.	Info
16.17	03/24/08	Electrical panels are in progress at the mechanical mezzanine.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	April 7, 2008	Field Report #	Seventeen
Date of Issuance:	April 9, 2008	Time:	2:30 p.m.
		Weather:	Cloudy
		Temp:	45°F
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	70%	Conformance w/Schedule (+ -):	-1 month.
Submitted by:	Steve Christiansen		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts – LCA Mike Wisdom – Engineering Inc. Ed Anckerman – City of Meridian John Anderson, Adam Johnson - Petra Gene Bennett, Tom Coughlin - Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	03/24/08	Open.	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	03/24/08	Open	Petra
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	04/07/08	Note: This was not verified this date to see fire sealant. This will be confirmed at next site visit.	LCA/Petra
16.05	03/24/08	Discussion occurred on equipment requirements at fire riser room. It was determined that the room needs to expand to the south to accommodate all required equipment and code clearances. This wall will encroach into the receiving area. After review of existing conditions, it appeared that this did not create any problems in the receiving area. Petra will provide a layout sketch of equipment with the expanded room for LCA to review.	Petra/LCA
17.01	04/07/08	Brick veneer at main building entry columns is in progress at east side of building.	Info

Item	Date	Observation	Action by
17.02	04/07/08	Brick and Amiscraft Stone has been washed at the north and south wings.	Info
17.03	04/07/08	Lay-in ceiling is in progress at north side, first floor.	Info
17.04	04/07/08	Hollow metal frames have been installed at Council Chambers.	Info
17.05	04/07/08	Drywall remains in progress at first floor, south side.	Info
17.06	04/07/08	Framing is complete at the second floor.	Info
17.07	04/07/08	Ceiling framing is in progress at second floor restrooms.	Info
17.08	04/07/08	Drywall taping and finishing is in progress at second floor, south side.	Info
17.09	04/07/08	Framing is in progress at third floor.	Info
17.10	04/07/08	Access floor remains in progress at third floor, central section.	Info
17.11	04/07/08	Under-floor mechanical and electrical remains in progress at third floor.	Info
17.12	04/07/08	Boilers have been installed at mechanical equipment room.	Info
17.13	04/07/08	Storm water piping is in progress on site.	Info
17.14	04/07/08	It was noted that there is a VAV box located above a hard ceiling at the locker room restrooms in the basement. Access is a concern for maintenance of this unit. LCA to review.	LCA

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	April 21, 2008	Field Report #	Eighteen	
Date of Issuance:	April 23, 2008	Time:	2:30 p.m.	Weather: Cloudy
				Temp: 45°F
Project Name:	Meridian City Hall	Project #:	06016.01	File Code: 7-f
Est. % of Comp:	75%	Conformance w/Schedule (+ -):	-1 month	
Submitted by:	Steve Christiansen			
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Lexie Townsend, Brent Plitts – LCA Geoff Johnson – Eidam & Associates Ed Anckerman – City of Meridian John Anderson, Adam Johnson - Petra Gene Bennett, Tom Coughlin - Petra	

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	04/21/08	Open	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	04/21/08	Open	Petra
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	04/07/08	Note: This was not verified this date to see fire sealant. This will be confirmed at next site visit.	LCA/Petra
16.05	03/24/08	Discussion occurred on equipment requirements at fire riser room. It was determined that the room needs to expand to the south to accommodate all required equipment and code clearances. This wall will encroach into the receiving area. After review of existing conditions, it appeared that this did not create any problems in the receiving area. Petra will provide a layout sketch of equipment with the expanded room for LCA to review.	Petra/LCA
	04/21/08	Open	

Item	Date	Observation	Action by
17.14	04/07/08	It was noted that there is a VAV box located above a hard ceiling at the locker room restrooms in the basement. Access is a concern for maintenance of this unit. LCA to review.	LCA
	04/21/08	Open	
18.01	04/21/08	Site is being cleaned-up in preparation for site work to begin.	Info
18.02	04/21/08	Masonry has been completed on main entry columns.	Info
18.03	04/21/08	Exterior building glazing is nearing completion.	Info
18.04	04/21/08	Hollow metal frames have been set in building lobby for historical society and for meeting room.	Info
18.05	04/21/08	First floor meeting room has been sheetrocked.	Info
18.06	04/21/08	Lay-in ceiling grid is complete at south half of first floor.	Info
18.07	04/21/08	Millwork is in progress at south half of first floor.	Info
18.08	04/21/08	Painting is complete on south side of first floor.	Info
18.09	04/21/08	Fire sprinkler piping is being trimmed out at south side of first floor.	Info
18.10	04/21/08	Millwork is in progress at mail room.	Info
18.11	04/21/08	Millwork is in progress at council's meeting room.	Info
18.12	04/21/08	Taping and finishing is occurring on north side of first floor.	Info
18.13	04/21/08	Drywall is in progress at north side of second floor.	Info
18.14	04/21/08	Walls have been painted on south side of second floor. Hollow metal frames are not yet painted.	Info
18.15	04/21/08	Millwork is in progress at south side of second floor.	Info
18.16	04/21/08	Ceiling grid has been installed on south side of second floor.	Info
18.17	04/21/08	Ceiling grid has been installed in second floor south side.	Info
18.18	04/21/08	Metal framing and access floor are in progress at south side of third floor.	Info
18.19	04/21/08	Under-floor electrical and mechanical systems are in progress at south side of third floor.	Info
18.20	04/21/08	Electrical rough-in is progressing in framed walls throughout third floor.	Info
18.21	04/21/08	Metal wall framing is occurring on north side of third floor.	Info
18.22	04/21/08	Wood furring is in progress in preparation to receive parapet cap flashing.	Info
18.23	04/21/08	Mechanical piping is in progress at mechanical mezzanine.	Info
18.24	04/21/08	Where blocking is being installed at parapet cap; roofing is currently cut to the back of the parapet cap. Roof membrane should overlap wood blocking and down front face of blocking prior to metal coping being installed. Petra to verify this detail.	Petra

Item	Date	Observation	Action by
18.25	04/21/08	Location where fire proofing is to be installed at the steel beams in the basement, it is noted that piping and ductwork may be interfering with required thickness of fireproofing on steel beams. This needs to be re-verified to determine whether or not specified fireproofing thickness can be installed at all required locations. Some mechanical and/or electrical rough-in, including ductwork and piping conduit may need to be readjusted to ensure fire proofing can be installed.	Petra
18.26	04/21/08	Brick veneer is nearing completion on west wall.	Info
18.27	04/21/08	At office #214 it was noted that window type 'S' in the walls between 214 & 215, and 214 & 213 should be located on gridline H per dimensions indicating window locations. These windows should be relocated to appropriate locations.	Petra

End of Report

Attachments: None



**EIDA
AND
ASSOCIATES**

CONSULTING ENGINEERS
815 PARK BOULEVARD SUITE 230
BOISE, IDAHO 83712-7739
PHONE (208) 345-7127
FAX (208) 345-7173

FIELD NOTES

TO: LCA Architects

DATE: April 21, 2008

OBSERVER: Geoff Johnson

PROJECT: Meridian City Hall – Meridian, Idaho

PRESENT: Architect X , General Contractor/Construction Manager X , Mechanical Contractor ,
Owner X , Electrical Contractor , Other

ELECTRICAL WORK IN PROGRESS:

Contractor is roughing in fire alarm conduit on the 3rd floor and pulling conductors to branch circuits on the second and third floors. Contractor is installing the south bus-ducts on the 3rd floor.

JOB STATUS (ELECTRICAL):

Electrical rough-in is continuing and appears to be on schedule with other trades. Exterior building rough-in is nearly complete (site package excluded), basement rough-in is nearly complete in walls and above ceilings. First floor underfloor rough-in is nearly complete, and rough-in in walls is maintaining schedule with other trades. Luminaire installation is prepped for on the south side of the first floor.

Second and third floor rough-in underfloor is continuing and nearing completion.

Panelboard cans are roughed in in most of the electrical rooms with the exception of the third floor north electrical room. Bus-duct is nearly all installed at the south riser.

No floorboxes for access flooring system are installed to date.

INSTRUCTIONS TO CONTRACTORS AT JOB SITE:

1. Verify that other electrical conduit(s) in electrical rooms overhead and mechanical ducts do not conflict with bus-duct vertical risers through rooms.

THE FOLLOWING ITEMS REQUIRE CORRECTION OR COMPLETION:



FIELD REPORT

Field Report Date:	May 5, 2008	Field Report #	Nineteen
Date of Issuance:	May 8, 2008	Time:	2:30 p.m.
		Weather:	Clear
		Temp:	75°F
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	75%	Conformance w/Schedule (+ -):	Petra reported they are on schedule.
Submitted by:	Steve Christiansen		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts – LCA Mike Wisdom – Engineering, Inc. Ed Anckerman – City of Meridian John Anderson, Adam Johnson - Petra Gene Bennett, Tom Coughlin - Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	04/21/08	Open	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	04/21/08	Open	Petra
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	04/07/08	Note: This was not verified this date to see fire sealant. This will be confirmed at next site visit.	LCA/Petra
16.05	03/24/08	Discussion occurred on equipment requirements at fire riser room. It was determined that the room needs to expand to the south to accommodate all required equipment and code clearances. This wall will encroach into the receiving area. After review of existing conditions, it appeared that this did not create any problems in the receiving area. Petra will provide a layout sketch of equipment with the expanded room for LCA to review.	Petra/LCA
	04/21/08	Open	

Item	Date	Observation	Action by
17.14	04/07/08	It was noted that there is a VAV box located above a hard ceiling at the locker room restrooms in the basement. Access is a concern for maintenance of this unit. LCA to review.	LCA
	04/21/08	Open	
	05/05/08	LCA has issued an ASI providing a lay-in ceiling at the VAV box location for access.	Closed
18.24	04/21/08	Where blocking is being installed at parapet cap; roofing is currently cut to the back of the parapet cap. Roof membrane should overlap wood blocking and down front face of blocking prior to metal coping being installed. Petra to verify this detail.	Petra
	05/05/08	It was noted that roof coping is being installed; however, the roof membrane is not overlapping the wood blocking. This will need to be modified accordingly.	Petra
18.25	04/21/08	Location where fire proofing is to be installed at the steel beams in the basement, it is noted that piping and ductwork may be interfering with required thickness of fireproofing on steel beams. This needs to be re-verified to determine whether or not specified fireproofing thickness can be installed at all required locations. Some mechanical and/or electrical rough-in, including ductwork and piping conduit may need to be readjusted to ensure fire proofing can be installed.	Petra
18.27	04/21/08	At office #214 it was noted that window type 'S' in the walls between 214 & 215, and 214 & 213 should be located on gridline H per dimensions indicating window locations. These windows should be relocated to appropriate locations.	Petra
	05/05/08	Window type 'S' that were noted at previous field report are in the process of being relocated.	Closed.
19.01	05/05/08	Staking is in progress for site plaza package.	Info
19.02	05/05/08	Brick veneer remains in progress at west elevation.	Info
19.03	05/05/08	Piping and mechanical equipment are being installed at mechanical mezzanine.	Info
19.04	05/05/08	Standing seam barrel vault roof is in progress.	Info
19.05	05/05/08	Detail should be reviewed at soffit and bent plate transition at barrel vault roof. At this time it has been noted that butt joints at steel plate need to be welded and/or bondo'd to provide water tight condition.	Petra
19.06	05/05/08	Interior framing is complete at third floor.	Info
19.07	05/05/08	Hollow metal frames are currently in progress at third floor.	Info
19.08	05/05/08	Access floor remains in progress at third floor, south side.	Info
19.09	05/05/08	Hollow metal frames are being painted at second floor, south side.	Info
19.10	05/05/08	Light fixtures are being installed on second floor, south side.	Info
19.11	05/05/08	On hollow metal frames, there is a gap between horizontal mullions. Frames were to be fully welded. This will need a bead of sealant or something to seal crack and repaint will need to be completed.	Petra
19.12	05/05/08	Drywall taping and finishing is in progress at second floor, north side.	Info
19.13	05/05/08	Ceiling grid has been installed at first floor, north side.	Info
19.14	05/05/08	Wall painting is in progress at first floor, north side.	Info
19.15	05/05/08	Duct work is in progress at council chambers.	Info

Item	Date	Observation	Action by
19.16	05/05/08	Fire proofing has been installed on floor beams above council chambers.	Info
19.17	05/05/08	Ceiling tile is in progress at first floor, south side.	Info
19.18	05/05/08	Ceiling tile, light fixtures, and fire sprinkler trim are in progress at first floor, south side.	Info
19.19	05/05/08	Ceiling grid at corridor 205 needs to be centered within the space.	Petra
19.20	05/05/08	At door 224, there is a little pocket alcove that will need to be filled in to make the walls straight and true.	Petra

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	May 19, 2008	Field Report #	Twenty
Date of Issuance:	May 22, 2008	Time:	3:00 p.m.
		Weather:	Clear
		Temp:	85°F
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	78%	Conformance w/Schedule (+ -):	on schedule.
Submitted by:	Steve Christiansen		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts, Lexie Townsend – LCA Mike Wisdom – Engineering, Inc. Ed Anckerman – City of Meridian Jack Vaughan, Adam Johnson - Petra Gene Bennett, Tom Coughlin - Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	04/21/08	Open	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	04/21/08	Open	Petra
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	04/07/08	Note: This was not verified this date to see fire sealant. This will be confirmed at next site visit.	LCA/Petra
16.05	03/24/08	Discussion occurred on equipment requirements at fire riser room. It was determined that the room needs to expand to the south to accommodate all required equipment and code clearances. This wall will encroach into the receiving area. After review of existing conditions, it appeared that this did not create any problems in the receiving area. Petra will provide a layout sketch of equipment with the expanded room for LCA to review.	Petra/LCA
	05/19/08	Fire riser room wall has been relocated.	Closed

Item	Date	Observation	Action by
18.24	04/21/08	Where blocking is being installed at parapet cap; roofing is currently cut to the back of the parapet cap. Roof membrane should overlap wood blocking and down front face of blocking prior to metal coping being installed. Petra to verify this detail.	Petra
	05/05/08	It was noted that roof coping is being installed; however, the roof membrane is not overlapping the wood blocking. This will need to be modified accordingly.	Petra
	05/19/08	Roof coping was being removed and roofing was being reinstalled to meet manufacturer's requirements.	Closed
18.25	04/21/08	Location where fire proofing is to be installed at the steel beams in the basement, it is noted that piping and ductwork may be interfering with required thickness of fireproofing on steel beams. This needs to be re-verified to determine whether or not specified fireproofing thickness can be installed at all required locations. Some mechanical and/or electrical rough-in, including ductwork and piping conduit may need to be readjusted to ensure fire proofing can be installed.	Petra
	05/19/08	Fireproofing has been installed at required locations.	Closed
19.05	05/05/08	Detail should be reviewed at soffit and bent plate transition at barrel vault roof. At this time it has been noted that butt joints at steel plate need to be welded and/or bondo'd to provide water tight condition.	Petra
19.11	05/05/08	On hollow metal frames, there is a gap between horizontal mullions. Frames were to be fully welded. This will need a bead of sealant or something to seal crack and repaint will need to be completed.	Petra
	05/19/08	After further review, it was determined the hollow metal frames meet the specifications. No sealant will be required.	Closed
19.19	05/05/08	Ceiling grid at corridor 205 needs to be centered within the space.	Petra
	05/19/08	Ceiling still needs to be centered within space.	Petra
19.20	05/05/08	At door 224, there is a little pocket alcove that will need to be filled in to make the walls straight and true.	Petra
	05/19/08	Pocket alcove still needs to be framed.	Petra
20.01	05/19/08	Footings and foundations including perimeter foundation insulation have been installed at the Heritage building.	Info
20.02	05/19/08	Concrete footing and foundation work, including retaining wall for the stream water feature are in the process of being installed.	Info
20.03	05/19/08	Formwork is in place for screen walls at trash enclosure and loading dock area.	Info
20.04	05/19/08	Drywall is in progress at the meeting room and at historical society at south side of lobby.	Info
20.05	05/19/08	Soffit framing is in progress at first floor lobby.	Info
20.06	05/19/08	Council chamber decorative soffit framing is in progress.	Info
20.07	05/19/08	Drywall, taping, and finishing are in progress at basement.	Info
20.08	05/19/08	It was noted at the basement storage area that wire partitions will be at 7'-6" high and be supported with vertical posts at 4 to 8 feet on center to secure fencing.	Info
20.09	05/19/08	Freight elevator is in progress of being installed.	Info

Item	Date	Observation	Action by
20.10	05/19/08	It was noted at the meeting room at first floor off the lobby that acoustical lay-in panels are acceptable adjacent to the door track in lieu of drywall soffit. It was noted that acoustical batt insulation should still run from top of track to bottom of deck at this door.	Info
20.11	05/19/08	Relocating heating coil from receiving into mail room to provide access to this unit. Mail room will become carpet. LCA to issue ASI confirming equipment in access locations vs. floor finish.	LCA
20.12	05/19/08	Painting is in progress at first floor north side.	Info
20.13	05/19/08	Millwork is in progress on first floor, north side.	Info
20.14	05/19/08	Ceiling grid is installed at first floor, north side.	Info
20.15	05/19/08	Indirect light fixtures are being installed at first floor, south side.	Info
20.16	05/19/08	Painting is in progress at second floor, north side.	Info
20.17	05/19/08	Ceiling grid has been installed at second floor, north side.	Info
20.18	05/19/08	Light fixtures are being hung at second floor, south side.	Info
20.19	05/19/08	It was noted to LCA that there is a floor-to-floor penetration at the southeast corner of the third floor and at the northeast corner of the third floor. LCA to review to see if this needs to be sealed off for fire.	LCA
20.20	05/19/08	Drywall and framing remains in progress at third floor.	Info
20.20	05/19/08	Mechanical piping rough-in and pumps are being installed at mechanical room.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	May 30, 2008	Field Report #:	Twenty-One
Date of Issuance:	June 10, 2008	Time:	2:30 p.m.
		Weather:	Sunny
		Temp:	65°F
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	80%	Conformance w/Schedule (+ -):	on schedule.
Submitted by:	Steve Christiansen		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts, Lexie Townsend – LCA Mike Wisdom – Engineering, Inc. Ed Anckerman – City of Meridian Jack Vaughan, Adam Johnson - Petra Gene Bennett, Tom Coughlin - Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	04/21/08	Open	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	04/21/08	Open	Petra
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	04/07/08	Note: This was not verified this date to see fire sealant. This will be confirmed at next site visit.	LCA/Petra
19.05	05/05/08	Detail should be reviewed at soffit and bent plate transition at barrel vault roof. At this time it has been noted that butt joints at steel plate need to be welded and/or bond'd to provide water tight condition.	Petra
19.19	05/05/08	Ceiling grid at corridor 205 needs to be centered within the space.	Petra
	05/19/08	Ceiling still needs to be centered within space.	Petra
	05/30/08	Ceiling grid is installed per contract drawings.	Closed

Item	Date	Observation	Action by
19.20	05/05/08	At door 224, there is a little pocket alcove that will need to be filled in to make the walls straight and true.	Petra
	05/19/08	Pocket alcove still needs to be framed.	Petra
	05/30/08	Alcove has been framed in.	Closed
20.11	05/19/08	Relocating heating coil from receiving into mail room to provide access to this unit. Mail room will become carpet. LCA to issue ASI confirming equipment in access locations vs. floor finish.	LCA
20.19	05/19/08	It was noted to LCA that there is a floor-to-floor penetration at the southeast corner of the third floor and at the northeast corner of the third floor. LCA to review to see if this needs to be sealed off for fire.	LCA
21.01	05/30/08	Under-slab plumbing rough-in and electrical rough-in are in progress at Heritage building.	Info
21.02	05/30/08	Discussion occurred on irrigation box at south parking lot. Irrigation box is currently located in one parking stall. LCA to follow up with Elk Mountain Engineering to discuss lowering box and putting a traffic rated lid on box.	LCA
21.03	05/30/08	Discussion occurred on handrail at amphitheater stairs. It was discussed to go ahead and construct as detailed.	Info
21.04	05/30/08	Forms are being stripped from concrete screen wall at loading dock area.	Info
21.05	05/30/08	Curtain wall framing is currently being installed at barrel vault on west side of building.	Info
21.06	05/30/08	Cabinets are continuing to be set at first floor throughout.	Info
21.07	05/30/08	Lights are in progress at second floor, north.	Info
21.08	05/30/08	Accent paint is in progress at corridor walls on first floor.	Info
21.09	05/30/08	Clean-up with vacuums underneath access floor is occurring at first floor, south half.	Info
21.10	05/30/08	Jambes for freight elevator are being installed.	Info
21.11	05/30/08	Freight elevator platform is currently functioning.	Info
21.12	05/30/08	Painting is in progress at the locker room restrooms.	Info
21.13	05/30/08	Thick-set tile is in progress at locker room floors.	Info
21.14	05/30/08	Elevator work, including setting rails, continues at main building elevator.	Info
21.15	05/30/08	Accent wall painting is occurring at the second floor.	Info
21.16	05/30/08	Added office at the public works area has been installed.	Info
21.17	05/30/08	Drywall hanging is nearing completion at the third floor.	Info
21.18	05/30/08	Discussion occurred at providing acoustical insulation and/or drywall over ductwork above mayor's office to reduce noise. LCA and Engineering, Inc. to review.	LCA

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	June 18 2008	Field Report #	Twenty-Two
Date of Issuance:	June 24, 2008	Time:	8:30
		Weather:	Sunny and clear
		Temp:	55°F
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	82%	Conformance w/Schedule (+ -):	on schedule.
Submitted by:	Steve Christiansen		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen - LCA Jack Vaughan - Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	06/16/08	Petra provided three samples of finishing the concrete foundation wall. LCA prefers the smooth finish. Petra will arrange a meeting with the City to get City review and approval of the sample.	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
	06/16/08	Petra is in the process of correcting the reveal location.	Closed
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	04/07/08	Note: This was not verified this date to see fire sealant. This will be confirmed at next site visit.	LCA/Petra
19.05	05/05/08	Detail should be reviewed at soffit and bent plate transition at barrel vault roof. At this time it has been noted that butt joints at steel plate need to be welded and/or bondo'd to provide water tight condition.	Petra
	06/16/08	Open	
20.11	05/19/08	Relocating heating coil from receiving into mail room to provide access to this unit. Mail room will become carpet. LCA to issue ASI confirming equipment in access locations vs. floor finish.	LCA
20.19	05/19/08	It was noted to LCA that there is a floor-to-floor penetration at the southeast corner of the third floor and at the northeast corner of the third floor. LCA to review to see if this needs to be sealed off for fire.	LCA

Item	Date	Observation	Action by
	06/16/08	LCA responded by answering RFI #148.	Closed
21.02	05/30/08	Discussion occurred on irrigation box at south parking lot. Irrigation box is currently located in one parking stall. LCA to follow up with Elk Mountain Engineering to discuss lowering box and putting a traffic rated lid on box.	LCA
	06/16/08	Open	LCA
21.18	05/30/08	Discussion occurred at providing acoustical insulation and/or drywall over ductwork above mayor's office to reduce noise. LCA and Engineering, Inc. to review.	LCA
	06/16/08	Petra has proceeded with providing drywall over ductwork at mayor's office.	Closed
22.01	06/18/08	Slab-on grade has been placed for the Heritage Building.	Info
22.02	06/16/08	It was reported that 80 percent of supply and return lines have been installed for the water feature.	Info
22.03	06/16/08	Storm drainage is in process for roof drain leaders.	Info
22.04	06/16/08	Aluminum storefront framing and glazing has been installed at the north stair tower.	Info
22.05	06/16/08	Ceiling grid has been installed in the basement.	Info
22.06	06/16/08	Walls have been textured and painted in the basement.	Info
22.17	06/16/08	Elevator door frames have been installed in the basement.	Info
22.18	06/16/08	Tile has been installed at men's and women's locker rooms.	Info
22.19	06/16/08	Toilet fixtures have been set in men's locker room.	Info
22.20	06/16/08	Work is occurring sewage ejector pump.	Info
22.21	06/16/08	Coffer ceiling framed at building lobby, first floor.	Info
22.22	06/16/08	Painting is in progress at first floor restrooms.	Info
22.23	06/16/08	It appears that most millwork has been installed at first floor.	Info
22.24	06/16/08	All the indirect lighting has been installed at first floor.	Info
22.25	06/16/08	It was pointed out that there is a conflict between projection screen and one fixture at council meeting room. An RFI has been issued to LCA on this item.	LCA
22.26	06/16/08	Some work is still occurring on the mechanical system under access floor at second floor. Vacuuming of under-floor at second floor south is in progress.	Info
22.27	06/16/08	Indirect lighting has been installed at second floor.	Info
22.28	06/16/08	Millwork remains in progress at second floor.	Info
22.29	06/16/08	Roof tile is in progress at second floor restroom.	Info
22.30	06/16/08	Wall revision between conference and work room storage is completed at Parks Department.	Info

Item	Date	Observation	Action by
22.31	06/16/08	Discussion occurred on where ceiling grid is running over top of the wall at office that was added at second floor Public Works. It was decided to rework this area such that the ceiling grid will terminate at a ceiling wall angle at this wall to match existing offices.	Petra
22.32	06/16/08	Drywall taping and finishing occurring at third floor.	Info
22.33	06/16/08	Parking lot light pole bases have been installed.	Info
22.34	06/16/08	Waterproofing to extend up on the northwest and southwest corners of the building at the basement locations as required to accommodate finish grades.	Petra
22.35	06/16/08	Discussion occurred on adding gypsum board over the masonry at the exposed stair wall at unassigned space 223. LCA concurred that it was a good idea to proceed and will issue an ASI to Petra for this work.	LCA

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	June 30 2008	Field Report #	Twenty-Three
Date of Issuance:	July 3, 2008	Time:	2:30 p.m.
Project Name:	Meridian City Hall	Weather:	Temp:
Est. % of Comp:	87%	Project #:	06016.01
Submitted by:	Steve Christiansen	File Code:	7-f
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Conformance w/Schedule (+ -):	on schedule.
		Present on Site:	Steve Christiansen, Alexis Townsend, Brent Pitts – LCA Geoff Johnson – Eidam & Associates Jim Edison – Engineering, Inc. Jack Vaughan, Tom Coglin - Petra

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	06/16/08	Petra provided three samples of finishing the concrete foundation wall. LCA prefers the smooth finish. Petra will arrange a meeting with the City to get City review and approval of the sample.	Petra
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	06/16/08	Petra to follow up to complete fire sealant. It was noted that this is not completed at this time.	Petra
19.05	05/05/08	Detail should be reviewed at soffit and bent plate transition at barrel vault roof. At this time it has been noted that butt joints at steel plate need to be welded and/or bondo'd to provide water tight condition.	Petra
	06/16/08	Open	
20.11	05/19/08	Relocating heating coil from receiving into mail room to provide access to this unit. Mail room will become carpet. LCA to issue ASI confirming equipment in access locations vs. floor finish.	LCA
21.02	05/30/08	Discussion occurred on irrigation box at south parking lot. Irrigation box is currently located in one parking stall. LCA to follow up with Elk Mountain Engineering to discuss lowering box and putting a traffic rated lid on box.	LCA
	06/16/08	Traffic rated lid has been installed.	Closed
21.18	05/30/08	Discussion occurred at providing acoustical insulation and/or drywall over ductwork above mayor's office to reduce noise. LCA and Engineering, Inc. to review.	LCA

Item	Date	Observation	Action by
	06/16/08	Petra has proceeded with providing drywall over ductwork at mayor's office.	Closed
	06/30/08	Engineering, Inc. has reviewed the additional drywall over the duct work for noise purposes at the Mayor's office and they have concurred that this is acceptable.	Closed
22.25	06/16/08	It was pointed out that there is a conflict between projection screen and one fixture at council meeting room. An RFI has been issued to LCA on this item.	LCA
	06/30/08	Conflict between light fixture and projection screen was reviewed this date. It was decided that the projection screen and light fixture will be swapped and light fixtures in entire room will be raised six inches so they are 18 inches below finished ceiling.	Closed
22.31	06/16/08	Discussion occurred on where ceiling grid is running over top of the wall at office that was added at second floor Public Works. It was decided to rework this area such that the ceiling grid will terminate at a ceiling wall angle at this wall to match existing offices.	Petra
22.34	06/16/08	Waterproofing to extend up on the northwest and southwest corners of the building at the basement locations as required to accommodate finish grades.	Petra
22.35	06/16/08	Discussion occurred on adding gypsum board over the masonry at the exposed stair wall at unassigned space 223. LCA concurred that it was a good idea to proceed and will issue an ASI to Petra for this work.	LCA
	06/30/08	LCA has issued ASI #115 for furring out the wall as noted.	Closed
23.01	06/30/08	Block and hollow metal frames are in progress at the heritage building.	Info
23.02	06/30/08	Pond liner is in progress at decorative stream water feature.	Info
23.03	06/30/08	Form work is in progress at entry plaza fountain and stairs.	Info
23.04	06/30/08	Storefront framing is in progress at main building entry.	Info
23.05	06/30/08	Drywall is in progress at new building lobby and is ready for tape.	Info
23.06	06/30/08	Toilet fixtures have been installed at basement locker rooms.	Info
23.07	06/30/08	Drywall is in progress at mechanical mezzanine.	Info
23.08	06/30/08	LCA was informed that we do not have any power outlets at the vending machines in the employee break room. LCA to follow up with Eidam & Associates to issue directive for the additional outlets.	LCA
23.09	06/30/08	Drywall remains in progress at gallery at third floor and taping and finishing is in progress throughout the third floor.	Info
23.10	06/30/08	In the Parks department direction was given to relocate window currently in storage room to conference room.	LCA/Petra
23.11	06/30/08	All elevator doors and frames have been installed. Elevator trim work is in progress.	Info
23.12	06/30/08	Ceramic tile is complete on first and second floors and is in progress at third floor.	Info
23.13	06/30/08	Catch basins have been installed at the canal water feature.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	August 11, 2008	Field Report #	Twenty-Six
Date of Issuance:	August 13, 2008	Time:	3:00 p.m. Weather: Clear / Sunny Temp: 85°F
Project Name:	Meridian City Hall	Project #:	06016.01 File Code: 7-f
Est. % of Comp:	95%	Conformance w/Schedule (+ -):	on schedule.
Submitted by:	Steve Christiansen		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Brent Pitts – LCA Jack Vaughan, Tom Coglin - Petra Ed Ackerman – City of Meridian

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
	10/01/07	Some areas of the foundation were sandblasted to see if this would be an acceptable finish. The samples did not turn out well so Petra will proceed with samples of sack finish.	Petra
	06/16/08	Petra provided three samples of finishing the concrete foundation wall. LCA prefers the smooth finish. Petra will arrange a meeting with the City to get City review and approval of the sample.	Closed
	8/11/08	Appoved sample is being installed. This item is closed.	Closed
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	06/16/08	Petra to follow up to complete fire sealant. It was noted that this is not completed at this time.	Petra
19.05	05/05/08	Detail should be reviewed at soffit and bent plate transition at barrel vault roof. At this time it has been noted that butt joints at steel plate need to be welded and/or bondo'd to provide water tight condition.	Petra
	06/16/08	Open	
22.34	06/16/08	Waterproofing to extend up on the northwest and southwest corners of the building at the basement locations as required to accommodate finish grades.	Petra
	8/18/08	Open.	
24.01	07/14/08	There appears to be conflict with the vault and sidewalk on the east side of the Heritage Building; LCA to review and provide direction to Petra.	LCA
	8/18/08	Open.	
24.21	07/14/08	Crack has developed in mechanical mezzanine slab. This slab does require a waterproof membrane. Discussion occurred that the waterproof membrane manufacturer's recommendations for slab prep; including sealing cracks prior to waterproof membrane being installed should be reviewed and followed.	Petra

Item	Date	Observation	Action by
25.20	07/28/08	It was noted that cold-applied dampproofing has not been installed on the exterior CMU walls at the Heritage Building and it was noted that brick veneer is currently in progress. This dampproofing needs to be installed prior to additional brick veneer being installed.	Petra
	8/18/08	Dampproofing has been installed. This item is closed.	Closed
25.21	07/28/08	Petra to confirm that masonry walls at Heritage Building are insulated.	Petra
	8/18/08	Open.	
26.01	08/11/08	Water features remain in progress.	Info
26.02	08/11/08	Exterior concrete water feature walls are currently being sacked out and the finish appears to be acceptable.	Info
26.03	08/11/08	Concrete prep work is occurring on trash enclosure screen wall.	Info
26.04	08/11/08	Tree grate wells have been placed along Meridian Road.	Info
26.05	08/11/08	Stairs and retaining wall are being formed up for fire riser room access.	Info
26.06	08/11/08	Chair rail is in progress at building first floor.	Info
26.07	08/11/08	Chair rail is in progress at second floor.	Info
26.08	08/11/08	Carpet is in progress at first floor.	Info
26.09	08/11/08	Floor tile is nearing completion at first floor.	Info
26.10	08/11/08	Council dias is in progress.	Info
26.11	08/11/08	Wood platform behind council dias has been installed.	Info
26.12	08/11/08	Pendant light fixtures have been installed at council chambers.	Info
26.13	08/11/08	Stainless steel posts have been installed to receive glass guard rail at second floor mezzanine.	Info
26.14	08/11/08	Sheet vinyl is in progress at janitor closets and FRP has been installed.	Info
26.15	08/11/08	Concrete stair and retaining wall is being installed at northwest corner of building.	Info
26.16	08/11/08	Ceiling tile is in progress throughout building.	Info
26.17	08/11/08	Rock ballast has been installed on roof over building vestibule.	Info
26.18	08/11/08	Millwork reception counters have been installed for Parks Department and Fire Department.	Info
26.19	08/11/08	Doors have been stored on second floor and are ready for installation.	Info
26.20	08/11/08	Ceiling is in progress at south stair.	Info
26.21	08/11/08	Racks are being installed in tele/data rooms.	Info
26.22	08/11/08	Wainscot is painted at the third floor.	Info
26.23	08/11/08	Countertops and fixtures have been set at third floor restrooms.	Info
26.24	08/11/08	Brick veneer is nearing completion on Heritage building.	Info
26.25	08/11/08	Waterproofing is in progress at Heritage building.	Info
26.26	08/11/08	Arriscraft stone is in progress at Heritage building.	Info

Item	Date	Observation	Action by
26.27	08/11/08	Roof joist and plywood sheathing is nearing completion at Heritage building.	Info
26.28	08/11/08	Light fixtures are in progress at stairwells.	Info

End of Report

Attachments: None



FIELD REPORT

Field Report Date:	August 25, 2008	Field Report #	Twenty-Seven
Date of Issuance:	August 29, 2008	Time:	3:00 p.m.
		Weather:	Clear
		Temp:	90°F
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-f
Est. % of Comp:	98%	Conformance w/Schedule (+ -):	on schedule.
Submitted by:	Steve Christiansen		
Distribution List:	Tom Coughlin – Petra Keith Watts – City of Meridian	Present on Site:	Steve Christiansen, Lexie Townsend, Brent Pitts – LCA Mike Wisdom – Engineering, Inc. George Eidam – Eidam & Associates Ed Ackerman, Keith Watts, Will Berg – City of Meridian

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
15.06	02/25/08	At clerk's records storage room, at two-hour rated wall, pipe is penetrating wall underneath access floor. It appears that penetration is filled with drywall mud around penetration. This should be a UL rated fire stopping assembly. LCA to review with Petra.	LCA/Petra
	08/25/08	Petra to follow up to complete fire sealant. It was noted that this is not completed at this time.	Petra
19.05	05/05/08	Detail should be reviewed at soffit and bent plate transition at barrel vault roof. At this time it has been noted that butt joints at steel plate need to be welded and/or bondo'd to provide water tight condition.	Petra
	06/16/08	Open	
22.34	06/16/08	Waterproofing to extend up on the northwest and southwest corners of the building at the basement locations as required to accommodate finish grades.	Closed
	08/25/08	Waterproofing has been completed.	
24.01	07/14/08	There appears to be conflict with the vault and sidewalk on the east side of the Heritage Building; LCA to review and provide direction to Petra.	LCA
	08/25/08	Sidewalk location will be verified prior to installation.	
24.21	07/14/08	Crack has developed in mechanical mezzanine slab. This slab does require a waterproof membrane. Discussion occurred that the waterproof membrane manufacturer's recommendations for slab prep; including sealing cracks prior to waterproof membrane being installed should be reviewed and followed.	Petra
25.21	07/28/08	Petra to confirm that masonry walls at Heritage Building are insulated.	Petra
	08/25/08	It was reported that walls still need to be insulated.	
27.01	08/25/08	Exterior water features remain in progress.	Info
27.02	08/25/08	Formwork in progress at amphitheater seat walls.	Info
27.03	08/25/08	Muffler for emergency generator has been installed.	Info
27.04	08/25/08	Irrigation line and tree grate wells remain in progress at Meridian Road.	Info
27.05	08/25/08	Dock bumpers have been installed.	Info

Item	Date	Observation	Action by
27.06	08/25/08	Carpet is complete on the first floor.	Info
27.07	08/25/08	Rubber base is in progress at first floor.	Info
27.08	08/25/08	Mini-blinds are in progress at areas that have been cleaned.	Info
27.09	08/25/08	Stairs and railings are in the process of being painted.	Info
27.10	08/25/08	Carpet is nearing completion on second floor.	Info
27.11	08/25/08	Ceiling grid at hallway 254 needs to be leveled out.	Petra
27.12	08/25/08	Light fixture is being trimmed-out and hung throughout building.	Info
27.13	08/25/08	Millwork remains in progress at third floor.	Info
27.14	08/25/08	Doors are being hung at third floor.	Info
27.15	08/25/08	Wire partitions are in progress at basement storage area.	Info

End of Report

Attachments: None

Job Observation Log

Engineering, Inc.

2222 Broadway Ave. Boise, ID 83706
 phone: (208) 343-3663
 fax: (208) 343-9625
 e-mail: eicad@engineeringinc.com

JOB NAME

Meridian City Hall

JOB NUMBER

0687

BY

Mike Wisdom

DATE

825/08

JOB MEETING NUMBER

9

COPIES OF REPORT TO:

Steve C - LCA

FAX NUMBER:

DATE FAXED:

NO.	REMARKS
1	Owner wants sapphire gas tank inside computer room
2	Simplex/Grinnell did fan tests and indicates they passed.
3	Owner issued sketch to locate floor grilles and return grilles with their equipment layout. Petra will revise per Owners request. Returns are in center now.
4	Next meeting in basement off loading dock.
5	Start punchlist 8 am Wednesday Sept 3.
6	1st floor carpet is in, ceiling tile set.
7	2nd floor carpet is in, ceiling tile set.
8	Rough in is ongoing.
9	Penthouse - insulation almost complete
10	Noted pumps are grounded out to structure, need isolation pads per plans on pump base and pipe stand under suction diffuser not bolted.
11	Need hangers adjusted to take weight off pumps.
12	Install chiller sound package.



**EIDA
AND
ASSOCIATES**

CONSULTING ENGINEERS
815 PARK BOULEVARD SUITE 230
BOISE, IDAHO 83712-7739
PHONE (208) 345-7127
FAX (208) 345-7173

FIELD NOTES

TO: LCA Architects

DATE: August 25, 2008

OBSERVER: Geoff Johnson

PROJECT: Meridian City Hall – Meridian, Idaho

PRESENT: Architect X, General Contractor/Construction Manager X, Mechanical Contractor __,
Owner X, Electrical Contractor X, Other

ELECTRICAL WORK IN PROGRESS:

Contractor is trimming out electrical devices and equipment on the third floor and miscellaneous equipment connections on the second, first, and basement floors.

JOB STATUS (ELECTRICAL):

Electrical work is nearly complete on the basement and first floor levels. Second floor electrical work appears to be nearing completion. Third floor electrical work appears to be nearly 90% complete.

Site electrical work is continuing along with site construction activities. Heritage building rough-in is complete and pole lights are on site. Rough-in for lighting on site is continuing as progress is made.

INSTRUCTIONS TO CONTRACTORS AT JOB SITE:

1. Emergency lighting units in the gallery area of the third floor are to be installed up on the higher wall just below painted structural members per drawings. Direction was given to move the lighting units to the electrical contractor in the field. It was indicated that this corrective work will be completed.
2. Owner has requested additional receptacles on the site in the tree planter boxes along Meridian Road. This work will be issued as a Proposal Request.
3. Discussed location for rough-in for future clock/sign at the upper east face on the outside of the building. Rough-in is located above ceiling of Council office area per direction previously documented.

THE FOLLOWING ITEMS REQUIRE CORRECTION OR COMPLETION:

Electrical punch list preparation will be started on September 4, 2008 and will start in the basement. Electrical rooms will not be reviewed until all other spaces of the building are reviewed.



CONSULTING ENGINEERS
815 PARK BOULEVARD SUITE 230
BOISE, IDAHO 83712-7739
PHONE (208) 345-7127
FAX (208) 345-7173

.D NOTES

TO: LCA Architects

DATE: October 29, 2007

OBSERVER: Geoff Johnson

PROJECT: Meridian City Hall – Meridian, Idaho

PRESENT: Architect X , General Contractor/Construction Manager X , Mechanical Contractor ,
Owner X , Electrical Contractor , Other

ELECTRICAL WORK IN PROGRESS:

Electrical contractor is roughing-in overhead conduits and boxes in the ceiling of the basement.

JOB STATUS (ELECTRICAL):

Electrical rough-in in the basement is continuing along with wall construction. Feeder conduits are roughed-in in the ceiling space of the basement. Underslab conduits on the first floor are roughed in.

INSTRUCTIONS TO CONTRACTORS AT JOB SITE:

Verify location of conduit stubs below millwork of Council Hearing room. We discussed on site that the location may be incorrect, but the construction manager noted that there is a raised floor above the conduits.

THE FOLLOWING ITEMS REQUIRE CORRECTION OR COMPLETION:

None.



CONSULTING ENGINEERS
815 PARK BOULEVARD SUITE 230
BOISE, IDAHO 83712-7739
PHONE (208) 345-7127
FAX (208) 345-7173

LD NOTES

TO: LCA Architects

DATE: November 7, 2007

OBSERVER: Geoff Johnson

PROJECT: Meridian City Hall – Meridian, Idaho

PRESENT: Architect ____, General Contractor/Construction Manager X, Mechanical Contractor ____,
Owner ____, Electrical Contractor X, Other

ELECTRICAL WORK IN PROGRESS:

Contractor is installing underground secondary conductor banks along south side of building.

JOB STATUS (ELECTRICAL):

Not reviewed.

INSTRUCTIONS TO CONTRACTORS AT JOB SITE:

Ductbank installation is acceptable as installed and once conduits are installed, backfill may commence. Construction manager indicated they are going to provide concrete encasement of ductbanks for approximately 30 feet along the building and under the loading dock to prevent damage to the conduits due to heavy construction equipment being utilized on site. Construction manager indicated that the routing taken for the underground secondary conduits is slightly different from the routing shown on plans due to other utilities in the same areas. Pullboxes for underground secondary conductors are going to be located directly west of the electrical room in lieu of the corner of the parking lot based upon other utilities in same area.

We reviewed the proposed installation and find the alternate locations of pullboxes and routing of underground secondary conduits acceptable.

THE FOLLOWING ITEMS REQUIRE CORRECTION OR COMPLETION:

None.

Aspen Landscape Architecture, LLC

9122 S. Quaking Aspen Ln.
Valleyford, WA 99036
(509) 842-2508

LANDSCAPE ARCHITECT'S FIELD REPORT

[] Steve Christianson - LCA

[]

[]

Project: Meridian City Hall
Site Visit

FIELD REPORT NO. L1

PROJECT NO. 08-001

Date: August 6, 2008
Time: 10:00a.m.
Weather: Sunny, 101°

Present:
Bill LaRue (BL) Aspen
Pat Child (PC) Petra

Site:

1. I met with Pat and subcontractors to discuss current issues and to resolve site amenities questions and concerns. The initial discussion regarded dimensions for items on the canal water feature and detailed discussion on how to wrap the brick veneer around the water outlet basin on the canal water feature. The final decision was to leave the CMU work as constructed and wrap the brick around the face of the outlet. A sack finish concrete panel will be 2' wide below the copper weir. The brick veneer will overlap the main 'U' trough by roughly 1/2" to allow for water proof calk at the butt joint between the copper liner and the brick. Light and outlet spout on the tower will be moved to center up on tower.
2. The end wall along the walkway at the south west end of the canal water feature was discussed. It is 5' high at one end and 1' high at the other. It was intended that the exposed face of this wall be treated with veneer like the rest of the water feature. However, the mason apparently did not figure brick veneer into his bid so the wall must have been bid with a sack finish concrete wall. It is my opinion that the wall, as seen from the city hall building, would have more aesthetic appeal if the same brick veneer treatment was continued to provide continuity with the rest of the canal water feature.
3. Entry water feature water proofing was discussed. The Tamoseal coating is approved but the contractor will have to provide water proof sealers at all penetrations and cold joints. Washed river rock cobbles 12" minus will be used to fill the basins. There should be approximately 18" depth of water after the cobbles are placed. The contractor warned about future cracking of the block out patch for the weirs. We may want to think about a product to cover the cracks if this occurs. Maybe a copper panel inserted over the weir would tie in well with the rest of the structures. The contractor intends to install another basket strainer filter in line with the entry water feature for additional protection against debris in the system that may plug the weirs.
4. The stream water feature liner rock and skimmers have been installed as well as most of the piping, pump, pump vault and main valves.
5. Concrete flatwork within the plaza area has not been started yet.
6. Amphitheater walls are poured and seating area rough graded.

Discussions:

Other Business:

PETRA86004
002566



FIELD REPORT

Field Report Date:	September 17, 2007	Field Report #	Six
Date of Issuance:	September 18, 2007	Time:	2:45 p.m.
		Weather:	Partly Cloudy
		Temp:	70°
Project Name:	Meridian City Hall	Project #:	06016.01
		File Code:	7-1
Est. % of Comp:	15%	Conformance w/Schedule (+ -):	Even
Submitted by:	Steve Christiansen		
Distribution List:	Wes Bettis - Petra Keith Watts - City of Meridian	Present on Site:	Steve Christiansen - LCA John Anderson, Wes Bettis - Petra Art Stevens, Adam Johnson - Petra Will Berg, Keith Watts, Ed Ankerman - City of Meridian

The Work shall be carried out in accordance with the following instructions issued in accordance with the following Contract Documents without change in Contract Sum or Contract Time.

Item	Date	Observation	Action by
4.01	08/06/07	The area of exposed foundation was at the northeast side of the basement will be left exposed so that sample sand blast finishes can be applied for approval by the Mayor and Council. This was discussed and agreed in today's construction meeting. Petra will arrange.	Petra
	09/17/07	Discussion occurred on types of concrete finishes. It was agreed that Petra will provide a sample of a sacked finish.	Petra
5.08	08/27/07	It was noted that the decorative reveal at the exposed concrete stem wall at grid line 10 and D does not line up as it proceeds around the corner. This is occurring at the outside corner. This was discussed with Petra this date and Petra is aware that corrective action will need to take place to provide a nice, horizontal joint as it rounds the corner.	Petra
5.09	08/27/07	Coordination meeting occurred between mechanical, electrical and architectural this date. There are a couple of locations where there are conflicts between mechanical ductwork and steel beams, which will impact the ceiling height at the second floor corridors 205, 222, 246, and 262. These corridors will be lowered from 10'-0" to 9'-6" and soffits at these locations will be lowered from 9'-6" down to 9'-5". In addition, the plan vault room 210 will be lowered to an 8'-0" ceiling and wall at gridline 9, roughly between gridline H and the east side of corridor 246 will need to be relocated to the south to provide clearance for return air. LCA to provide clearance for return air. LCA to prepare an ASI for these revisions.	LCA
	09/17/07	LCA issued ASI #22 revising the ceiling heights as noted. LCA still to issue an ASI for relocating the wall at gridline 9, roughly between gridline H and the east side of corridor 246 to provide clearance for return air.	LCA
5.10	08/27/07	It was noted that there is a conflict between roof drains and grade beams at gridlines 1 and F, and 12 and F. It was agreed that these roof drains will be relocated between the two adjacent windows along gridline F on each side of the building and will be furred out. LCA to issue an ASI regarding this change.	LCA
	09/17/07	LCA still to issue an ASI for relocating roof drains at locations as noted above.	LCA
6.01	09/17/07	Backfilling compaction is occurring this date on the east side of the north wing.	Info
6.02	09/17/07	Radiused foundation wall on west side of building is completed.	Info

Item	Date	Observation	Action by
6.03	09/17/07	Second floor steel floor framing has been installed from gridlines D to H and gridlines 3 to 10. In addition, the second floor framing has been installed between gridlines 1 and 4 and gridlines F and J.	Info
6.04	09/17/07	Vaulted roof trusses are on site.	Info
6.05	09/17/07	Steel stairs are on site.	Info
6.06	09/17/07	Metal floor decking is on site.	Info
6.07	09/17/07	First floor floor decking is currently being installed from gridlines 3 to 6 and gridlines D to H.	Info
6.08	09/17/07	Security drawings were reviewed with Petra and the City on this date.	Info

End of Report

Attachments: None

FIEL REPORT



8701 W. Hackamore Drive
Boise, Idaho 83709
Phone (208) 375-8240
FAX (208) 375-8257

TO: Steve Christensen
LCA Architects
1221 Shoreline Lane
Boise, Idaho 83702

PROJECT: Meridian City Hall
PROJECT NUMBER: 06175
OBSERVATION DATE: October 29, 2007
FIELD REPORT #: 5
CONTRACTOR: Petra, Inc
OWNER: City of Meridian
PRESENT AT SITE: Jan Welch - Stapley Engineering
Brent Pitts - LCA Architects
Adam Johnson, John Anderson, Wes Bettis -
Petra, Inc

STRUCTURAL WORK IN PROGRESS:

1. The structural steel work is progressing. At the time of this visit it appeared that the majority of the deck is in place for the second floor construction. The last few section of wide flange beams were being placed on the west side of the building at the second level, and approximately 15% of the slab deck remains to be placed at the second floor.
2. The erection of the structural steel components at the third level is under way. Approximately 30% of the beams and girders at the third floor have been erected on the south end of the building.
3. All of the slab on deck for the first floor have been completed.
4. Concrete was being placed on the second floor decking at the time of this visit. The concrete was being placed on the south east portion of the second level.

ITEMS DISCUSSED WITH THE CONTRACTOR:

1. The column at gridline 6C appears to have been slightly damaged as the column flange is slightly displaced within the depth of the moment connection. This condition will have to be reviewed to determine if any remedial action is required.
2. The contractor inquired as to whether it was necessary to remove the backer bars for the full pen welds at the moment column splices. I indicated that this was not required that these backer bars need not be removed.

Signature

CC:

PETRA86007
002569

FIELD REPORT



8701 W. Hackamore Drive
Boise, Idaho 83709
Phone (208) 375-8240
FAX (208) 375-8257

TO: Steve Christensen
LCA Architects
1221 Shoreline Lane
Boise, Idaho 83702

PROJECT: Meridian City Hall
PROJECT NUMBER: 06175
OBSERVATION DATE: August 24, 2007
FIELD REPORT #: 3
CONTRACTOR: Petra, Inc
OWNER: City of Meridian
PRESENT AT SITE: Jan Welch - Stapley Engineering
Steve Christensen - LCA Architects
Adam Johnson, John Anderson, Wes Bettis -
Petra, Inc
Ed Ankerman, Keith Watts - City of Meridian
Mike Wisdom - Engineering, Inc.

STRUCTURAL WORK IN PROGRESS:

1. The last portions of the concrete slabs on grade in the basement were being finished.
2. The masonry walls at the stair shafts have been completed.
3. The "at grade" foundations on the north and south sides of the building have been completed. In addition, the sub-grade material appears to have been placed and compacted in anticipation of the placement of the concrete slab on grade for the southern portion.
4. All of the columns extending to the foundations in the basement area have been erected. All of the main floor girders have been erected and a significant portion of the floor beams are also in place. Welding of the moment frame connections has not been started and the contractor plans to place the second floor framing prior to beginning these welding procedures.
5. The footings for the foundations for the radius portion of the "at grade" construction on the west side of the building are complete. Forms for the foundation walls in this area were being laid up at the time of this visit.

ITEMS DISCUSSED WITH THE CONTRACTOR:

1. The reason for this site visit was to discuss joint "fit up" issues for the moment frame connections. There are at least three locations where the root opening exceeds the allowable dimension, including tolerance, for the joint. The erector (Denis w/ Boise Steel Erectors) had expressed concern about these welds. The inspector from MTI indicated that additional "prequalification" of the welding procedures would need to be done, as the current prequalification procedure is approved only for welds with up to a 3/8" root opening. Petra will make arrangements for any materials required for this welding prequalification procedure will be made available to the erector.
2. Denis asked if the backer plates could be left in place for the groove welds on the top flange of the connections. I have researched this request further, and can reiterate that the backer plates must be removed and the specified "patching" fillet weld placed following the removal of the backer plate and back gouging of the weld as indicated in note 2 of the welding procedures on sheet S7.2.

CC:

PETRA86008
002570

3. The MTI inspector (Gordon Findley) indicated that he had advised the fabrication foreman of the problems while observing fabrication procedures. However this information concerning possible tolerance issues was not listed as a deficiency in his observation reports.
4. The erectors indicated that these issues relating to joint fit up could lead to a delay in completion of their work as more time will be required to make the additional weld passes where the root openings are larger. I indicated that I didn't think that the problem was extensive enough to impact schedule, but that the fabricator should be advised of the problem (assurances were made that they have been advised) in an effort to alleviate the problem for the remaining floor framing levels. As the erector's contract is a subcontract to the fabricator, any issues or costs relating to these joint fit up issues will need to be resolved between them. at the lower floor elevation. It appears that an embed has been installed in the foundation.
5. Jon w/ Petra indicated that they have another column base plate where the anchor bolts are slightly out of alignment. Jon indicated that at this location the anchor bolt are about 1/2" out of alignment. I indicated that the holes in the column base plate can be enlarged to allow it to fit on the anchor bolts as placed. 3/8" plate washes with the appropriately sized bolt holes should be provided and welded to the base plate to secure the bolt positions.
6. The configuration of the foundation walls at H4 and H9 was reviewed. The contractor will provide a closure plate (14 gage was discussed) to allow backfilling in this area below the slab on grade.
7. We discussed coordination of mechanical ductwork, structure, and ceiling locations. Mechanical duct runs will be modified slightly and ceilings lowered in some areas. No structural changes are required.



Signature

FIELD REPORT



8701 W. Hackamore Drive
Boise, Idaho 83709
Phone (208) 375-8240
FAX (208) 375-8257

TO: LCA Architects

PROJECT: Meridian City Hall
PROJECT NUMBER: 06175
OBSERVATION DATE: July 30, 2007
FIELD REPORT #: 2
CONTRACTOR: Petra, Inc
OWNER: City of Meridian
PRESENT AT SITE: Janene A. Welch for Stapley Engineering
Steve Christensen for LCA Architects
Adam Johnson and Wes Bettis for Petra, Inc
Ed Ankerman and Keith Watts for City of Meridian

STRUCTURAL WORK IN PROGRESS:

1. The concrete pits for both of the elevator shafts have been completed.
2. There still are portions of the basement slab on grade that need to be poured.
3. "Dead men" concrete blocks are in place at sections of both the east and west basement walls. These blocks were placed to allow backfilling of the walls to occur prior to completion of the basement slab on grade.
4. The extension for the foundation wall between gridlines 5 and 7 on the west side basement wall has been completed. Workers were welding shear plates to the embeds in this location at the time of this visit.
5. Masonry work is proceeding on each of the stair towers. The stair tower on the south end of the building is complete to about six feet above the mandors at the third floor elevation. Work on the interior stair core and stair walls at the south end of the building are also at approximately the same elevation.
6. The foundations for the at grade construction on the south side of the building are underway. The footings appear to be complete for the columns and grade beams and general foundation wall. The interior grade beam at gridline E has been completed and the perimeter grade beam along gridline A is also complete. Forms are in place to cast the foundation wall extensions and articulations required along the wall at gridline A and a portion of the return on the east facing wall. A portion of the stem wall on the west side of this area remains to be completed. The column pedestal for the interior column is formed at this time but the concrete for this pedestal had not been placed at the time of this visit.

ITEMS DISCUSSED WITH THE CONTRACTOR:

1. The anchor bolts for the column located at gridline 4F have been damaged. While it appears that it may be possible to straighten (2) of the anchor bolts, the remaining (2) will need to be cut off and replaced with epoxy installed threaded rods. See the enclose detail for configuration of these post installed anchors.

CC:

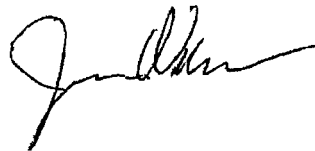
PETRA86010
002572

2. In discussions with the steel erector, he noted that there appeared to be a beam missing in the area of the floor transition on grids 5.5 and 7.5 between grids D and E. There are several options to accommodate the floor transition in this area. The options are as follows:

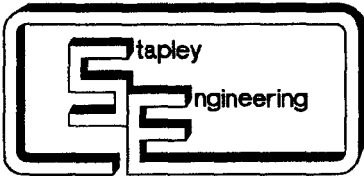
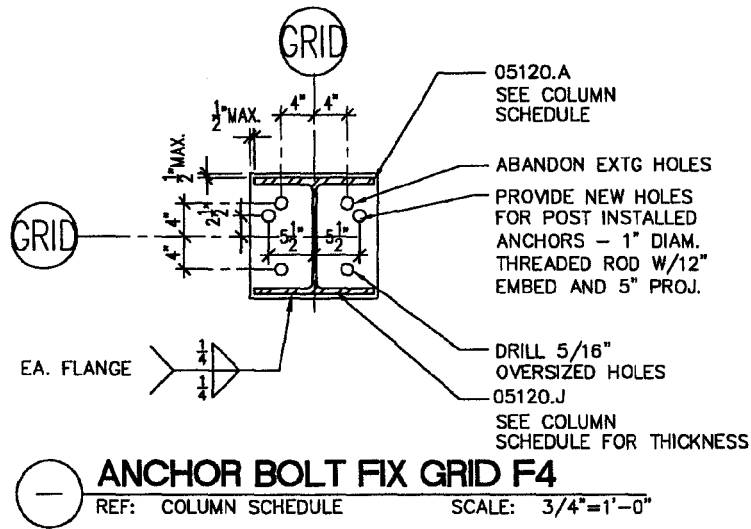
- A. Provide an additional W 8x10 beam at the lower floor elevation. It appears that an embed has been installed in the foundation wall at the lower elevation that a lower beam can be connected to.
- B. It may also be possible to provide a beam at only the lower floor elevation and build a steel stud pony wall on the beam to support the upper floor edge.
- C. Provide a single deeper beam section; a W21x44, to allow the lower floor to be supported on a single beam (reference detail A5/S7.1.) The deeper beam could be framed into the column and embed at the concrete foundation wall using the shear plates provided for the shallower W8 beam.

3. The detail for the support of the veneer above the large glazing opening in the stair was reviewed. The detail B1/A3.2 shows an 8x8x1/2" angle with 3/4" anchor bolts at 24" o.c. The contractor has asked for an alternate to allow post installed anchors in lieu of cast in anchors and the architect expressed the desire to reduce the horizontal angle leg to a 3/8" thickness. The following options were provided:

- A. The maximum embed for a bolt in 8" CMU is 5"...3/4" epoxy anchor require 6 5/8" embed so we should probably use 5/8" epoxy anchors with 5" embed to attach the angle to the CMU.
- B. There is no "rolled" angle (off the shelf) with an 8" horizontal leg in a thickness less than 1/2". No 7" either.
- C. An angle could be fabricated (generally more money) with a 3/8" thickness. If fabricated, this piece could have a 6" vertical leg with epoxy anchors placed at 16" o.c. or a 9" leg with epoxy anchors at 24" o.c.
- D. If the 8x8x1/2" angle is used, the post installed epoxy anchors could be at 24" o.c. but they need to be moved to be 6 1/2" from the bottom of the angle.



Signature



8701 W. HACKAMORE DR.
BOISE, IDAHO 83709
(208) 375-8240
06175

DRAWN BY: JAW

CHECKED BY: JW

SCALE: 3/4" = 1'-0"

DATE: 07/31/2007

DESCRIPTION: ANCHOR BOLT FIX - RFI #25

JOB MERIDIAN CITY HALL
NAME: JOB NUMBER 06175

SHEET

S3.1



FIELD REPORT



8701 W. Hackamore Drive
Boise, Idaho 83709
Phone (208) 375-8240
FAX (208) 375-8257

TO: Steve Christensen
LCA Architects
1221 Shoreline Lane
Boise, Idaho 83702

PROJECT: Meridian City Hall
PROJECT NUMBER: 06175
OBSERVATION DATE: October 2, 2007
FIELD REPORT #: 4
CONTRACTOR: Petra, Inc
OWNER: City of Meridian
PRESENT AT SITE: Jan Welch - Stapley Engineering
Brent Pitts - LCA Architects
Adam Johnson, John Anderson, Wes Bettis -
Petra, Inc

STRUCTURAL WORK IN PROGRESS:

1. The columns associated with the north and south wings of the construction have been erected.
2. It appears that all of the framing associated with the at grade slab on deck has been erected. In addition, the majority of the decking over this framing is in place. It does not appear that the portion of deck on the north side of the structure has been attached to the framing members.
3. Nearly all of the framing for the second floor has been erected.
4. On the north side of the at grade portions of the building the second floor framing at the south side of the building has also been erected. The decking components are stockpiled on the framing members but have not been spread at the time of this visit.
5. The slab on deck and slab on grade for the southern portion of the structure, at the first level has been poured out.
6. All of the concrete foundation walls for the primary structure have been completed. This includes the infill on the east side of the structure as well as the raduissed wall at the west side of the structure.
7. The additional concrete work required to provide for the architectural relief elements on both the east and west side facing portions of the building have not been completed at this time. It appears that these are the only foundation elements associated with the building structure that have to be completed.
8. Steel stud work is commencing in the basement area on the south side of the building.
9. The raduissed steel open web trusses have been delivered to the site. It appears that the steel stringers and stair pans have also been delivered to the site.

A handwritten signature in black ink, appearing to read "Jan Welch", is written over a horizontal line.

Signature

CC:

PETRA86013
002575

**PROFESSIONAL SERVICES
AGREEMENT
(ARCHITECTURAL SERVICES)**

BETWEEN

CITY OF MERIDIAN
AN IDAHO MUNICIPAL CORPORATION

AND

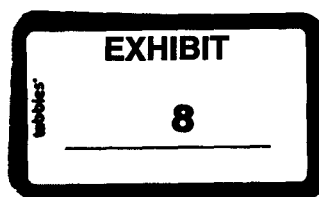
LCA ARCHITECTS, P.A.
AN IDAHO PROFESSIONAL CORPORATION

FOR THE

NEW MERIDIAN CITY HALL

DATED

JULY 11, 2006



PETRA96867
002576

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**PROFESSIONAL SERVICES AGREEMENT
(Architectural Services)**

THIS PROFESSIONAL SERVICES AGREEMENT (this "Agreement") is made effective the 11th day of July, 2006, by and between CITY OF MERIDIAN, an Idaho municipal corporation ("Owner"), and LCA ARCHITECTS, P.A., an Idaho professional corporation ("Architect").

RECITALS

A. Owner is under contract to purchase that certain parcel of land located at 27 E. Broadway, Meridian, Idaho (the "Site").

B. Owner desires to develop a new city hall facility and related improvements on the Site (the "Project").

C. Architect has represented to Owner that it has the skills, qualifications, and experience to provide professional architectural design and contract administration services for the Project on behalf of Owner.

D. Owner desires to retain Architect, and Architect desires to be retained by Owner, for professional architectural services for the Project on Owner's behalf.

AGREEMENT

NOW, THEREFORE, in consideration of the mutual promises, covenants, and agreements stated herein, and for other good and valuable consideration, the sufficiency of which is hereby acknowledged, Owner and Architect agree as follows:

1. RELATIONSHIP OF THE PARTIES

1.1 Relationship of the Parties.

Architect acknowledges and accepts the relationship of trust and confidence established with Owner by this Agreement and that this relationship is a material consideration for Owner in entering into this Agreement. Accordingly, Architect shall, at all times, act in a manner consistent with this relationship. Architect further covenants that Architect will perform its services under this Agreement, in the exercise of ordinary and reasonable care and with the same degree of professional skill, diligence and judgment as is customary among architects of similar reputation performing work for projects of a size, scope and complexity similar to the Project. Architect shall, at all times, further the interest of Owner through efficient business administration and management.

1.2 Authorized Representative.

Owner and Architect shall designate a representative who shall be authorized to act on that parties' behalf with respect to the Project. Each party's representative shall render decisions in a timely manner in order to avoid unreasonable delay in the progress of the Project. Each party may rely upon the directions and decisions of such representatives as the directions and decisions of the other party. Neither Owner nor Architect shall change its authorized representative without five (5) days prior written notice to the other party.

1.2.1 Owner's authorized representative shall be:

To be determined by Owner. Upon Owner's selection of its authorized representative, Owner will provide Architect the name and contact information for such representative.

1.2.2 Architect's authorized representative shall be:

Steve Simmons, President
LCA ARCHITECTS, P.A.
1221 Shoreline Lane
Boise, Idaho 83702
Telephone: 208-345-6677
Facsimile: 208-344-9002
Mobile: 208-830-4122
Email: ssimmons1@lcarch.com

1.3 Architect as Owner's Representative.

Architect shall be a representative of Owner during the Project. Architect shall have authority to act on behalf of Owner only to the extent provided in this Agreement, unless otherwise set forth in writing.

2. ARCHITECT

2.1 Architect's Representations.

Architect makes the following express representations and warranties to Owner, which shall survive the execution and delivery of this Agreement:

2.1.1 Architect is or will be professionally qualified to provide architectural services for the Project and is properly licensed to practice architecture by all public entities having jurisdiction over Architect and the Project;

2.1.2 Architect has, or will as part of its services under this Agreement, become familiar with and examined the Site, including, but not limited to, the existing terrain, structures, landscaping and the local conditions under which the Project is to be designed, constructed, and operated, and correlated its observations with the Project's requirements;

2.1.3 Architect has the professional knowledge, skills, experience, education and staffing to design the Project and prepare construction documents for the Project. The individual employees of Architect that will render services pursuant to this Agreement are knowledgeable and experienced in the technical disciplines required for this Project;

2.1.4 Architect shall prepare all documents and provide all services required under this Agreement in such a manner that increases in Project costs resulting from Architect's errors or omissions do not exceed one percent (1%) of the total construction price of the Project; and

2.1.5 Architect assumes full responsibility to Owner for its own improper acts and/or omissions and those employed or retained by Architect in connection with the Project (excluding intentional acts), but not for acts and omissions expressly directed by Owner.

2.2 Communications.

Architect shall endeavor to keep Owner fully informed regarding the progress of the Project so Owner can have meaningful review and involvement in the Project. Without limiting the generality of the foregoing sentence, Architect shall, as a matter of course, promptly provide Owner with copies of all designs, documents, meeting notes and memorandum and any other information related to the Project for Owner's review and input. Architect shall notify Owner of any decisions that are required to be made by Owner, and any deadlines pertaining thereto. Architect shall consult with and advise Owner with respect to any such decisions.

2.3 Meetings with Governmental Officials.

Architect agrees to provide Owner with reasonable notice of all formal public and non-public meetings with government officials regarding the Project. Owner shall be entitled to attend any formal public or non-public meeting with governmental officials regarding the Project. Architect shall document all meetings with governmental officials related to the Project and any verbal or written interpretations related to the Project provided by any governmental officials.

2.4 Project Records.

All records relating to the Project in Architect's possession (the "Project Records") shall be made available to Owner for inspection and copying at a reasonable time and place upon the written request of Owner. The Project Records shall include, but not be limited to, all plans, specifications, submittals, correspondence, minutes, memoranda, receipts, timesheets, electronic recordings and other writings or things that document any aspect of the design and construction of the Project. Architect shall maintain the Project Records for six (6) years after substantial completion of Project or for any longer period required by law.

2.5 Value Engineering.

Architect will participate with Construction Manager to informally value engineer the Project to maximize costs savings to Owner through discounts, informal value engineering

and other actions consistent with good design and building practices for a project of the type contemplated by Owner.

2.6 Governmental Permits.

Architect shall assist Owner and Construction Manager in preparing and filing all documents necessary to obtain the approvals of governmental authorities having jurisdiction over the Project, including, but not limited to, building and occupancy permits.

2.7 Compliance with Laws.

Architect shall perform all of Architect's services in compliance with all applicable laws, ordinances, rules, regulations or orders of any public authority having jurisdiction over the Project, any applicable permits and any recorded covenants, conditions and restrictions affecting the Site.

2.8 Independent Contractor.

Architect acknowledges that it is an independent contractor and not an employee or agent of Owner. As an independent contractor, Architect shall be and remain responsible to Owner for all its negligent acts or omissions in connection with its duties and services under this Agreement that result in damage or injury to persons or property. Architect shall indemnify and hold harmless Owner against all claims or liabilities that are asserted, incurred or recovered against Owner related to employer liabilities that arise from Architect's employment or retention of any person or entity. Owner shall have no control over the manner or method by which Architect meets Architect's obligations under this Agreement; provided that Architect's services shall be performed in a competent and efficient manner this is in compliance with this Agreement. Nothing in this Agreement shall be construed to mean that Owner employs or is responsible for compensating any consultant of Architect.

2.9 Consultants.

Architect has engaged the following consultants to provide the indicated services pursuant to this Agreement:

Landscape Architecture

Hatchmueller PC
611 Sherman Avenue
Coeur d' Alene, ID 83814
Telephone: (208) 676-8444
Facsimile: (208) 676-8555

Structural Engineering

Stapley Engineering, Inc.
8701 West Hackamore Drive
Boise, Idaho 83709
Telephone: (208) 375-8240
Facsimile: (208) 375-8257

Mechanical Engineering

Engineering Incorporated
2222 Broadway Avenue
Boise, Idaho 83706
Telephone: (208) 343-3663
Facsimile: (208) 343-9625

Electrical Engineering

Eidam and Associates
815 Park Boulevard, Suite 230
Boise, Idaho 83712-7739.
Telephone: (208) 345-7127
Facsimile: (208) 345-7173

Prior to retaining or engaging any additional consultants to provide services pursuant to this Agreement, Architect shall submit for Owner's approval a written statement listing (1) a description of the services to be provided by said consultant (2) a brief description of said consultant's qualifications to render the identified services, and (3) a disclosure of any ownership, controlling interest or affiliation between Architect and said consultant. Owner shall bear no responsibility for reimbursing Architect for services of any consultant retained or engaged by Architect unless Architect first complies with this Section.

2.10 Indemnification

To the fullest extent permitted by law, Architect shall indemnify and hold harmless Owner and its officers, directors, agents and employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of Architect's duties and responsibilities under this Agreement, but only to the extent caused by the negligent acts or omissions of Architect, its employees, agents or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder.

2.11 Outside Compensation Prohibited.

Except with Owner's knowledge and consent, Architect shall not engage in any activity or accept any employment, interest or contribution that would reasonably appear to compromise Architect's professional judgment with respect to the Project or the relationship of trust between Owner and Architect established herein; provided, however, nothing in this Section shall be deemed to limit Architect's ability to provide services for an competitor of Owner.

3. OWNER

3.1 Owner's Objectives.

Owner's objective for the Project is to develop a new city hall facility and public plaza on the Site.

3.2 Owner's Duties.

3.2.1 Owner shall, at its expense, furnish Architect with documents in its possession concerning the Site, which documents shall include a legal description, environmental risk assessment, site survey, and preliminary title report.

3.2.2 Owner shall provide Architect with Owner's preliminary planning and programming information regarding Owner's requirements for the Project, including, but not limited to, Owner's purposes, concepts, desires and any design, construction, scheduling, budgetary or operational needs, restrictions or requirements, as the same may be amended from time to time ("Owner's Criteria"). Architect shall be entitled to rely upon such information only to the extent that a reasonably prudent Architect would so rely on such information.

3.2.3 When reasonably requested by Architect, Owner shall furnish, at Owner's expense, the services of professional consultants such as land surveyors, geotechnical engineers, and hazardous materials consultants. Owner shall furnish structural, mechanical, chemical, geotechnical and other laboratory or on-site tests, inspections and reports as set forth in the Construction Documents and as required by law.

3.2.4 Owner shall timely review documents provided by or through Architect;

3.2.5 Owner shall timely render its direction, decision, consent or approval on matters identified by Architect for Owner's direction, decision, consent or approval;

3.2.6 Owner shall provide for all required testing or inspections of the Work as may be mandated by law, the Construction Documents or the Construction Contracts;

3.2.7 If Owner learns of any failure to comply with the Construction Contract by Contractor, or of any errors, omissions, or inconsistencies in the services of Architect, and in the further event that Architect does not have notice of the same, Owner shall inform Architect;

3.2.8 Owner shall afford Architect access to the Site and to the Work as may be reasonably necessary for Architect to properly perform its services under this Agreement;

3.2.9 Owner's review, direction, decision, approval or consent of any document provided or matter identified by or through Architect shall be solely for the purpose of determining whether such document or matter is generally consistent with Owner's Criteria. No review of such documents shall relieve Architect of its responsibility for the accuracy, adequacy, fitness, suitability, or coordination of its services or work product.

3.2.10 Architect shall be entitled to rely upon services and information provided by or through Owner only to the extent that a reasonably prudent Architect would so rely on such services and information. Architect shall promptly notify Owner in writing if

Architect becomes aware of any errors, omissions or inconsistencies in such services or information.

3.3 Owner's Construction Manager.

Owner plans to retain a construction manager ("Construction Manager") to provide construction management services for the Project. Upon Owner's selection of Construction Manager, Owner will provide Architect the name and contact information for Construction Manager's authorized representative. Architect hereby acknowledges that it has received, reviewed, and studied the agreement form that Owner intends to use with Construction Manager (the "CM Agreement"), and the same is herein incorporated by reference. Architect shall consult and coordinate with Construction Manager as needed to fulfill its duties hereunder, and shall assist Construction Manager as need for Construction Manager to fulfill its duties to Owner under the CM Agreement.

3.4 Contractor.

Architect understands that Owner plans to retain multiple prime contractors (the "Contractors") to provide construction labor, services, materials and equipment for the Project (the "Work"). The term "Contractor" means all prime contractors retained by Owner to perform Work, but not the prime contractor's subcontractors, laborers and material suppliers.

4. SCOPE OF SERVICES

4.1 In General.

Owner has retained Architect to help it achieve the objectives set forth in Section 3.1 above by providing design and construction administration services for the Project on behalf of Owner. Therefore, the general scope of Architect's responsibilities is to do all things, or, when appropriate, require Construction Manager and each Contractor to do all things necessary, appropriate or convenient to achieve the end result desired by Owner, including, but not limited to, those tasks set forth in this Article 4. Architect's services shall include all (i) architectural design services, (ii) civil, structural, mechanical, electrical and other engineering services not identified as the responsibility of Owner herein, (iii) landscape design services (including plaza and water feature design), (iv) interior and furnishings design, and (v) phone and data consulting services that are normally and customarily provided to complete a project of the scope, quality and nature of the Project and required to obtain the approval of governmental authorities having jurisdiction over the Project. The tasks set forth in this Article 4 are not intended to be an exhaustive list of the tasks required to achieve the result desired by Owner. The general scope of Architect's responsibilities and shall include all other tasks indicated or implied in this Agreement and the implementing plans contemplated herein.

4.2 Development Strategies Phase.

Architect shall carefully examine Owner's Criteria and consult with Owner and Construction Manager in detail about the same in detail. Based on its review and consultations, and with the assistance of Construction Manager, Architect shall prepare and submit to Owner a written report detailing its understanding of Owner's Criteria and identifying any design,

construction, scheduling, budgetary, operational or other problems or recommendations that may result from Owner's Criteria. The written report shall also include proposed solutions addressing each problem identified, alternative strategies for the cost effective design and construction of the Project, and alternative strategies for the cost effective future expansion of the Project. Architect shall assist Construction Manager in developing the preliminary project schedule required pursuant to Section 4.2 of the CM Agreement.

4.3 Preliminary Design Phase.

4.3.1 After reviewing Architect's written report and Construction Manager's written report with Owner and Construction Manager, and reaching agreement upon proposed alternatives and solutions, Architect shall, within the time frames set forth in the preliminary project schedule developed pursuant to Section 4.2 of the CM Agreement and in cooperation with Construction Manager's efforts, prepare and submit to Owner a preliminary design for the Project (the "Preliminary Design"), which shall be consistent with Owner's Criteria and shall include:

- (a) A site plan that depicts each of the basic aspects of the site development for the Project including, but not necessarily limited to, the size, location, and dimensions of each structure;
- (b) Elevations that depict each exterior view of each structure;
- (c) Floor plans that depict each room within the Project and the dimensions thereof;
- (d) Preliminary specifications, together with preliminary plans architectural, electrical, mechanical, structural, engineering, and, if relevant, systems to be incorporated in the Project;
- (e) A written description of the equipment and materials to specified for the Project and the location of same; and
- (f) Any other documents or things necessary or appropriate to describe and depict the Project and illustrate the conformity of the same with Owner's Criteria.

4.3.2 Owner shall timely review and approve or disapprove the Preliminary Design. If Owner disapproves the Preliminary Design, Owner shall set forth the reasons therefor in writing. Architect shall then revise the Preliminary Design as required by the reasons for disapproval and resubmit the revised Preliminary Design to Owner for approval, which approval shall not be unreasonably withheld or delayed. This process shall repeat until Owner approves the Preliminary Design.

4.3.3 Architect shall assist Construction Manager in the preparation of the documents required under Section 4.4.1 of CM Agreement.

4.3.4 ~~If the Preliminary Price Estimate developed pursuant to Section 4.4.1(f) of the CM Agreement exceeds the Project Budget developed pursuant to Section 4.4.1(c) of the CM Agreement, Owner may require Architect, at no cost to Owner, to (i) consult with Owner and Construction Manager to identify cost saving measures and (ii) revise the Preliminary Design to reflect approved cost savings measures, as necessary to bring the Final Cost Estimate below the Maximum Price. Absent clear and convincing evidence of gross negligence, and provided Architect completes its obligations under this Section, Architect shall not be financially responsible to Owner for the failure of the Preliminary Cost Estimate to be within the Project Budget.~~

4.3.5 Prior to directing Architect to proceed with Construction Documents, Owner may establish and communicate the maximum price Owner desires to pay for the construction of the Project (the "Maximum Price").

4.4 Construction Documents Phase.

4.4.1 Upon Owner's approval of the Preliminary Design and authorization to proceed with Construction Documents, Architect shall, within the time frames set forth in the Project Schedule, prepare and submit to Owner construction documents for the Project (the "Construction Documents"). The Construction Documents shall be consistent with the Preliminary Design (as modified) and the Maximum Price. The Construction Documents shall include, but not necessarily be limited to, plans and specifications that describe with specificity all systems, elements, details, components, materials, equipment, and other information necessary for construction. The Construction Documents shall be accurate, complete, coordinated and in all respects adequate for the bidding and construction of the Project on a fixed-price, multi-prime contractor basis. The Construction Documents shall also comply with all applicable law, codes, regulations and orders of governmental authorities having jurisdiction over the Project. All products, equipment and materials specified shall be readily available in the area unless otherwise directed by Owner in writing.

4.4.2 ~~To the extent deemed necessary or appropriate by Architect, Owner shall retain an experienced, qualified geotechnical engineer at Owner's expense to evaluate the geotechnical considerations relating to the Site and Project. Architect shall design and engineer the Project in accordance with the analyses and recommendations of the geotechnical engineer.~~

4.4.3 Owner shall review and approve or disapprove the Construction Documents. If Owner disapproves the Construction Documents, Owner shall set forth the reasons therefor in writing. Architect shall then revise the Construction Documents as required by the reasons for disapproval and resubmit the revised Construction Documents to Owner for approval, which approval shall not be unreasonably withheld or delayed. This process shall repeat until Owner approves the Construction Documents.

4.4.4 If the Final Cost Estimate exceeds the Maximum Price, Owner may require Architect, at no cost to Owner, to (i) consult with Owner and Construction Manager to identify cost saving measures and (ii) revise the Construction Documents to reflect approved cost savings measures, as necessary to bring the Final Cost Estimate below the Maximum Price.

Absent clear and convincing evidence of gross negligence, and provided Architect completes its obligations under this Section, Architect shall not be financially responsible to Owner for the failure of the Final Cost Estimate to be within the Maximum Price.

4.5 Bidding Phase.

4.5.1 Architect, following Owner's approval of the Construction Documents, shall assist Owner and Construction Manager in preparing bid packages and reviewing bids for construction.

4.5.2 If the combined lowest bids from qualified bidders exceeds the Maximum Price, Owner may require Architect, at no cost to Owner and as necessary to bring bids for the Project below the Maximum Price (i) to consult with Owner and Construction Manager to identify cost saving measures, (ii) to revise the Construction Documents to reflect approved cost savings measures, and (iii) to assist Owner and Construction Manager in rebidding the Work. Absent clear and convincing evidence of gross negligence, and provided Architect completes its obligations under this Section, Architect shall not be financially responsible for the failure of the Project to bid within the Maximum Price.

4.6 Construction Phase.

During construction of the Project, from commencement of construction activities until final payment to all Contractors, Architect shall have and perform the following duties, obligations, and responsibilities:

4.6.1 Architect shall have and perform those duties, obligations and responsibilities set forth in the construction agreements between Owner and each Contractor (the "Construction Contracts"). Architect hereby acknowledges that it has received, reviewed, and studied a form that Owner intends to use for the Construction Contracts, and the same is herein incorporated by reference. Architect acknowledges that Owner may modify the Construction Contracts, and that such modified Construction Contracts shall be applicable to this Agreement; provided, however, to the extent such modified Construction Contracts are materially inconsistent with the terms of this Agreement, this Agreement shall control as between Owner and Architect.

4.6.2 Architect shall, as contemplated herein and in the Construction Contract, but not otherwise, act on behalf, and be the agent, of Owner throughout construction of the Project. Any instructions, directions or other communications from Architect to any Contractor shall be given to Contractor through Construction Manager. Architect shall copy Construction Manager on any communications to Owner.

4.6.3 Upon receipt, Architect shall carefully review and examine the each Contractor's schedule of values ("Schedule of Values"), together with any supporting documentation or data that Owner, Architect or Construction Manager may require. The purpose of such review and examination shall be to protect Owner from an unbalanced Schedule of Values that allocates greater value to certain elements of the Work than is indicated by such supporting documentation or data, or than is reasonable under the circumstances. If the Schedule of Values is not found to be appropriate, or if the supporting documentation or data is deemed to

be inadequate, and unless Owner directs Architect to the contrary in writing, the Schedule of Values shall be returned to Contractor for revision or supporting documentation or data. After making such examination, if the Schedule of Values is found to be appropriate as submitted, or if necessary, as revised, Architect shall sign the Schedule of Values thereby indicating its informed belief that the Schedule of Values constitutes a reasonable, balanced basis for payment of the Contract Price to Contractor. Architect shall not sign such Schedule of Values in the absence of such belief unless directed to do so, in writing, by Owner.

4.6.4 Architect shall promptly examine, study, approve or otherwise respond to each Contractor's shop drawings and other submittals. Architect's approval of such submittal shall constitute Architect's representation to Owner that such submittal is in general conformance with the Construction Documents.

4.6.5 Architect shall carefully observe the work of Contractor whenever, wherever, and as often as necessary, and shall, at a minimum, observe work at the Project site no less frequently than every two weeks. The purpose of such observations shall be to determine the quality and quantity of the work in comparison with the requirements of the Construction Contract. In making such observations, Architect shall help Owner identify, and attempt to protect Owner from, continuing deficient or defective work, from continuing unexcused delays in the schedule and from overpayment to Contractor. Following each observation, Architect shall submit a written report of such observation to Owner and Construction Manager together with any appropriate comments or recommendations.

4.6.6 Architect shall promptly notify Owner and Construction Manager of Work that is not in compliance with the Construction Documents, and timely recommend, in writing, the rejection of any Work that is not in compliance with the Construction Documents, unless otherwise directed by Owner in writing.

4.6.7 Architect shall require inspections and testing (and, if necessary, reinspections and retesting) of the Work where required by law or the Construction Documents.

4.6.8 Architect shall review periodic and final payment requests from Contractors predicated upon observations of the Work, as required in Section 4.6.5 above, and evaluations of Contractor's rate of progress in light of the Project Schedule. Architect shall issue payment approvals to Owner only if, and to the extent, Architect has observed the Work as pursuant to Section 4.6.5 above and that the Work for which payment is approved (i) reaches the quantities or percentages of completion shown, (ii) meets or exceeds the requirements of the Construction Documents, and (iii) Owner is obligated to pay the amount approved to such Contractor under the terms and conditions of the Construction Contract.

4.6.9 Architect shall promptly respond to requests for information and issues clarifications for any errors, omissions, conflicts or inconsistencies in the Contract Documents.

4.6.10 Architect shall promptly examine requests for change orders and advise Owner and Construction Manager regarding such requests. Upon Owner's request,

Architect shall draft Change Orders and supporting specifications, drawings, and other documentation in accordance with the Construction Contracts.

4.6.11 Based upon inspections of the Project, Architect shall certify in writing to Owner the fact that, and the date upon which, each Contractor achieves Substantial Completion of the Project and the date upon which Contractor has achieves Final Completion of the Project.

4.6.12 Architect shall review any as-built drawings furnished by Contractor and shall certify to Owner that such drawings are adequate and complete.

4.6.13 Architect shall assist Construction Manager in creating organized binders with all manuals, operating instructions, warranties, guarantees and other similar items required by the Construction Documents. Architect shall retain a set of such binders in its Project file.

4.6.14 Architect shall promptly correct any errors, omissions, inconsistencies or deficiencies in Architect's services or work product.

4.6.15 Architect shall promptly notify Owner of any claim filed by any Contractor and shall provide Owner with a timely written response to such claim.

4.6.16 Architect shall testify in any judicial proceeding concerning the design and construction of the Project, when requested in writing by Owner, and Architect shall make available to Owner any personnel or consultants employed or retained by Architect for the Project when necessary to review, study, analyze or investigate any claims, contentions, allegations, or legal actions relating to, or arising out of, the design or construction of the Project.

5. SCHEDULE

5.1 Schedule of Performance.

Architect shall commence the performance of its obligations under this Agreement upon Owner's notice to proceed and shall diligently and expeditiously continue its performance in accordance with the Project Schedule until all services hereunder have been fully completed. The time limits established by the Project Schedule are of the essence and shall not be exceeded by Architect without Owner's prior written consent or as permitted in Section 5.2 below.

5.2 Delays.

If Architect is delayed at any time in progress of its services under this Agreement by an act or neglect of Owner, or an employee of Owner, or of a separate contractor employed by Owner, or by changes in its scope of work, unavoidable casualties, or other causes beyond Architect's reasonable control or by other causes which Owner determines may justify the delay, then the Project Schedule equitably adjusted for such reasonable time as Owner may determine to be appropriate for the extent of the delay. Architect's sole right and remedy against Owner shall be an extension of time unless such delay is caused by acts of Owner constituting active

interference with Architect's performance, and only to the extent such acts continue after Architect furnishes Owner with written notice of such interference. In the event of delay from active interference by Owner, Architect's sole right and remedy shall an equitable adjustment in its compensation pursuant to Article 7 below.

6. COMPENSATION

6.1 Architect's Fee.

As full compensation for Architect's performance under this Agreement, Owner agrees to pay Architect a fee of Eight Hundred Fifty-four Thousand and No/100ths Dollars (\$854,000.00) (the "Architect's Fee"). For purposes of progress payments, Architect's compensation shall be divided into the following phases:

Development Strategies Phase	Ten Percent	(10%)
Preliminary Design Phase	Twenty Percent	(20%)
Construction Documents Phase	Forty Percent	(40%)
Bidding Phase	Five Percent	(5%)
Construction Phase	Twenty-five Percent	(25%)

6.2 Compensation for Additional Services.

If the services of Architect are changed as described in Article 7 below, Architect's Fee shall be adjusted as Owner and Architect may agree, or in the absence of agreement, on an hourly basis in accordance with the hourly rates approved by Owner in advance.

6.3 Reimbursable Expenses.

Reimbursable Expenses are in addition to Architect's Fee and shall include only the following expenditures incurred by Architect in the interest of the Project:

6.3.1 Expenses of reproductions, postage and handling of drawings, specifications and other documents, excluding reproductions for the office use of Architect and Architect's consultants;

6.3.2 Expenses of photographic reproduction techniques used in connection with providing Architect's services hereunder;

6.3.3 Other similar direct Project related expenditures approved by Owner in advance.

6.4 Payments.

6.4.1 As a condition precedent for any payment due under this Article 6, Architect shall submit to Owner a monthly application for payment no later than the tenth day of the calendar month for services properly rendered and expenses properly incurred during the preceding month. The services rendered during the previous month shall be

calculated as a percentage of each phase completed, with any services performed on an hourly basis separately itemized. Hourly services shall be described with reasonable particularity each service rendered, the date thereof, the time expended, and the persons rendering such service. The invoices shall be itemized and supported by data substantiating Architect's right to payment as Owner may require. Each invoice shall be signed by Architect, which signature shall constitute Architect's representation to Owner that (i) the services indicated in the invoice have reached the level stated and have been properly and timely performed, (ii) the expenses included in the invoice have been reasonably incurred in accordance with this Agreement or otherwise approved by Owner in writing, (iii) all obligations of Architect covered by prior invoices have been paid in full, and (iv) the amount requested is currently due and owing, there being no reason known to Architect that payment or any portion thereof should be withheld. Submission of Architect's invoice for final payment shall further constitute Architect's representation to Owner that, upon receipt by Owner of the amount invoiced, all obligations of Architect to others, including its consultants, incurred in connection with the Project, will be paid in full. During the construction phase, Architect shall present its statement of services to Owner concurrently with the approved Certificates for Payment, when possible.

6.4.2 Owner shall pay Architect sums properly invoiced within 30 days of Owner's receipt of such invoice. If payment is not made within thirty (30) days, the outstanding balance shall bear interest at the rate of .75% per month until paid.

7. CHANGES

Changes in Architect's services (not involving a cardinal change to the scope of the services) may be accomplished after the execution of this Agreement upon Owner's request or if Architect's services are affected by any of the following:

- (a) A change in the instructions or approvals given by Owner that necessitate revisions to previous approvals;
- (b) Significant change to the Project, including, but not limited to size, quality, complexity, Owner's schedule, budget or procurement method;
- (c) Architect performs additional services because of active Owner interference pursuant to Section 5.2 above, or
- (d) Preparation for and attendance at a dispute resolution proceeding or a legal proceeding except where Architect is a party thereto.

If any of the circumstances affect Architect's services, Architect shall be entitled to an equitable adjustment in the Schedule of Performance and/or Architect's Fee, as mutually agreed by Owner and Architect. Prior to providing any additional services, Architect shall notify Owner of the proposed change in services and receive Owner's approval for the change. Except for a change due to the fault of Architect, a change shall entitle Architect to an equitable adjustment in the Schedule of Performance and Architect's Fee as mutually agreed by Owner and Architect. In the event Owner and Architect are unable to agree upon the equitable adjustment to Architect's Fee, the services shall be performed on a "time and materials" basis in accordance with Architect's standard hourly rate schedule and standard reimbursable expenses, approved by Owner.

8. CLAIMS.

8.1 Claims.

In the event that any claim, dispute or other matter in question between Owner and Architect arising out of or related to this Agreement or the breach hereof (a "Claim"), Owner and Architect shall first endeavor to resolve the Claim through direct discussions. Claims must be initiated by written notice. The responsibility to substantiate Claims rests with the party making the Claim. Except as otherwise agreed in writing, Architect shall continue to diligently perform its obligations under this Agreement and Owner shall continue to make payments in accordance with this Agreement pending the final resolution of any Claim. Architect acknowledges that Owner's ability to evaluate a Claim depends in large part on Owner being able to timely review the circumstances of the Claim. Therefore, Architect agrees that it shall submit a Claim to Owner by written notice no later than twenty-one (21) calendar days after the event or the first appearance of the circumstances giving rise to the Claim, and that such written notice shall set forth in detail all facts and circumstances supporting the Claim.

8.2 Mediation.

All Claims shall be subject to mediation as a condition precedent to the institution of legal or equitable proceedings by either party. Request for mediation shall be filed in writing with the other party to this Agreement. The request may be made concurrently with the filing of a legal or equitable proceeding but, in such event, mediation shall proceed in advance of legal or equitable proceedings, which shall be stayed pending mediation for a period of 60 days from the date of filing, unless stayed for a longer period by agreement of the parties or court order. The parties shall endeavor to mutually agree on an independent, professional mediator within 15 days of the request for mediation. The parties shall endeavor to have the mediation completed within 60 days of the request for mediation. The parties shall share the mediator's fee and any filing fees equally. The mediation shall be held in the place where the Project is located, unless another location is mutually agreed upon. Agreements reached in mediation shall be enforceable as settlement agreements in any court having jurisdiction thereof. Owner and Architect agree that all parties with an interest in a Claim being mediated may be included in the mediation, including, but not limited to, Construction Manager and Contractors.

9. SUSPENSION AND TERMINATION

9.1 Suspension by Owner For Convenience.

Owner may order Architect in writing to suspend, delay, or interrupt the performance of this Agreement, or any part thereof, for such period of time as Owner may determine to be appropriate for its convenience and not due to any act or omission of Architect. In that event, Architect shall immediately suspend, delay or interrupt the performance of this Agreement, or that portion of this Agreement, as ordered by Owner. On the resumption of Architect's services, Architect's Fee and Project Schedule shall be equitably adjusted for reasonable costs and delay resulting from any such suspension.

9.2 Termination by Owner for Convenience.

Upon written notice to Architect, Owner may, without cause, terminate this Agreement. Architect shall follow Owner's instructions regarding shutdown and termination procedures, strive to mitigate all costs and stop the performance of its services. Upon such termination, Architect shall invoice Owner for all services actually performed and any reasonable costs or expenses incurred by Architect in connection with the termination (such as services necessary to shutdown performance), but not lost profits, unabsorbed overhead or lost opportunity).

9.3 Termination by Owner for Cause.

If Architect fails to fully and faithfully perform its duties and responsibilities under this Agreement, Owner may give Architect written notice of such failure and Owner's intent to terminate Architect's services if Architect fails to commence and diligently continue satisfactory correction of such failure within ten (10) days. If Architect fails to commence and diligently continue satisfactory correction of the failure within such 10-day period, Owner may terminate Architect's services by written notice. Upon such termination, Architect shall not be entitled to receive further payment until the Project is finished. If the unpaid balance of Architect's Fee exceeds costs of finishing Architect's services and other damages incurred by Owner, such excess shall be paid to Architect. If such costs and damages exceed the unpaid balance, Architect shall pay the difference to Owner.

9.4 Termination by Architect.

Upon fourteen (14) days' prior written notice to Owner, Architect may terminate this Agreement if (i) the progress of the Project has been suspended by Owner for convenience for a period of ninety (90) days through no fault of Architect; (ii) Owner fails to pay Architect in accordance with this Agreement and Architect has not defaulted; or (iii) Owner otherwise breaches this Agreement or fails to perform its duties and responsibilities under this Agreement and Owner has failed to cure the breach or failure to perform within thirty (30) days after Architect provides written of the breach or failure to perform to Owner. Upon such termination, Architect shall invoice Owner for all services actually performed and any reasonable costs or expenses incurred by Architect in connection with the termination (such as services necessary to shutdown performance), but not lost profits, unabsorbed overhead or lost opportunity).

10. GENERAL PROVISIONS

10.1 Ownership of Design and Work Product.

10.1.1 Architectural Design. Owner and Architect agree that Owner is developing, with the assistance of Architect, an architectural design theme for the Project (the "Architectural Design"). Architect acknowledges and agrees that Architectural Design is being developed for Owner and Owner shall be deemed to be Owner of all common law, statutory and other reserved rights thereto, subject to the provisions of Sections 10.1.3 and 10.1.4 below.

10.1.2 Work Product. Architect will document and implement Architectural Design into drawings, sketches, renderings, calculations, specifications and other

documents, including those in electronic form, prepared by Architect and Architect's consultants (the "Work Product"). Architect acknowledges and agrees that the Work Product is being developed for Owner and Owner shall be deemed Owner of all common law, statutory and other reserved rights thereto, subject to the provisions of Sections 10.1.3 and 10.1.4 below. Architect may reproduce and distribute the Work Product as necessary to perform its services on the Project.

10.1.3 Modification and Reuse by Owner. Owner understands that the Work Product is an expression of Architectural Design and instruments of Architect's services for the Project, not products. Owner understands and agrees that the Work Product has been prepared for this Project only and are not suitable for reuse on other projects without first being reviewed and/or modified by an appropriately credentialed design professional, who shall then take responsibility for the accuracy and completeness thereof. Owner shall have the right to transfer and reuse the Work Product; provided, however, in such event Owner agrees to indemnify Architect against claims arising from any reuse of, or alterations made to, the Work Product not authorized by Architect.

10.1.4 Modification and Reuse by Architect. Architect shall have the right to retain and make copies of the Work Product and to reuse any of the constituent parts of Architectural Design or Work Product on any other project, except for any unique or distinctive architectural components or effects, which taken independently or in combination, would produce a project with substantially similar or distinct features.

10.1.5 Architect's Consultants. Architect agrees that all consultants retained by Architect to provide any services on the Project shall expressly agree in writing to be bound by the terms of this Section 10.1 to the same extent as Architect.

10.2 Insurance.

10.2.1 Errors and Omissions Liability. Architect shall provide errors and omissions liability insurance on an aggregate limits "claims made" basis in an amount not less than Two Million Dollars (\$2,000,000). Architect shall either (i) maintain the specified levels of aggregate limits "claims made" insurance for no less than three years after completion or termination of Architect's services under this Agreement, or (ii) provide tail coverage for claims, demands or actions reported within six (6) years after completion or termination of Architect's services under this Agreement for acts or omissions during the term of this Agreement.

10.2.2 General Commercial Liability. Architect shall maintain at all times commercial general liability insurance and excess liability coverage on occurrence form basis (standard, unmodified) with products and completed operations coverage in an amount not less than One Million Dollars (\$1,000,000) per occurrence and Two Million Dollars (\$2,000,000) annual aggregate.

10.2.3 Worker's Compensation. Architect will maintain at all times such worker's compensation and employer's liability coverage insurance as required by the laws of the State in which the Project is located and any other state in which Architect or its

employees perform services for Owner. The policy must be endorsed to include a waiver of subrogation.

10.2.4 Additional Insureds. Upon Owner's request, Architect shall have Owner and Owner's lender, if any, named as additional insureds under all of Architect's liability insurance policies (not including errors and omissions and workers' compensation insurance).

10.2.5 Certificates of Insurance. Architect shall provide certificates of insurance issued by the insurer to Owner for each policy required under this Section 10.1 and, if requested by Owner, copies of each insurance policy. Each certificate issued to Owner shall contain the following covenant of the issuer: "Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will mail 30 days written notice to the certificate holder."

10.2.6 Architect's Consultants. Architect shall require its consultants to maintain at all times insurance coverages consistent with the consultant's role on the Project and reasonably acceptable to Owner.

10.3 Recitals and Exhibits.

The recitals above and the exhibits referred to in this Agreement and attached hereto are incorporated into the agreement as if set out in full in the body of the Agreement. In the event of a conflict between any exhibit and the body of this Agreement, the Agreement shall control.

10.4 Counterparts; Facsimile Transmission.

This agreement may be executed in counterparts, each of which shall be deemed to be an original, but all of which, taken together, shall constitute but one and the same agreement. Delivery of an executed counterpart of a signature page to this agreement via facsimile transmission shall be as effective as delivery of an original signed copy, provided that an original signed copy shall be delivered to the party entitled thereto within five (5) business days after such facsimile transmission.

10.5 Attorneys' Fees.

In the event of any controversy, claim or action being filed or instituted between the parties to this agreement to enforce the terms and conditions of this agreement or arising from the breach of any provision hereof, the prevailing party will be entitled to receive from the other party all costs, damages, and expenses, including reasonable attorneys' fees, incurred by the prevailing party, whether or not such controversy or claim is litigated or prosecuted to judgment. The prevailing party will be that party who was awarded judgment as a result of trial and determined by a judge as the prevailing party.

10.6 Governing Law.

This agreement shall be governed by the laws, including conflicts of laws, in the State of Idaho as an agreement between residents of the State of Idaho and to be performed within the State of Idaho.

10.7 Venue.

As a material part of the consideration for this agreement, each of the parties hereto agrees that in the event any legal proceeding shall be instituted between them, such legal proceeding shall be instituted in the courts of Ada County, State of Idaho, and each of the parties hereto agrees to submit to the jurisdiction of such courts.

10.8 Grammatical Usage.

In construing this agreement, feminine or neuter pronouns shall be substituted for those masculine in form and vice versa, plural terms shall be substituted for singular and singular for plural in any place in which the context so requires, and the word "including" shall be construed as if the words "but not limited to" appear immediately thereafter.

10.9 Binding Effect.

This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, legal representatives, successors and assigns. Architect shall not assign its rights hereunder, nor shall it delegate any of its duties hereunder, without the written consent of Owner. Owner may assign this Agreement to any affiliated entity or to any lender providing construction financing without Architect's prior written consent. Architect agrees to execute all consents reasonably required to facilitate such an assignment. If either party makes such an assignment, that party shall nevertheless remain legally responsible for all obligations under this Agreement, unless otherwise agreed by the other party.

10.10 Headings.

The headings contained in this agreement are for reference purposes only and shall not in any way affect the meaning or interpretation hereof.

10.11 Additional Acts.

Except as otherwise provided herein, in addition to the acts and deeds recited herein and contemplated to be performed, executed and/or delivered by the parties, the parties hereby agree to perform, execute and/or deliver or cause to be performed, executed and/or delivered any and all such further acts, deeds and assurances as any party hereto may reasonably require to consummate the transaction contemplated hereunder.

10.12 Time of Essence.

All times provided for in this agreement, or in any other document executed hereunder, for the performance of any act will be strictly construed, time being of the essence.

10.13 Notice.

All notice between the parties shall be deemed received when personally delivered or when deposited in the United States mail postage prepaid, registered or certified, with return receipt requested, or sent by telegram or mail-o-gram or by recognized courier delivery (e.g. Federal Express, Airborne, Burlington, etc.) addressed to the parties, as the case may be, at the address set forth below or at such other addresses as the parties may subsequently designate by written notice given in the manner provided in this Section:

Owner: To be determined by Owner. Upon Owner's selection of its authorized representative, Owner will provide Architect the name and contact information for such representative.

With a copy to: Office of the City Clerk
City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642-2300
Telephone: 208-888-4433
Facsimile: 208-884-8119
Email: bergw@meridiancity.org

City Attorney's Office
City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642-2300
Telephone: 208-898-5506
Facsimile: 208-884-8723
Email: bairdt@meridiancity.org

Architect: Steve Simmons
LCA Architects, P.A.
1221 Shoreline Lane
Boise, Idaho 83702
Telephone: 208-345-6677
Facsimile: 208-344-9002
Mobile: 208-830-4122
Email: ssimmons1@lcarch.com

With a copy to: Russell Moorhead
LCA Architects, P.A.
1221 Shoreline Lane
Boise, Idaho 83702
Telephone: 208-345-6677
Facsimile: 208-344-9002
Mobile: 208-830-4166
Email: rmoorhead@lcarch.com

10.14 Rights and Remedies Cumulative.

Except as otherwise expressly stated in this Agreement, the rights and remedies of the parties are cumulative, and the exercise by any party of one or more of such rights or remedies shall not preclude the exercise by it, at the same time or different times, of any other rights or remedies for the same default or any other default by the other party. In the event of a default, the parties have all of the rights and remedies afforded in law or in equity, except as provided herein to the contrary.

10.15 Third-Party Beneficiaries.

Nothing contained herein shall create any relationship (contractual or otherwise) with, or any rights in favor of, any third party. Architect's duties and responsibilities shall not relieve any other party, including Construction Manger and Contractors, from their duty to fully and faithfully perform their contractual and other obligations to Owner.

10.16 Integration; Waivers.

This is the entire agreement between the parties with respect to the matters covered herein and supersedes all prior agreements between them, written or oral. This Agreement may be modified only in writing signed by both parties. Any waivers hereunder must be in writing. No waiver of any right or remedy in the event of default hereunder shall constitute a waiver of such right or remedy in the event of any subsequent default.

10.17 Severability.

If any term or provision of this agreement shall, to any extent be determined by a court of competent jurisdiction to be invalid or unenforceable, the remainder of this agreement shall not be affected thereby, and each term and provision of this agreement shall be valid and be enforceable to the fullest extent permitted by law; and it is the intention of the parties hereto that if any provision of this agreement is capable of two constructions, one of which would render the provision void and the other of which would render the provision valid, the provision shall have the meaning which renders it valid.

[end of text]

The parties have executed this Agreement effective as of the date first set forth above.

"Owner"

CITY OF MERIDIAN,
an Idaho municipal corporation

By: Tammy de Weerd
Tammy de Weerd
Mayor

Date: 7-11-06

ATTEST:

Approved by City Council 7-11-06

William G. Berg, Jr.
William G. Berg, Jr.
City Clerk

Date: 7-11-06

"Architect"

LCA ARCHITECTS, P.A.,
an Idaho professional corporation

By: Steve Simmons
Steve Simmons, President

Date: 7/11/06



Meridian City Hall
Meridian, Idaho
12-Jul-07



		Phase II Bids 4/3/2007	Phase III Bids 7/12/2007
Fixtures and Equipment			
1	Fixtures & Equipment		
2	Demountable Walls (Options to \$1.163 Million)	In Total Below	In Total Below
Soft Costs		Phase II Bids 4/3/2007	Phase III Bids 7/12/2007
1	City Fees - Preapplication Meeting		
2	City Fees - Conditional Use		
3	City Fees - Plan Check		
4	City Fees - Bldg Permit		
5	City Fees - Water & Sewer Connection		
6	City Fees - Outside/Specialty Consultant Plan Ck		
7	ACHD Impact Fees		
8	Local Fire Department Review		
9	DEQ Plan Review		
10	Idaho Power		
11	Union Pacific		
12	Advertisement for Bids		
13	Soil and Geotechnical Report		
14	Survey Work (Design)		
15	Bid Document Costs - Reproduction & Postage		
16	Bond Counsel		
17	Bond Rating (Bond Issuance Cost)		
18	Fiscal Agent		
19	Architectural Programing / Schematic Design		
20	Architecural Design Development-Const. Administration		
21	Architectural Reimbursables		
22	Specialty Consultant-Commissioning Engineer		
23	Specialty Consultant-Traffic Study		
24	Specialty Consultant-Misc.		
25	Legal Counsel		
26	Insurance Costs-Builders Risk		
27	Contingency for Soft Costs		
	Total Soft Costs		
Construction Mgmt & Site Acquisition Costs		Phase II Bids 4/3/2007	Phase III Bids 7/12/2007
1	Bid Phase I - Asbestos & Demolition	\$426,357	\$426,357
2	Contaminated Soil Abatement	\$290,500	\$422,000
2a	Contaminated Soils CM FEE	-	\$51,658
3	Reimbursables - Construction	\$279,812	\$279,812
4	Construction Management Fee	\$574,000	\$574,000
	Total CM & Site Acquisition Cost	\$1,570,669	\$1,753,827
Construction Costs		Phase II Bids 4/3/2007	Phase III Bids 7/12/2007
1	Bid Phase II - Core & Shell	\$5,836,369	\$5,836,369
1a	Phase II General Conditions Budget	\$181,029	\$181,029
2	Bid Phase III - MEP's & Tenant Improvement	\$9,180,852	\$9,774,832
2a	Phase III General Conditions Budget	\$181,029	\$181,029
3	Bid Phase IV - Site & Plaza	\$1,500,000	\$1,500,000
4	Construction Contingency 5%	\$825,861	\$855,560
5	LEED Certification Costs	-	\$205,000
	Value Engineering	-\$800,000	?
	Total Construction Cost	\$16,905,140	\$18,533,819
TOTAL PROJECT COSTS			
	Total Project Cost before Alternates	\$0	\$0
		\$18,475,809	\$20,287,646

From: Jon Kruck [kruckj@mti-id.com]
Sent: Monday, July 09, 2007 9:10 AM
To: Wesley Bettis Jr.
Cc: David Cram; Jon Anderson; Adam Johnson
Subject: RE: Meridian City Hall Contaminated Soils Abatement
Thank You!

I appreciate your words of praise and look forward to working with you again in the future. Hopefully it will be on a project that is a little less complex!!
Thanks for all your efforts on the project as well. Projects are much easier when you have a good team (PETRA) to work with as MTI did!! Keep up the good work, and I will let you know when we receive any comments from IDEQ.

Thanks again!

Jon Kruck, C.E.M.
Environmental Project Manager
Materials Testing & Inspection
2791 S. Victory View Way
Boise, Idaho 83709

t: 208.376.4748
t: 877.947.2411
f: 208.322.6515
m: 208.870.4631
e: kruckj@mti-id.com
w: www.mti-id.com

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. This communication represents the originator's personal views and opinions, which do not necessarily reflect those of Materials Testing & Inspection. If you have received this email in error, please notify catchall@mti-id.com.

"Assuring the Strength, Safety, and Security of Your Future"

Idaho | Montana | Nevada | Oregon | Utah | Washington | Wyoming

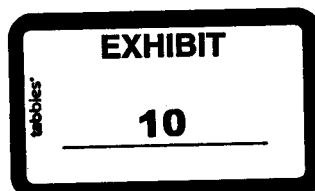
From: Wesley Bettis Jr. [mailto:wbettis@petrainc.net]
Sent: Friday, July 06, 2007 4:50 PM
To: Jon Kruck
Cc: David Cram; Jon Anderson; Adam Johnson
Subject: Meridian City Hall Contaminated Soils Abatement

07-06-07

Jon:

Thank you for a stand-up effort on behalf of the City of Meridian and Petra, Inc. Your professionalism and patience in working on a difficult site and educating the neophytes (myself included) has been greatly appreciated. I personally have enjoyed your insight and knowledge as we worked through all the permutations that this surprising site delivered to us on a daily basis. Thanks. ww

WESLEY W. BETTIS, JR



002603
Petra82273

Sr. Project Manager

PETRA Incorporated

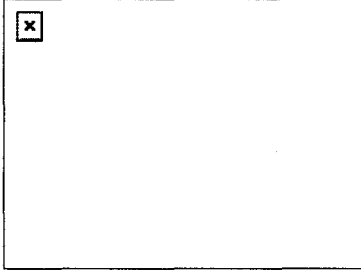
1097 N. Rosario St.

Meridian, ID 83642

Direct Phone: 208.493.2747 Front Desk 208.323.4500

Direct Fax: 208.493.2747 Main Fax: 208.323.4507

Email: wbettis@petrainc.net



Date: 11/02/2009
Time: 08:41:05 AM

AGED A/R-BY JOB

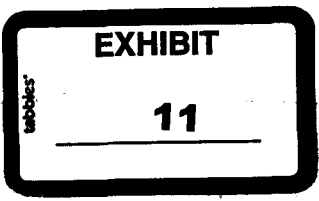
Report Code: 58.83
Page: 1

Company No. 1 PETRA Incorporated

Printing: A/R Detail and Retention at end of Period 11, 2009 Invoices Aged From 11/02/09

All Customers Jobs 060675 thru 060675 All Job Categories

CUSTOMER	INVOICE DATE	INVOICE	0 to 30 DAYS	31 to 60 DAYS	61 to 90 DAYS	over 90 DAYS	TOTAL RECEIVABLE
060675 Meridian City Hall							
Job Total			0.00	0.00	0.00	74,877.25	74,877.25
		Total Selected Jobs	0.00	0.00	0.00	74,877.25	74,877.25



Date: 11/03/2009
Time: 03:57:37 PM

AGED A/R-BY JOB

Report Code: 58.83
Page: 1

Company No. 1 PETRA Incorporated

Printing: A/R Detail and Retention at end of Period 11, 2009 Invoices Aged From 11/03/09
All Customers Jobs 060675 thru 060675 All Job Categories

CUSTOMER	INVOICE DATE	INVOICE DATE	0 to 30 DAYS	31 to 60 DAYS	61 to 90 DAYS	over 90 DAYS	TOTAL RECEIVABLE
060675 Meridian City Hall							
MERCIT City of Meridian	0001921	07/31/08	0.00	0.00	0.00	5,842.00	5,842.00
MERCIT City of Meridian	0002009	11/10/08	0.00	0.00	0.00	21,245.50	21,245.50
MERCIT City of Meridian	0002032	12/10/08	0.00	0.00	0.00	22,539.93	22,539.93
MERCIT City of Meridian	0002050	01/07/09	0.00	0.00	0.00	5,408.03	5,408.03
MERCIT City of Meridian	0002073	02/05/09	0.00	0.00	0.00	3,132.50	3,132.50
MERCIT City of Meridian	0002098	04/09/09	0.00	0.00	0.00	15,225.79	15,225.79
MERCIT City of Meridian	0002105	05/06/09	0.00	0.00	0.00	1,483.50	1,483.50
Job Total			0.00	0.00	0.00	74,877.25	74,877.25
Total Selected Jobs			0.00	0.00	0.00	74,877.25	74,877.25

Date: 11/03/2009
 Time: 03:59:07 PM

AGED A/P - BY JOB

Report Code: 38.83
 Page: 1

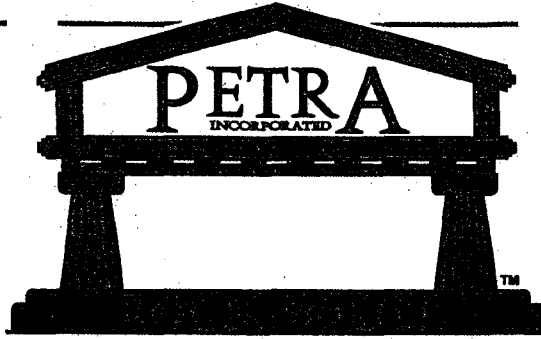
Company No. 1 PETRA Incorporated

Printing: A/P Detail and Retention at end of Period 11, 2009

All Vendors

Jobs 060675 thru 060675 Invoices Aged by Invoice Date as of 11/03/09

VENDOR	INVOICE #	INVOICE DATE	DUE DATE	0 to 30 DAYS	31 to 60 DAYS	61 to 90 DAYS	over 90 DAYS	TOTAL PAYABLE		
060675 Meridian City Hall										
ACDS	ACDS, Inc.	*HOLD	08-959	11/25/08	12/15/08	0.00	0.00	0.00	465.00	465.00
AMEWAL	American Wallcovere*	HOLD	081212	12/12/08	01/10/09	0.00	0.00	0.00	1,384.60	1,384.60
ARCBUI	Architectural Build*	HOLD	060675A	04/28/09	05/10/09	0.00	0.00	0.00	117.50	117.50
	Architectural Build*	HOLD	52911	11/14/08	12/10/08	0.00	0.00	0.00	276.07	276.07
	Architectural Build*	HOLD	53972	01/12/09	02/10/09	0.00	0.00	0.00	2,232.50	2,232.50
ARCBUI	Vendor Subtotal					0.00	0.00	0.00	2,626.07	2,626.07
AXECON	Axelsen Concrete Co*	HOLD	081014	10/14/08	04/10/09	0.00	0.00	0.00	1,295.00	1,295.00
BOISME	Boise Metal Works	*HOLD	8371	12/23/08	01/22/09	0.00	0.00	0.00	600.00	600.00
CENLEA	Centurion Leasing, Inc.		0910y	10/01/09	11/10/09	0.00	31.79	0.00	0.00	31.79
	Centurion Leasing, Inc.		0910z	10/01/09	11/10/09	0.00	25.32	0.00	0.00	25.32
CENLEA	Vendor Subtotal					0.00	57.11	0.00	0.00	57.11
COBCON	Cobblestone Constru*	HOLD	1341	10/17/08	11/16/08	0.00	0.00	0.00	435.00	435.00
COMPAI	Commercial Painting*	HOLD	3423	11/10/08	12/10/08	0.00	0.00	0.00	15,143.60	15,143.60
	Commercial Painting*	HOLD	3536	03/03/09	04/02/09	0.00	0.00	0.00	1,483.50	1,483.50
COMPAI	Vendor Subtotal					0.00	0.00	0.00	16,627.10	16,627.10
ENTELE	Enterprise Electric*	HOLD	1232	10/14/08	11/10/08	0.00	0.00	0.00	297.50	297.50
HASCON	Hastings Concrete P*	HOLD	29653	09/16/08	10/10/08	0.00	0.00	0.00	782.50	782.50
HOBFAB	Hobson Fabricating	*HOLD	0039293	09/18/08	04/10/09	0.00	0.00	0.00	568.24	568.24
IDACUS	Idaho Custom Wood P*	HOLD	12975	10/27/08	11/10/08	0.00	0.00	0.00	2,944.87	2,944.87
SEALCO	Seal Co	*HOLD	090330	03/30/09	04/10/09	0.00	0.00	0.00	125.00	125.00
SIGNOW	Signs Now- Fairview		35651	10/15/09	11/01/09	399.29	0.00	0.00	0.00	399.29
SUNLAN	Sunshine Landscape,*	HOLD	29016	12/19/08	01/18/09	0.00	0.00	0.00	405.45	405.45
TERWES	Terra West, Inc.	*HOLD	081108	11/10/08	12/10/08	0.00	0.00	0.00	1,210.00	1,210.00
	Terra West, Inc.	*HOLD	081109	11/10/08	12/10/08	0.00	0.00	0.00	200.00	200.00
	Terra West, Inc.	*HOLD	081110	11/10/08	12/10/08	0.00	0.00	0.00	1,600.00	1,600.00
TERWES	Vendor Subtotal					0.00	0.00	0.00	3,010.00	3,010.00
TRISTA	Tri-State Electric,*	HOLD	6514	10/07/08	11/10/08	0.00	0.00	0.00	11,937.87	11,937.87
Job Total						399.29	57.11	0.00	43,504.20	43,960.60
Total Selected Jobs						399.29	57.11	0.00	43,504.20	43,960.60



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

November 5, 2007

Via: Hand Delivery

Mr. Keith Watts, Purchasing Agent
City of Meridian
33 E Idaho St.
Meridian, ID 83642

RE: Notice of Intent to submit formal Change Order Request.

Keith:

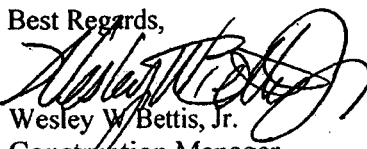
This letter is a Notice of Intent for Petra Incorporated to submit a formal Change Order Request to the City of Meridian for additional Construction Management Fee and additional Project Engineer compensation in accordance with the terms and conditions of the Construction Management Agreement between the City of Meridian and Petra Incorporated for the Meridian City Hall project.

In accordance with Article 7 (b) of the "Agreement Between Owner and Construction Manager", Petra is requesting additional Construction Management Fee for significant changes to the project size, complexity and budget. The project size has increased from 80,000 SF to 100,000 SF with a full basement. The corresponding budget has increased from \$12.2 Million to a current estimate of \$ 19.6 Million, which does not include the site development costs of contaminated and unsuitable soil removal, replacement with structural fill material and the associated CM Fee to manage this site preparation scope of work. The contract CM fee was based on \$ 12.2 Million at 4.7%. The additional fee is based on the difference of contract values, \$ 7.4 Million at 4.7% with a Phase IV-Plaza & Site Improvements budget of \$1.5 Million or a total fee increase of \$347,800.00

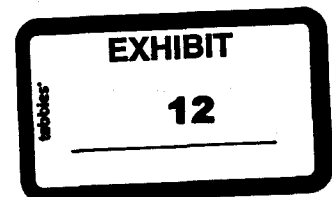
Additionally, in accordance with Article 7 (b), as noted above, the construction Manager is requesting additional reimbursable expenses for the Project engineer due to the increased size, complexity and budget in the Project that requires additional man hours for the Project engineer on the project from the contract of 64 hours/month for 18 months to 94 hours/month for the final 12 months of the project. This reflects an additional 10 hours/month for 12 months at the contract rate of \$45.90/hour. or \$ 5,508.00.

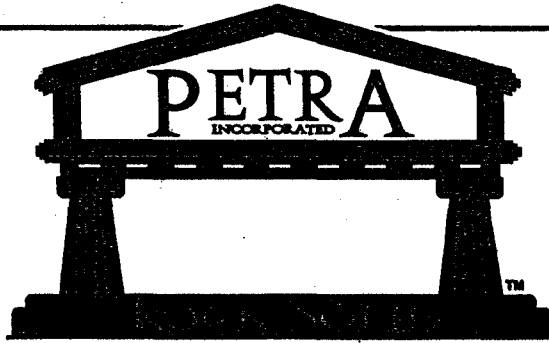
No additional general condition reimbursable or temporary expenses will be requested as a part of this Change Order Request, as the scheduled completion date is still within the contract timeline and no additional expenses will be incurred as a part of this change. A formal Change Order Request will be forwarded once Phase IV—Plaza and Site Improvements bids the end of this month and a final construction budget is developed.

Best Regards,


Wesley W. Bettis, Jr.
Construction Manager

RFP No 1, Item 4





GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

April 04, 2008

Mr. Keith Watts, Purchasing Agent
City of Meridian
33 East Idaho Avenue
Meridian, ID 83642-2300

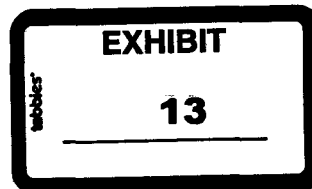
RE: Change Order Request – Construction Management Fee Increase
Meridian City Hall Project

Dear Keith:

Attached for the City of Meridian's review and consideration is proposed Change Order No 2 for additional Construction Management Fee in accordance with the terms and conditions of the Construction Management Agreement between the City of Meridian and Petra, Inc for the Meridian City Hall project.

As we had indicated in our letter of November 5, 2007 it has been Petra, Inc intent to submit a change order for additional fee as a result of the cumulative scope changes now that the construction budget for the Plaza has been finalized. In accordance with Article 7(b) of the construction management agreement Petra is requesting the additional fee for the significant changes to the project size, complexity and budget that have occurred since the entail agreement was executed. The project size has increased from 80,000 SF to 104,000 SF. The complexity of the project has increased considerably as demonstrated by the significant number of changes to the construction documents through ASI's, RFI's & PR's. To accommodate the changes and clarifications the budget has increased from \$12,200,000 to \$20,421,103, resulting in a net increase to the budget of \$8,221,103. This increase does not include the site development costs for the removal and replacement of the contaminated and unsuitable materials and the fee associated with that work. Petra is requesting an increase of \$376,808 in the construction management fee. The fee increase amount has been included in the budget previously. The attached change order and the associated backup show how this increase has been calculated.

RFP No 1, Item 5



*MCH
owner
CO FILE*

Petra is not requesting an additional reimbursable expense or general conditions reimbursables as part of this change order. At this time we believe sufficient funds are available to cover these cost thru the contract completion date.

If you have any questions regarding this item please contact me. Thank you for your consideration.

Sincerely,



Tom Coughlin
Project Manager
PETRA INCORPORATED

cc:

Attch: CO#02 with Backup

CITY OF MERIDIAN
 33 EAST IDAHO
 MERIDIAN, ID 83642

CHANGE ORDER NO. 02
PROJECT NO. CH-06-001
DATE: 4/04/08
EFFECTIVE DATE:

CONTRACT CHANGE ORDER

CONSTRUCTION MANAGER: PETRA, INC
PROJECT: MERIDIAN CITY HALL - Construction Management

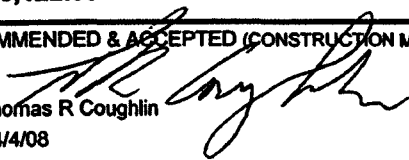
The Contractor is hereby directed to make the following changes from the Contract Documents and Plans.

Description: Increase the amount of the Construction Management Fee in accordance with Article 7(b) of the of the "Agreement Between Owner and Construction Manager" as a result of significant changes to the project size complexity and budget. The project size has increased from 80,000 SF to 100,000 SF. The complexity of the project has increased considerably as demonstrated by the significant number of changes to the construction documents through ASI's, RFI's & PR's. To accommodate the changes the building budget has increased from \$12,200,000 to \$ 20,421,103. This results in a net increase of \$8,221,103 to the budget. Using the contract CM rate of 4.7% on the budget increase yields a total fee increase of \$ 386,392. Petra had included a fee increase of \$ 376,808 in the budget projections and will accept that amount

ALL OTHER TERMS AND CONDITIONS REMAIN THE SAME.

Reason for Change Order: Increases in project size, complexity and cost.

Attachments: Petra worksheet dated 4/3/08. showing how the fee increase was calculated.

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIMES:
Original Contract Price \$ 853,812	Original Contract Times: Substantial Completion 8/28/08
Net changes form previous Change Orders No. 01 to --- \$52,502.00	Net changes form previous Change Orders No. ___ to ___ (calendar days) None
Contract Price Prior to this Change Order: \$906,314.00	Contract Times prior to this Change Order: (calendar days or date) 8/28/2008
Net Increase (decrease) of this Change Order: \$376,808.00	Net Increase (decrease) of this Change Order: (calendar days or date) None
Contract Price with all Approved Change Orders: \$1,283,122.00	Contract Times with all Approved Change Orders: (calendar days) Substantial Completion 8/28/2008
RECOMMENDED & ACCEPTED (CONSTRUCTION MANAGER)  By: Thomas R Coughlin Date: 4/4/08	ACCEPTED: (CONTRACTOR) -- NOT APPLICABLE -- By: Date:
APPROVED: (CITY PURCHASING AGENT) By: Keith Watts Date:	COUNCIL APPROVAL Date:
APPROVED: (CITY) - By: Mayor Tammy de Weerd Date:	ATTEST: By: City Clerk, Jaycee Holman Date:

CITY OF MERIDIAN
 33 EAST IDAHO
 MERIDIAN, ID 83642

CHANGE ORDER NO. 02
PROJECT NO. CH-06-001
DATE: 4/04/08
EFFECTIVE DATE:

CONTRACT CHANGE ORDER

CONSTRUCTION MANAGER: PETRA, INC
PROJECT: MERIDIAN CITY HALL - Construction Management

The Contractor is hereby directed to make the following changes from the Contract Documents and Plans.

Description: Increase the amount of the Construction Management Fee in accordance with Article 7(b) of the of the "Agreement Between Owner and Construction Manager" as a result of significant changes to the project size complexity and budget. The project size has increased from 80,000 SF to 100,000 SF. The complexity of the project has increased considerably as demonstrated by the significant number of changes to the construction documents through ASI's, RFI's & PR's. To accommodate the changes the building budget has increased from \$12,200,000 to \$ 20,421,103. This results in a net increase of \$8,221,103 to the budget. Using the contract CM rate of 4.7% on the budget increase yields a total fee increase of \$ 388,392. Petra had included a fee increase of \$ 376,808 in the budget projections and will accept that amount

ALL OTHER TERMS AND CONDITIONS REMAIN THE SAME.

Reason for Change Order: Increases in project size, complexity and cost.

Attachments: Petra worksheet dated 4/3/08. showing how the fee increase was calculated.

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIMES:
Original Contract Price \$ 853,812	Original Contract Times: Substantial Completion 8/28/08
Net changes form previous Change Orders No. 01 to -- \$52,502.00	Net changes form previous Change Orders No. ___ to ___ (calendar days) None
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Net Increase (decrease) of this Change Order: \$376,808.00	Net Increase (decrease) of this Change Order: (calendar days or date) None
Contract Price with all Approved Change Orders: \$1,283,122.00	Contract Times with all Approved Change Orders: (calendar days) Substantial Completion 8/28/2008
RECOMMENDED & ACCEPTED (CONSTRUCTION MANAGER) By: Thomas R Coughlin Date: 4/4/08	ACCEPTED: (CONTRACTOR) -- NOT APPLICABLE -- By: Date:
APPROVED: (CITY PURCHASING AGENT) By: Keith Watts Date:	COUNCIL APPROVAL Date:
APPROVED: (CITY) - By: Mayor Tammy de Weerd Date:	ATTEST: By: City Clerk, Jaycee Holman Date:

PETRA INC

4/3/08

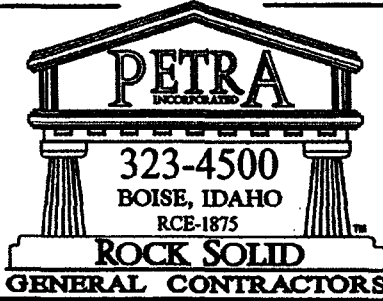
**Change Order Request
Construction Management Fee Increase Worksheet**

Current Building Construction Budget	\$	20,473,605
Not including site development costs for removal of contaminated and unsuitable material, replacement with structural fill.		
Deduct CM Fee for Site Development	\$	(52,502)
	\$	<u>20,421,103</u>
Original Project Budget	\$	12,200,000
Budget Increase	\$	<u>8,221,103</u>
Original Contract CM Fee - 4.7% of Original Budget	\$	574,000
CO#01 - CM Fee on Cominated/Unsuit Matl	\$	52,502
Requested Fee Increase -	\$	<u>376,808</u>
4.7% of Budget Increase, \$ 8,221,103 is \$ 386,392. Budget Projections have included \$ 376,808 for the fee increase, Petra will use that amount.		
Total Revised CM Fee	\$	<u>1,003,310</u>

Original Contract Amount		
Construction Managers Fee	\$	574,000
Reimbursable Expenses		
PreConstruction Phase Services	\$	29,818
Construction Phase Services	\$	249,994
	\$	<u>853,812</u>
Approved Change Orders		
Change Order #01 - CM Fee on Contaminated Matl Repl	\$	52,502
Current Contract Amount	\$	<u>906,314</u>
Proposed Change Orders		
Change Order #02 - Add'l CM Fee for Budget Increase	\$	376,808
TOTAL CONTRACT AMOUNT	\$	<u>1,283,122</u>

002613

Petra92434



PROPOSED CHANGE ORDER
No. 00002

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

TITLE: Construction Mgmt Fee
PROJECT: Meridian City Hall
TO: Attn: Keith Watts
 City of Meridian
 33 E Idaho Avenue
 Meridian, ID 83642
 Phone: 888.4433 Fax: 887.4813

DATE: 4/3/2008
JOB: 060675
CONTRACT NO: 1

RE: To: From: Number:

DESCRIPTION OF PROPOSAL

In accordance with Article 7 (b) of the "Agreement Between Owner and Construction Manager" the Construction Management Fee is to be increased as a result of significant changes to the project size, complexity and budget. The project size has increased from 80,000 SF to 100,000 SF. The complexity of project has increased considerable as demonstrated by the significant number of changes to the construction documents through ASI, RFI & PR. The budget has increased from the \$12,200,000 to \$ 20,421,103 for the Building Construction. This results in a net increase of \$8,221,103 to the Budget. The contract CM Fee was based on 4.7% of the original budget. Using the rate of 4.7% on the budget increase yields a total fee increase of \$ 386,392. Petra had previously included an an amount of \$376,808 in the budget projections for the fee increase and will request this amount.

Attached is a worksheet, dated 4/3/08, illustrating how this additional fee amount was calculated.

Item	Description	Quantity	Units	Unit Price	Tax Rate	Tax Amount	Net Amount	
00001	Construction Management Fee Increase	1.000	LS	\$376,808.00	0.00%	\$0.00	\$376,808.00	
							Unit Cost:	\$376,808.00
							Unit Tax:	\$0.00
							Lump Sum:	\$0.00
							Lump Tax:	\$0.00
							0% GC Markup:	\$0.00
							Total:	\$376,808.00

APPROVAL:

By: 

Tom Coughlin

Date: 4/4/08

By: _____

Keith Watts

Date: 002614



Mayor Tammy de Weerd
City Council Members:
Keith Bird
Joe Borton
Charles Rountree
David Zarembo

*Dist: TC
GB*

May 29, 2008

Tom Coughlin
Petra Incorporated
1097 N. Rosario St
Meridian, ID 83642

Dear Tom:

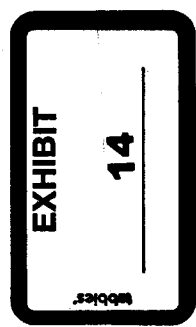
The City Council has directed me to submit this reply to your letter of April 4, 2008 regarding proposed change order No. 2 for additional construction management fees.

Your change order makes reference to a "CM rate of 4.7%" yet the Construction Management Agreement between the City and Petra does not calculate the CM fee as a percentage of the project budget. Although a percentage of the budget may have been a rule-of-thumb used during negotiations, the agreement is clear in the requirement that equitable adjustments will be made only if changes in circumstances materially affect the Construction Manager's services (see the first sentence of the last paragraph of Section 7 of the Agreement). Simply applying a percentage to the total budget is not acceptable. The City Council has requested specific substantiation regarding how the increase in the budget has affected the services delivered by the Construction Management team.

Your letter also cites "increased complexity" as a factor to justify an increase in the CM fee and you reference the number of AFIs, RFIs, and PRs as evidence of increased complexity. An argument could be made that the number of change orders may be less indicative of increased complexity but instead are a symptom of a project that has not been managed with the diligence required by the Agreement and the Construction Management Plan. The City is not convinced that the project is any more complex than what was envisioned at the time the Agreement was negotiated.

Finally, your letter cites the increase in the building square footage as a rationale for an increase in the CM fee. I need to point out that the Agreement was based on a four story, 80,000 square foot building. What we have under construction is a three story building with a 20,000 square foot basement. Please provide us with specific substantiation regarding how a three story building with a basement is more complex than a four story building.

In evaluating your request for an increased CM fee, we have reviewed the number of hours worked by the Project Engineer, Superintendent, and Foreman under the "contract allowed reimbursables" section of the Agreement. We note that as of the end of April, the hours worked



RFP # 1, Item # 6

City Attorney ■ 33 E. Idaho Avenue, Meridian, ID 83642
Phone 208-898-5506 ■ Fax 208-884-8723 ■ www.meridiancity.org

*MCH
CITY*

002615

Petra92436

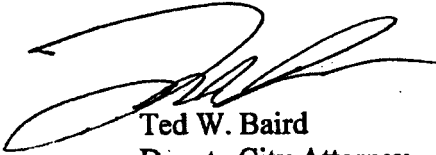
Tom Coughlin
May 29, 2008
Page 2

by the Project Engineer have already exceeded the "expected efforts" set forth in section 6.2.2(b) of the Agreement. In contrast, the hours worked by the Superintendent and Foreman are far less than the "expected efforts" of 173 hours per month. Can you submit an explanation for this discrepancy and how that may or may not relate to your request for an increased CM fee?

Pursuant to section 6.2.4 of the Agreement, the City is requesting full and detailed records of the Contract Allowed Reimbursables with regard to the hours worked during the construction phase by the Project Engineer, Project Superintendent, and Project Foreman. Furthermore, the City would like similar information on the hours worked by the Project Manager during the construction phase. Please submit this information to my attention at the address listed on this letterhead.

If you have any questions about the additional information requested in this letter, please call. We look forward to reviewing the requested documentation so that the City Council can make a fully informed response to your request for an increased CM fee.

Sincerely,



Ted W. Baird
Deputy City Attorney

cc: Mayor DeWeerd
Meridian City Council Members
Keith Watts
Bill Nary

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/20/20077

Mr. Stewart Jensen
Architectural Building Supply (ABS)
960 East Franklin Rd
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Stewart:

The City of Meridian is issuing this Conditional Notice of Award for DOORS/FRAMES/HARDWARE for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 6, DOORS/FRAMES/HARDWARE, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by ABS. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. ABS acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work. ABS has been notified of and acknowledges that plan revisions are pending that may impact the contract total as bid.

Time is of the essence, therefore until the formal agreement is fully executed, ABS may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of ABS. ABS understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

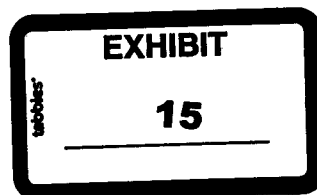
Please feel free to contact me if you have any questions.

Sincerely,

Keith Watts
Purchasing Agent

Architectural Building Supply

Print Name & Title



PETRA91243
002617

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/12/2007

Mr. Randy Pierce
American Wallcover, Inc.
2658 E. Lanark St.
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Randy:

The City of Meridian is issuing this Conditional Notice of Award for Exterior Metal Framing for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 7, Exterior Metal Framing – Rev B in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by American Wallcover, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. American Wallcover, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, American Wallcover, Inc. may proceed with shop drawings, detailing, and product submittals for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of American Wallcover, Inc. American Wallcover, Inc. understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

American Wallcover, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91244
002618

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/12/20077

Mr. Sheldon Morgan
Custom Glass, Inc.
254 Loop St
Caldwell, ID 83605

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Sheldon:

The City of Meridian is issuing this Conditional Notice of Award for Aluminum Storefronts and Glazing for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No.8, Aluminum Storefronts and Glazing in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by Custom Glass, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Custom Glass, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Custom Glass, Inc. may proceed with shop drawings, detailing, product submittals, scheduling shop time and raw material deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Custom Glass, Inc. Custom Glass, Inc. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Custom Glass, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91245
002619

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
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PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/18/20077

Mr. Tyler Crofts
MJ'S Backhoe & Excavation, Inc.
6679 S. Supply Way
Boise, ID 83716

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Tyler:

The City of Meridian is issuing this Conditional Notice of Award for Sitework for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 1, Sitework – Rev A, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by MJ's Backhoe & Excavation, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. MJ's Backhoe & Excavation, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work. MJ's Backhoe & Excavation, Inc. has been notified of and acknowledges that plan revisions are pending that will impact the contract total as bid.

Time is of the essence, therefore until the formal agreement is fully executed, MJ's Backhoe & Excavation may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of MJ's Backhoe & Excavation, Inc. MJ's Backhoe & Excavation, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

MJ's Backhoe & Excavation, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91246
002620

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
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PURCHASING AGENT
KEITH WATTS

33 East Idaho
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(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/12/20077

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear :

The City of Meridian is issuing this Conditional Notice of Award for *(Bid Package Name)* for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. *(Bid Package #)*, *(Bid Package Name)* in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by *(name of Contractor)*. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. *(Contractor)* acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, *(Contractor)* may proceed with shop drawings, detailing, product submittals, scheduling shop time and raw material deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of *(Contractor)*. *(Contractor)* understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

(name of Contractor)

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91247
002621

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
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KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
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Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/12/2007

Mr. Pete Skow
Schindler Elevator Corp.
743 McGregor Court, Suite 140
Boise, ID 83705

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Pete:

The City of Meridian is issuing this Conditional Notice of Award for Elevators for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 10, Elevators in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by Schindler Elevator Corp. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Schindler Elevator Corp. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Schindler Elevator Corp. may proceed with shop drawings, detailing, and product submittals for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Schindler Elevator Corp. Schindler Elevator Corp. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Schindler Elevator Corp.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91248
002622

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
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KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
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Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/18/2007

Mr. Mike DeVaney, V.P.
SEALCO
P.O. Box 887
Meridian, ID 83680

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Mike:

The City of Meridian is issuing this Conditional Notice of Award for Moisture Protection and Waterproofing for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 11, Moisture Protection and Waterproofing, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by SEALCO. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. SEALCO acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work. SEALCO has been notified of and acknowledges that plan revisions are pending that may impact the contract total as bid.

Time is of the essence, therefore until the formal agreement is fully executed, SEALCO may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of SEALCO. SEALCO understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

SEALCO

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91249
002623

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/12/20077

Mr. Ben Barbot
Sidewalks, LLC
1735 S. Millenium Way
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Ben:

The City of Meridian is issuing this Conditional Notice of Award for the Concrete scope of work for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 2, CONCRETE[^] in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by Sidewalks, LLC. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Sidewalks, LLC acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Sidewalks, LLC may proceed with shop drawings, detailing, and product submittals for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Sidewalks, LLC. Sidewalks, LLC understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

SIDEWALKS, LLC

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91250
002624

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
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KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/12/2007

Bill Byerly
Rule Steel Tanks, Inc.
21986 Middleton Road
Caldwell, ID 83605

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Bill:

The City of Meridian is issuing this Conditional Notice of Award for Steel Fabrication & Erection for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 4, Steel Fabrication and Erection in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by Rule Steel Tanks, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Rule Steel Tanks, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Rule Steel Tanks, Inc. may proceed with shop drawings, detailing, product submittals, scheduling shop time and raw material deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Rule Steel Tanks, Inc. Rule Steel understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

RULE STEEL TANKS, INC.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91251
002625

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
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Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/12/2007

Mr. Tim McGourty
TMC, Inc.
2313 W Overland Rd
Boise, ID 83705

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Tim:

The City of Meridian is issuing this Conditional Notice of Award for Masonry and Stone for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 3, Masonry and Stone – Rev B, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by TMC, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. TMC, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work. As this scope of work includes alternates, please do not provide any samples or submittals until requested in writing by the Construction Manager.

Time is of the essence, therefore until the formal agreement is fully executed, TMC, Inc. may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of TMC, Inc. TMC, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

TMC, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91252
002626

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

4/12/20077

Mr. Ted Davis
Western Roofing, Inc.
2609 Keim Lane
Nampa, ID 83687

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Ted:

The City of Meridian is issuing this Conditional Notice of Award for Roofing for the new City Hall project located at 27 East Broadway, Meridian, ID. Per Bid Package No. 9, Roofing in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on April 3, 2007 by Western Roofing, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Western Roofing, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Western Roofing, Inc. may proceed with shop drawings, detailing, and product submittals for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Western Roofing, Inc. Western Roofing, Inc. understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Western Roofing, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91253
002627

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/20077

Mr. Randy Pierce
American Wallcover, Inc.
2685 E Lanark St.
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Randy:

The City of Meridian is issuing this Conditional Notice of Award for Carpentry for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 2, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by American Wallcover, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. American Wallcover, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, American Wallcover, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of American Wallcover, Inc. American Wallcover, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

American Wallcover, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91254
002628

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/20077

Mr. Sheldon Morgan
Custom Glass, Inc.
254 Loop St
Caldwell, ID 83605

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Sheldon:

The City of Meridian is issuing this Conditional Notice of Award for Interior Storefront and Glazing for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 4, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Custom Glass, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Custom Glass, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Custom Glass, Inc. may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Custom Glass, Inc. Custom Glass, Inc. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Keith Watts
Purchasing Agent

Custom Glass, Inc.

Print Name & Title

PETRA91255
002629

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/20077

Mr. Bryce Toronto
Architectural Building Supply
960 E Franklin Rd.
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Bryce:

The City of Meridian is issuing this Conditional Notice of Award for Doors, Frames & Hardware for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 6, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Architectural Building Supply. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Architectural Building Supply acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Architectural Building Supply may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Architectural Building Supply. Architectural Building Supply understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Keith Watts
Purchasing Agent

Architectural Building Supply

Print Name & Title

PETRA91256
002630

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

July 19, 2007

Mr. Ken Shockey
Idaho Custom Wood Products, Inc.
11376 W President Dr
Boise, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Ken:

The City of Meridian is issuing this Conditional Notice of Award for Millwork & Cabinets for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 3, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Idaho Custom Wood Products, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Idaho Custom Wood Products, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Idaho Custom Wood Products, Inc. may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Idaho Custom Wood Products, Inc. Idaho Custom Wood Products, Inc. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Idaho Custom Wood Products, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91257
002631

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/20077

Mr. Michael J. Beltrami
Crawford Door Sales of Idaho
4951 Bradley St., Suite B
Boise, Idaho 83714

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Michael:

The City of Meridian is issuing this Conditional Notice of Award for Overhead and Coiling Doors for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 7, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Crawford Door Sales of Idaho. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Crawford Door Sales of Idaho acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Crawford Door Sales of Idaho may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Crawford Door Sales of Idaho. Crawford Door Sales of Idaho understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Keith Watts
Purchasing Agent

Crawford Door Sales of Idaho

Print Name & Title

PETRA91258
002632

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/20077

Mr. Todd Bloom
Suncrest Corporation DBA
B&B Steel Erectors
P.O. Box 5735
Boise, ID 83705-5735

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Todd:

The City of Meridian is issuing this Conditional Notice of Award for Ornamental Metal Fabrications and Installations for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 1, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Suncrest Corporation DBA B&B Steel Erectors. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Suncrest Corporation DBA B&B Steel Erectors acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Suncrest Corporation DBA B&B Steel Erectors may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Suncrest Corporation DBA B&B Steel Erectors. Suncrest Corporation DBA B&B Steel Erectors understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Suncrest Corporation
DBA B&B Steel Erectors

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91259
002633

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/24/20077

Mr. Steve Packard
Pac-West Interiors, Inc.
2820 Brandt Ave.
Nampa, ID 83687

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Steve:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 13, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Pac-West Interiors, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Pac-West Interiors, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Pac-West Interiors, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Pac-West Interiors, Inc. Pac-West Interiors, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Pac-West Interiors, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91260
002634

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

10/16/20077

Ms. Lois Taylor
AAtronic, Inc.
10 No. Liberty St.
Boise, ID 83704

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid – Audio/Visual Work

Dear Ms. Taylor:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 16, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on September 27, 2007 by AAtronic, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. AAtronic, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, AAtronic, Inc. may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of AAtronic, Inc. AAtronic, Inc. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

AAtronic, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91261
002635

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

10/16/2007

Mr. William D Atkinson
Apex Integrated Security Systems, Inc.
10 No. Liberty St.
Boise, ID 83704

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid – Security Package

Dear Mr. Atkinson:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 22, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on September 27, 2007 by Apex Integrated Security Systems, Inc.. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Apex Integrated Security Systems, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Apex Integrated Security Systems, Inc. may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Apex Integrated Security Systems, Inc. Apex Integrated Security Systems, Inc. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Apex Integrated Security Systems, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91262
002636

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/24/2007

Mr. Jason Tupper
Integrated Interiors, Inc.
3313 W Cherry Lane
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Jason:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 14, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Integrated Interiors, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Integrated Interiors, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Integrated Interiors, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Integrated Interiors, Inc. Integrated Interiors, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Integrated Interiors, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91263
002637

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/20077

Mr. Tag Gibson
Schumacher & Company, Inc.
3707 E Pine St.
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Tag:

The City of Meridian is issuing this Conditional Notice of Award for Ceramic Tile Systems for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 9, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Schumacher & Company, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Schumacher & Company, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Schumacher & Company, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Schumacher & Company, Inc. Schumacher & Company, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Schumacher & Company, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91264
002638

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/2007

Mr. Randy Pierce
American Wallcover, Inc.
2685 E Lanark St.
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Randy:

The City of Meridian is issuing this Conditional Notice of Award for Drywall Systems, Fire Proofing and Acoustical Ceiling Tile for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 8, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by American Wallcover, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. American Wallcover, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, American Wallcover, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of American Wallcover, Inc. American Wallcover, Inc understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

American Wallcover, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91265
002639

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/24/20077

Mr. Daric Stith
Tri State Electric, Inc.
6428 Business Way
Boise, ID 83716

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Randy:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 20, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Tri State Electric, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Tri State Electric, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Tri State Electric, Inc. may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Tri State Electric, Inc. Tri State Electric, Inc. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Tri State Electric, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91266
002640

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

8/23/20077

Mr. John Williamson
Precision Communications, Inc.
DBA TTE PreCom
710 So Orchard St.
Boise, ID 83705

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear John:

The City of Meridian is issuing this Conditional Notice of Award for Telecommunications for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 21, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 26, 2007 by Precision Communications, Inc., DBA TTE PreCom. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Precision Communications, Inc., DBA TTE PreCom acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Precision Communications, Inc., DBA TTE PreCom may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Precision Communications, Inc., DBA TTE PreCom. Precision Communications, Inc., DBA TTE PreCom understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Keith Watts
Purchasing Agent

Precision Communications, Inc.
DBA TTE PreCom

Print Name & Title

PETRA91267
002641

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/24/2007

Mr. Christopher A Willis
SimplexGrinnell, LP
12443 W Executive Dr.
Boise, ID 83713

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Mr. Willis:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 17, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by SimplexGrinnell, LP. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. SimplexGrinnell, LP acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, SimplexGrinnell, LP may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of SimplexGrinnell, LP. SimplexGrinnell, LP understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

SimplexGrinnell, LP

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91268
002642

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/24/2007

Mr. Randy Frisbee
Hobson Fabrication Corp.
6428 Business Way
Boise, ID 83716

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Randy:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 19, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Hobson Fabrication Corp. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Hobson Fabrication Corp. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Hobson Fabrication Corp. may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Hobson Fabrication Corp. Hobson Fabrication Corp. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Hobson Fabrication Corp.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91269
002643

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/24/2007

Mr. Richard E. Murphy
The Masonry Center, Inc.
3313 W Cherry Lane
Meridian, ID 83642

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Jason:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 15, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by The Masonry Center, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. The Masonry Center, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, The Masonry Center, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of The Masonry Center, Inc. The Masonry Center, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

The Masonry Center, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91270
002644

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/2007

Mr. Keith Martin
Commercial Painting Contractors, Inc.
P.O. Box 1115
Caldwell, ID 83606

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Keith:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 11, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Commercial Painting Contractors, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Commercial Painting Contractors, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Commercial Painting Contractors, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Commercial Painting Contractors, Inc. Commercial Painting Contractors, Inc understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Commercial Painting Contractors, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91271
002645

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/24/2007

Mr. Lenny Buss
Buss Mechanical Services, Inc.
P.O. Box 190476
Boise, ID 83719-0476

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Lenny:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 18, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Buss Mechanical Services, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Buss Mechanical Services, Inc. acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Buss Mechanical Services, Inc. may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Buss Mechanical Services, Inc. Buss Mechanical Services, Inc. understands that **NO** work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Buss Mechanical Services, Inc.

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91272
002646

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/2007

Mr. Richard Brown
Designer Floors, Inc.
1400 Front St.
Boise, ID 83702

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Richard:

The City of Meridian is issuing this Conditional Notice of Award for Flooring Systems for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 10, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by Designer Floors, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. Designer Floors, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, Designer Floors, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of Designer Floors, Inc. Designer Floors, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

Designer Floors, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91273
002647

MAYOR
TAMMY DE WEERD

COUNCIL MEMBERS
SHAUN WARDLE
JOE BORTON
CHARLES M. ROUNTREE
KEITH BIRD



PURCHASING AGENT
KEITH WATTS

33 East Idaho
Meridian, ID 83642
(208) 888-4433
Fax (208) 887-4813

Purchasing Department

CONDITIONAL NOTICE OF AWARD

7/23/20077

Mr. Bob Gaige
SBI Contracting, Inc.
11400 W Executive Dr.
Boise, ID 83704

RE: Conditional Notice of Award/Authorization to Proceed – City Hall Bid

Dear Bob:

The City of Meridian is issuing this Conditional Notice of Award for Painting for the new City Hall project located at 33 East Broadway, Meridian, ID. Per Bid Package No. 12, in accordance with the IDPW Contracting Rules and Requirements for Public Works Construction, the published bid documents for the new Meridian City Hall project and the proposal submitted and recorded on the public record on July 12, 2007 by SBI Contracting, Inc. Upon the City's receipt of the properly endorsed Insurance Certificates, Bonds and signed Agreement, the City will execute the Agreement and return a copy along with a Notice to Proceed and signed Purchase Order. SBI Contracting, Inc acknowledges, is aware of and agrees to comply with all requirements and provisions in the Request for Bids and sample agreement included in said bid and that this Conditional Notice to Proceed is executed solely to expedite the work.

Time is of the essence, therefore until the formal agreement is fully executed, SBI Contracting, Inc may proceed with shop drawings, detailing, and product submittals deliveries for the defined bid package Scope of Work; and shall indemnify, defend and hold harmless the officers, directors, agents and employees of the City of Meridian, and Petra, Incorporated, et al against any and all claims, losses and expenses as a result of the actions of SBI Contracting, Inc. SBI Contracting, Inc understands that NO work is to begin on site until an executed agreement is issued by the City and all Bonds and Insurance Certificates have been received and approved by the City.

Please feel free to contact me if you have any questions.

Sincerely,

SBI Contracting, Inc

Keith Watts
Purchasing Agent

Print Name & Title

PETRA91274
002648

J3/2/09



Mayor Tammy de Weerd
City Council Members:
Keith Bird
Brad Hoaglan
Charles Rountree
David Zarembo

February 24, 2009

Jerry S. Frank, CEO
Gene Bennett, Project Manager
Petra Incorporated
1097 N. Rosario Street
Meridian, ID 83642

RE: Change Order #2 Regarding Additional City Hall CM Fees

Dear Jerry and Gene:

Thank you for your patience during our research into your fee request. While we want Petra to be fairly compensated for its management of the Meridian City Hall project, our first priority is our obligation to the citizens of Meridian to assure good stewardship of their tax dollars.

Our analysis of your fee request must necessarily begin with a review of the Agreement for Construction Management Services. As you know, this Agreement was negotiated over a number of weeks with each party availing itself of legal representation so that the terms and conditions of the Agreement would be fully understood. Through the Agreement, the City endeavored to create a relationship with its Construction Manager whereby the Project would be managed in the City's best interests.

Article 7 of the Agreement allows for an equitable adjustment in the Construction Manager's Fee *if* significant change to the Project *materially affects Construction Manager's services*. Petra is requesting additional fees as the result of increases in Project size, complexity, and budget. Petra and the City have been exchanging letters regarding this fee request since November 5 of 2007. The City has reviewed the additional substantiation provided by Petra on October 3, 2008 and we are still not convinced that the factors cited by Petra have *materially affected* the construction management services provided.

Article 4.2 of the Agreement required that Petra work with the Architect to "prepare and submit to the Owner a written report detailing its understanding of the Owner's Criteria and identifying any design, construction, budgetary, operational or other problems or recommendations that result from Owner's Criteria." To our knowledge, this important contractual provision was never satisfied. This requirement was included in the Agreement because the City believed that it was critical to establishing control of the Project and that having a documented understanding would enable all team members to achieve the goals and be accountable for the outcome.



Jerry S. Frank, CEO
Gene Bennett, Project Manager
February 24, 2009
Page 2

Without having a documented understanding of the Owner's Criteria as required by Article 4.2 of the Agreement, it is difficult for the City to evaluate Petra's claim for additional construction management fees based on "increased complexity." The "increased complexity" of some of the building components may have resulted in additional time required by the contractors hired to install them, but the City is not convinced that the final building design should have necessitated additional construction management time.

The Owner's Objectives as stated in Article 3.1 of the Agreement were "to develop a new cost efficient city hall facility and public plaza on the Site." Recital "B" stated the City's desire to construct a "four story structure of with approximately 80,000 square feet of standard Class A office space." As constructed, the Project does indeed contain the envisioned amount of office space on three floors; while the final design does not include a fourth floor, it does include a largely unfinished basement. The City contends that substituting an unfinished basement for a finished fourth story does not represent a material change in scope or complexity of the Project. Furthermore, the City contends that a structure built to "stand the test of time" should be considered standard construction for a City Hall building. Finally, the systems included in the final design may be considered "state of the art" by some, but they have become standard design for public buildings based on long-term cost efficiencies.

The Agreement set the Construction Manager's fee as a flat fee, not a percentage of the project budget. The City continues to maintain its position that simply applying the fee to a budget increase is unacceptable. Furthermore, the additional substantiation provided by Petra fails to specifically justify how the increase in budget has materially affected the services delivered by the construction management team. Did Petra provide any additional services based solely on the increased budget, and if so, how did those additional services affect Petra's home office overhead costs?

Further, Article 7 of the Agreement requires that any equitable adjustment be mutually agreed upon prior to the Construction Manager providing any additional services based on notice from the Construction Manager of the proposed change in service. The City had settled on the floor system and HVAC specifications by the end of February, 2007. The matter of the basement and the need to raise the entire structure four feet was settled at the City Council meeting of April 10, 2007. Despite the fact that the design of the building was settled early in the year 2007, the notice of intent to submit a change order was not submitted by Petra until November 5, 2007 and the actual change order request was not submitted until April 4, 2008. The City is not convinced that Petra has fulfilled the contractual responsibility of asking for and receiving approval to perform additional work, nor was any additional compensation authorized.

Jerry S. Frank, CEO
Gene Bennett, Project Manager
February 24, 2009
Page 3

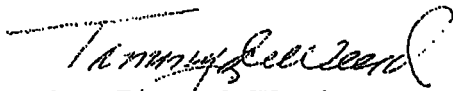
Article 2.1.4 of the Agreement requires that the "Construction Manager shall prepare all documents and provide all services required under this Agreement in such a manner that increases in Project costs resulting from Construction Manager's errors or omissions do not exceed one percent (1%) of the total construction price of the Project." Based on the final budget of \$20.4 million, this amount would be \$204,000. The City has not yet had an opportunity to conduct a complete analysis of all change orders on the Project, so we are not yet convinced that this contractual requirement has been met. This provision of the Agreement is relevant to Petra's request for additional salary costs. Until the change orders have been analyzed, the City has no way of knowing whether any of the additional salary costs are related to errors or omissions in management of the Project.

The City is concerned that the numerous staff changes on the Project may have had an effect on the need for additional staff hours. Project Engineer Wes Bettis left the Project in November of 2007 and was replaced with Tom Coughlin. The Project Superintendent listed in the Agreement (Gene Landon) was replaced with Jon Anderson early on in the Project, and Anderson was replaced with Jack Vaughan in April of 2008. The City questions whether the turnover in critical construction management staff may have resulted in the need for additional hours on the job for which the City should not be held responsible.

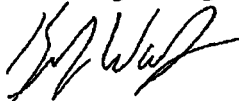
Based on the foregoing, the City has determined that we must continue to deny Petra's request for additional compensation as outlined in Change Order #2.

If you would like an opportunity to address the City Council in executive session, let us know and we will place this matter on the next available agenda.

Sincerely,


Mayor Tammy de Weerd

Purchasing Manager Keith Watts




Council President Charlie Rountree


City Attorney Bill Nary



9056 W. BLACKEAGLE DR. • BOISE, ID 83709 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

E-MAIL MEMO

Meridian City Hall Project

Date: March 26, 2007

To: Mr. Brad Watson
watsonb@meridiancity.org

RE: Weekly Production Meeting Recap

Brad:

Subsequent to the meeting minutes being issued and distributed from Monday's meetings, this memo is to recap the most critical items that were discussed for clarification.

- 1) Dewatering costs and time frame. The costs associated with dewatering the basement excavation area for the new City Hall building footprint include:

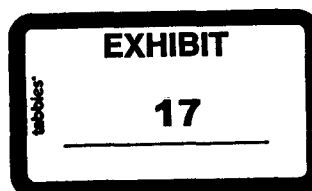
Temporary De-watering delivery system to 9-Mile Creek.....	\$ 85,000.00
Permanent Dewatering system under building.....	\$ 75,000.00
Bentonite Grout to seal-off contamination under Meridian Rd.....	\$100,000.00
Waterproofing Basement	<u>\$ 70,000.00</u>
Total Construction Cost to de-water and waterproof basement.....	\$330,000.00

Total Estimated Cost for Basement with dewatering..... \$1,330,000.00

Estimated annual cost to run dewatering system with quarterly water quality tests\$ 5,000.00

- 2) Time impact on project schedule related to de-watering issue:

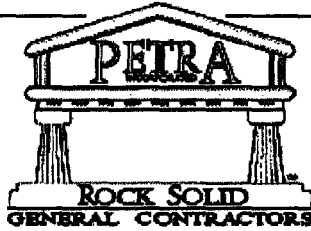
Waiting to start excavation on basement until Agency approvals are in place	6-22-07
Masonry will then require additional tent and heat costs starting 10-29-07 ending	1-28-08
Completion of roof installation and "dry-in" of building	12-24-07
Move-in by the City gets pushed back to	10-17-08



3) Time impact to delete the basement in design time and construction time:

Re-design complete	04-27-07
Masonry would require additional tent and heat costs starting 09-17-07	ending 12-07-07
Completion of roof installation and "dry-in" of building	11-12-07
Move-In by the City gets pushed back two weeks to	08-15-07

- 4) A temporary or permanent irrigation line will be installed by April 13, 2007. Petra, Inc. has solicited bids and the City will issue a Purchase Order to Blue Rock in a unit cost, not to exceed \$24,000 to set up to four lift boxes and the appropriate buried piping to carry the user ditch water to the Meridian Rd. crossing. It does not appear, per confirmation in the later afternoon of exploratory excavation, that the contaminated soils will extend all the way to the brick pile. So the limits of the excavation area have been established to all four compass points. This will allow the installation of the permanent irrigation solution prior to the water being turned into the ditch on April 16, 2007.
- 5) The brick pile needs to be moved. Several suggestions have been put forward, including having the bricks loaded into end dumps and delivered to a site within the City. Petra, Inc has also solicited bids for a rented yard in Nampa. Another suggestion was to find two or three dumpsters or sturdy shipping bins that 2,000 to 3,000 brick could be loaded into, and then the bins could be stored behind the City Police facility, or other appropriate location and get them off the and out of harms way.



9056 W. BLACKEAGLE DR. • BOISE, ID 83709 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

E-MAIL MEMO

DATE: April 3, 2007
TO: Steve Simmons
LCA
FROM: Wesley Bettis
RE: Meridian City Hall

Steve:

Corresponding to your letter of April 1, 2007, Petra Incorporated has reviewed the options available to the City regarding the building design and developed the following input regarding cost and schedule impact on the City Hall project.

1. Leave project as designed
 - Wait on agency approvals for de-watering discharge after de-watering design is complete.
 - 60 to 75 days delay in starting the project, if agency approval is given.
 - Mid October 2008 move-in date vs. planned August 1, 2008 occupancy.
 - Cost impact will include additional winter heat and tent costs for masonry work and inflation associated with the construction pricing between now and the actual start dates.
2. Delete the basement, re-design structure and re-distribute floor space.
 - 30 to 45 day delay before structural design is re-calculated, but only a two week delay to the occupancy date from August 1, 2008 to August 15, 2008.
 - **Net savings** of \$1.1 Million to \$1.3 Million off the budget depending on the amount of files and other load distribution moved to the upper floors.
3. Raise the building finished floor elevation by approximately 4-0 and keep the basement.
 - 25 to 35 day delay in re-design to the structural fill and back-up de-watering system. Adds approximately two weeks to the move-in date from August 1, 2008 to August 15, 2008.

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PETRA88428

- The agency approval for permanent de-watering discharge will still be required, but the volume of water will be greatly reduced, but the potential of a filtering system should be addressed once the volume is determined.
 - **Net savings** of ~\$300,000 based on reduced excavation, increased structural fill requirements, no temporary de-watering and adding back in a more generic permanent de-watering system.
4. Add a fourth level between the second and third levels to create a 4-story building and delete the basement.
- Re-design could add 90 days to the schedule on the front end of the project which would translate into 45-60 days on the move-in date to November 1, 2008.
 - Cost for this work to match the interior and exterior of the building to be between **\$1.7 and \$2.0 Million in additional cost.**

Bldg Options 04-03-07.doc

Memo

To: Will Berg
From: Steve Simmons
CC: Wes Bettis
Date: 4/12/2007

Re: Meridian City Hall - Building Elevation

LCA No: 06016.01 4a

Will

Based on our discussions last Tuesday evening at the Pre-Council meeting, I will be directing the design team to move forward with raising the building 4'-0" in elevation. As I mentioned, most of the impact to the existing design will be to the civil engineering and landscape architecture disciplines. I will call both of them and have them update LCA and Petra as to when the revised site package would be available for bidding.

Petra was also authorized to spend up to \$ 2,000.00 to have Terracon revise their geotechnical report for the soil bearing recommendations at the new footing and basement elevations so that our engineers can re-check the foundation design.

Please feel free to call with any question you may have.

Steve

NEW MERIDIAN CITY HALL
PHASE I-Abatement & Demo
Bid Results CH-06-001

Date: October 10, 2006

Request for Bid Background:

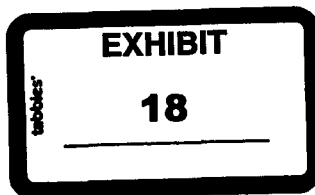
- Request for Bid package produced by City with input from Petra Inc.
- Advertised in regional and local publications to meet all legal requirements of notice per Idaho Public Works Statutes.
- 17 Bid Packages distributed by City.
- Six (6) qualified Contractors for Abatement and/or Demolition attended the recommended Pre-Bid Job Tour and Project Discussion on Monday September 25, 2006 on site. Several of the bidders made return visits to the site to walk the grounds and confirm the physical size and layout of the site and buildings to be removed, prior to bid time.
- On Bid Day, Thursday October 5, 2006, a total of three (3) bidders responded with two (2) abatement bids and two (2) demolition bids.
- All responsive bidders met the published required IDPW criteria for bidding the scope(s) of work bid, including minimum licensing limits.

ABATEMENT BID RESULTS:

Low Bid: Ideal Demolition, Inc. 45 working days \$145,000.00
2nd Low: Intermountain Construction & Abatement, Inc. 40 working days \$146,520.00
No other bids received.

DEMOLITION BID RESULTS:

Low Bid: Ideal Demolition, Inc. 45 working days \$ 241,000.00
2nd Low: Magnum Demolition 75 working days \$ 321,000.00
No other bids received.



002658
PETRA88425

COMBINED BID RESULTS:

In accordance with the bid documents the best combined bids were:

Low: Ideal Demolition, Inc.	Abatement	\$ 145,000.00
Ideal Demolition, Inc.	Demolition	<u>\$ 241,000.00</u>
	Total	\$ 386,000.00
Next Low: Intermountain Const. & Abatement	Abatement:	\$ 146,520.00
Ideal Demolition, Inc.	Demolition:	<u>\$ 241,000.00</u>
	Total	\$ 387,520.00
Next Low: Ideal Demolition, Inc.	Abatement	\$ 145,000.00
Magnum Demolition, Inc.	Demolition:	<u>\$ 321,000.00</u>
	Total	\$ 466,000.00
Next Low: Intermountain Const. & Abatement	Abatement	\$ 146,520.00
Magnum Demolition, Inc.	Demolition	<u>\$ 321,000.00</u>
	Total	\$ 467,520.00

OTHER CONSIDERATIONS:

In accordance with the bid documents additional incentives and considerations offered by bidders included the following:

Ideal Demolition, Inc. offered an incentive discount of <\$70,000> off their combined contract total if awarded both the Abatement and the Demolition scopes of work to reduce their contract from \$ 386,000.00 to \$ 316,000.00.

Ideal Demolition, Inc offered an incentive of an additional discount of <\$ 23,000.00> off the demolition scope of work if the City does not choose to salvage any of the brick as noted in the bid documents.

RECOMMENDATIONS & CONCLUSIONS:

Based on the results of the bid opening and the applicable Idaho Department of Public Works statutes, the Construction Manager recommends that the City Council ratify the results of the Abatement & Demolition Request for Bid CH-06-001 and direct Staff to enter into contract negotiations with Ideal Demolition, Inc. for both the Abatement and the Demolition scopes of work for a base total contract value of \$ 316,000.00 subject to final determination by the Council on the status of salvaging or not salvaging brick from the demolition site.

ADVERTISEMENT FOR BIDS

MERIDIAN CITY HALL

Bid Date & Time: Phase II, Sealed Bids will be received until 2:00 P.M., Tuesday, June 21, 2007 at the Meridian City Hall 33 East Idaho Avenue Meridian, Idaho 83642

OWNER: City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642

ARCHITECT: Lombard and Conrad Architects
1221 Shoreline Drive
Boise, Idaho 83702
(208) 345-6677 Fax: (208) 344-9002

CONSTRUCTION MANAGER: Petra, Incorporated
9056 West Blackeagle Drive
Boise, Idaho 83709
(208) 323-4500 Fax: (208) 323-4507

Construction documents will be available through Petra, Incorporated commencing May 31, 2007. \$ 250.00 deposit is required for the Meridian City Hall Plan Set. (Deposit refundable for plans returned in original condition). Electronic PDF files are available for a non-refundable deposit of \$ 50.00.

All Contractors are required to have a current Idaho Public Works License, commensurate with the size of the contract, and a current Idaho Contractor's Registration Number. Each bid must be accompanied by a certified or a cashier's check on an Idaho Bank, or bid bond, with an Idaho State-Licensed Surety Company as Surety, in the amount of five percent (5%) of the total bid, made payable to "City of Meridian".

Keith Watts
Purchasing Agent
City of Meridian

**INVITATION TO BID
MERIDIAN CITY HALL (PHASE II)**

SEALED BIDS will be received at: Meridian City Hall
33 East Idaho Avenue
Meridian, Idaho 83642

Until 2:00 pm prevailing local time, **Thursday, May 21st, 2007**. Bids will be opened and publicly read aloud. Bids received after the aforementioned bid time of 2:00 pm will not be considered.

INSTRUCTION TO BIDDERS

1. Bids **must** be submitted on a copy of the bid forms provided.
2. Work to be awarded per bid package and description. All bids must be a lump sum basis for each designated bid package.
3. All Bidders must provide **bid security** in the amount of five percent (5%) of the base bid in accordance with the Instructions to Bidders, made payable to the **City of Meridian**.
4. **Performance and Payment Bonds** in the amount of one hundred percent (100%) of the Contract amount will be required within five (5) days after receipt of a properly prepared agreement between the Owner and the Contractor. Costs for bonds shall be included in contractor's bids. Material suppliers are not required to provide payment and performance bonds.
5. No bidder may withdraw bids after the hour set for opening thereof, or before award of Contract, unless award is delayed for a period of sixty (60) days.
6. The Owner reserves the right to waive irregularities and to reject any or all bids.
7. All questions regarding the bid process or scope of work must be directed to the Construction Manager in writing and must be received **NO LATER THAT FIVE (5) WORKING DAYS PRIOR TO BID OPENING**. Questions received after this date will not be considered.

City of Meridian, Petra, Incorporated, or Lombard and Conrad Architects will not be responsible for verbal interpretations. Questions will be answered by written addenda and be mailed, faxed, or e-mailed to all Bidders. All addenda issued during the bid period will be incorporated into the contract. Addenda issued prior to bidding shall be acknowledged on the Bid Form. Failure to acknowledge addenda may be cause for rejection of bid as non-responsive.

8. All work shall be performed under Title 54, Chapter 19 of the Idaho Code governing Public Works Contracts. Each bidder shall identify their Public Works Contractors State License Number and Idaho Contractor's Registration Number, including expiration dates, in the spaces provided on the Bid Form.

Submit questions in writing and mail, fax or email to:

Petra, Incorporated (Primary Contact)
Attn: Wes Bettis Jr.
9056 West Blackeagle Drive
Boise, Idaho 83709
FAX: (208) 323-4507
wbettis@petrainc.net

Lombard and Conrad (Secondary Contact)
Attn: Steve Simmons
1221 Shoreline Drive
Boise, Idaho 83702
FAX: (208) 344-9002
ssimmons1@lcarch.com

	A	B	C	D	E	F
1	Project Cost Summary Spreadsheet					
2						
3		an City Hall				
4		eridian, Idaho				
5		April 3, 2007				
6						
7						
8			Budget	Bidder	Bid Amt.	Variance
9	Phase II Bids					
10	1	Excavation	\$358,327	MJ's Backhoe	\$810,314	-\$251,987
11	2	Concrete	\$804,415	Sidewalks, Inc	\$655,595	\$148,820
12	3	Masonry	\$1,379,200	TMC, Inc.	\$1,584,760	-\$205,560
13	4	Steel	\$1,363,718	Rule Steel, Inc.	\$1,847,000	-\$483,282
14	6	Doors	\$27,550	ABS	\$7,620	\$19,730
15	7	Curtain Wall Framing	\$301,325	American Wallcoverings, Inc.	\$363,287	-\$61,962
16	8	Storefront & Glazing	\$350,000	Custom Glass	\$295,321	\$54,679
17	9	Roofing	\$244,660	Western Roofing	\$182,990	\$61,670
18	10	Elevator	\$199,175	Schindler	\$222,100	-\$22,925
19	11	Moisture Protection	\$45,272	SealCo	\$67,182	-\$21,910
20						
21						
22		Total Phase II Bids	\$5,073,842		\$5,836,369	-\$762,727
23					\$5,073,642	

PETRA86043

ADVERTISEMENT FOR BIDS

MERIDIAN CITY HALL

Bid Date & Time: Phase III, Sealed Bids will be received until 2:00 P.M., Thursday, June 21, 2007 at the Meridian City Hall 33 East Idaho Avenue Meridian, Idaho 83642

OWNER: City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642

ARCHITECT: Lombard and Conrad Architects
1221 Shoreline Drive
Boise, Idaho 83702
(208) 345-6677 Fax: (208) 344-9002

CONSTRUCTION MANAGER: Petra, Incorporated
1097 N. Rosario St.
Meridian, Idaho 83642
(208) 323-4500 Fax: (208) 323-4507

Construction documents will be available through Petra, Incorporated commencing May 31, 2007. \$ 250.00 deposit is required for the Meridian City Hall Plan Set. (Deposit refundable for plans returned in original condition). Electronic PDF files are available for a non-refundable deposit of \$ 50.00.

All Contractors are required to have a current Idaho Public Works License, commensurate with the size of the contract, and a current Idaho Contractor's Registration Number. Each bid must be accompanied by a certified or a cashier's check on an Idaho Bank, or bid bond, with an Idaho State-Licensed Surety Company as Surety, in the amount of five percent (5%) of the total bid, made payable to "City of Meridian".

Keith Watts
Purchasing Agent
City of Meridian

**INVITATION TO BID
MERIDIAN CITY HALL (PHASE III)**

SEALED BIDS will be received at: Meridian City Hall
33 East Idaho Avenue
Meridian, Idaho 83642

Until 2:00 pm prevailing local time, **Thursday, June 21st, 2007**. Bids will be opened and publicly read aloud. Bids received after the aforementioned bid time of 2:00 pm will not be considered.

INSTRUCTION TO BIDDERS

1. Bids **must** be submitted on a copy of the bid forms provided.
2. Work to be awarded per bid package and description. All bids must be a lump sum basis for each designated bid package.
3. All Bidders must provide **bid security** in the amount of five percent (5%) of the base bid in accordance with the Instructions to Bidders, made payable to the **City of Meridian**.
4. **Performance and Payment Bonds** in the amount of one hundred percent (100%) of the Contract amount will be required within five (5) days after receipt of a properly prepared agreement between the Owner and the Contractor. Costs for bonds shall be included in contractor's bids. Material suppliers are not required to provide payment and performance bonds.
5. No bidder may withdraw bids after the hour set for opening thereof, or before award of Contract, unless award is delayed for a period of sixty (60) days.
6. The Owner reserves the right to waive irregularities and to reject any or all bids.
7. All questions regarding the bid process or scope of work must be directed to the Construction Manager in writing and must be received **NO LATER THAT FIVE (5) WORKING DAYS PRIOR TO BID OPENING**. Questions received after this date will not be considered.

City of Meridian, Petra, Incorporated, or Lombard and Conrad Architects will not be responsible for verbal interpretations. Questions will be answered by written addenda and be mailed, faxed, or e-mailed to all Bidders. All addenda issued during the bid period will be incorporated into the contract. Addenda issued prior to bidding shall be acknowledged on the Bid Form. Failure to acknowledge addenda may be cause for rejection of bid as non-responsive.

8. All work shall be performed under Title 54, Chapter 19 of the Idaho Code governing Public Works Contracts. Each bidder shall identify their Public Works Contractors State License Number and Idaho Contractor's Registration Number, including expiration dates, in the spaces provided on the Bid Form.

Submit questions in writing and mail, fax or email to:

Petra, Incorporated (Primary Contact)

Attn: Wes Bettis Jr.
9056 West Blackeagle Drive
Boise, Idaho 83709
FAX: (208) 323-4507
wbettis@petrainc.net

Lombard and Conrad (Secondary Contact)

Attn: Steve Simmons
1221 Shoreline Drive
Boise, Idaho 83702
FAX: (208) 344-9002
ssimmons1@lcarch.com



MERIDIAN CITY HALL PROJECT Phase III T.I. and MEP's
July 12, 2007 2:00 P.M.
Bid Package Summary

	Bid Package	Contractor	Amount
1	Handrail and Miscellaneous Metal	Pacific Steel Fabricators	70,178.00
2	Carpentry	American Wall Covering	112,000.00
3	Millwork and Cabinetry	ICWP	464,000.00
4	Interior Storefront and Glazing	Custom Glass	68,678.00
5	Caulking	A	0.00
6	Doors/Frames/Hardware	ABS	277,230.00
7	Overhead and Coiling Doors	Crawford Door Sales	5,590.00
8	Drywall, Fireproofing, Acoustical Ceiling Tile	American Wall Coverings	1,038,550.00
9	Ceramic Tile	Schumacher	110,953.00
10	Flooring	Deigner Floors	182,354.00
11	Painting and Wallcoverings	Color Craft	95,600.00
12	Specialties	SBI	110,000.00
13	Access Flooring	Pac West Interiors	528,800.00
14	Window Coverings	Intergrated Ineriors	11,900.00
15	Operable Partitions	The Masonry Center	20,840.00
16	Audio/Visual	A	0.00
17	Fire Protection	Simplex Grinell	412,879.00
18	Plumbing	Buss	953,385.00
19	HVAC	Hobson Fabrication Corp	2,060,000.00
20	Electrical, Low Voltage, Fire Alarm	Tri State Electric	2,749,895.00
21	Telecommunications	A	0.00
22	Security	A	0.00

T.I. and MEP's Total Bid Package	\$ 9,272,832.00
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MERIDIAN CITY HALL PROJECT Phase III T.I. and MEP's
July 12, 2007 2:00 P.M.
Bid Package Summary

	Bid Package	Contractor	Amount
1	Handrail and Miscellaneous Metal	Pacific Steel Fabricators	70,178.00
2	Carpentry	American Wall Covering	112,000.00
3	Millwork and Cabinetry	ICWP	464,000.00
4	Interior Storefront and Glazing	Custom Glass	68,678.00
5	Caulking	A	0.00
6	Doors/Frames/Hardware	ABS	277,230.00
7	Overhead and Coiling Doors	Crawford Door Sales	5,590.00
8	Drywall, Fireproofing, Acoustical Ceiling Tile	American Wall Coverings	1,038,550.00
9	Ceramic Tile	Schumacher	110,953.00
10	Flooring	Deigner Floors	182,354.00
11	Painting and Wallcoverings	Color Craft	95,600.00
12	Specialties	SBI	110,000.00
13	Access Flooring	Pac West Interiors	528,800.00
14	Window Coverings	Intergrated Ineriors	11,900.00
15	Operable Partitions	The Masonry Center	20,840.00
16	Audio/Visual	A	0.00
17	Fire Protection	Simplex Grinell	412,879.00
18	Plumbing	Buss	953,385.00
19	HVAC	Hobson Fabrication Corp	2,060,000.00
20	Electrical, Low Voltage, Fire Alarm	Tri State Electric	2,749,895.00
21	Telecommunications	A	0.00
22	Security	A	0.00

T.I. and MEP's Total Bid Package	\$ 9,272,832.00
---	------------------------

	A	B	C	D
1				
2		MERIDIAN CITY HALL PROJECT Phase III T.I. and MEP's		
3		JULY 12, 2007 2:00 P.M.		
4		PHASE III BID RESULTS		
5				
6				
7		Bid Package	Contractor	Amount
8	1	Handrail and Miscellaneous Metal	Sun Crest Corporation	73,285.00
9	2	Carpentry	American Wall Covering	112,000.00
10	3	Millwork and Cabinetry	ICWP	484,000.00
11	4	Interior Storefront and Glazing	Custom Glass	66,678.00
12	5	Caulking	TBD	0.00
13	6	Doors/Frames/Hardware	ABS	277,230.00
14	7	Overhead and Coiling Doors	Crawford Door Sales	5,590.00
15	8	Drywall, Fireproofing, Acoustical Ceiling Tile	American Wall Coverings	1,038,550.00
16	9	Ceramic Tile	Schumacher & Co., Inc.	110,953.00
17	10	Flooring	Designer Floors	182,354.00
18	11	Painting and Wallcoverings	Commercial Painting	151,275.00
19	12	Specialties	SBI	110,000.00
20	13	Access Flooring	Pac West Interiors	526,800.00
21	14	Window Coverings	Integrated Interiors	11,900.00
22	15	Operable Partitions	The Masonry Center	20,840.00
23	17	Fire Protection	Simplex Grinnell	412,879.00
24	18	Plumbing	Buss	953,385.00
25	19	HVAC	Hobson Fabrication Corp	2,060,000.00
26	20	Electrical, Low Voltage, Fire Alarm	Tri State Electric	2,749,895.00
27				
28		T.I. and MEP's Total Bid Package		\$ 9,331,594.00
29				
30	16	Audio/Visual	<i>Budget</i>	215,500.00
31	21	Telecommunications	<i>Budget</i>	225,000.00
32	22	Security & Access	<i>Budget</i>	165,000.00
33				
34		TOTAL FF&E BID PACKAGE BUDGETS		\$ 605,500.00

4/3/2007 11:13:35 AM

Summary

1

PETRA86098

002668

A	B	C	D
1			
2	MERIDIAN CITY HALL PROJECT Phase III T.I. and MEP's		
3	July 26, 2007 2:00 P.M.		
4	PHASE III BID RESULTS		
5			
6			
7	Bid Package	Contractor	Amount
8	1 Handrail and Miscellaneous Metal	Sun Crest Corporation	73,265.00
9	2 Carpentry	American Wall Covering	112,000.00
10	3 Millwork and Cabinetry	ICWP	484,000.00
11	4 Interior Storefront and Glazing	Custom Glass	68,878.00
12	5 Caulking	Seal Co Bid*	22,908.00
13	6 Doors/Frames/Hardware	ABS	277,230.00
14	7 Overhead and Ceiling Doors	Crawford Door Sales	6,590.00
15	8 Drywall, Fireproofing, Acoustical Ceiling Tile	American Wall Coverings	1,038,550.00
16	9 Ceramic Tile	Schumacher & Co., Inc.	110,953.00
17	10 Flooring	Designer Floors	182,354.00
18	11 Painting and Wallcoverings	Commercial Painting	151,275.00
19	12 Specialties	SBI	110,000.00
20	13 Access Flooring	Pac West Interiors	528,600.00
21	14 Window Coverings	Intergrated Interiors	11,900.00
22	15 Operable Partitions	The Masonry Center	20,840.00
23	17 Fire Protection	Simplex Grinnell	412,879.00
24	18 Plumbing	Buss	953,385.00
25	19 HVAC	Hobson Fabrication Corp	2,060,000.00
26	20 Electrical, Low Voltage, Fire Alarm	Tri State Electric	2,749,695.00
27			
28	T.I. and MEP's Total Bid Package		\$ 9,354,502.00
29			
30	16 Audio/Visual	AAtronics	205,755.72
31	21 Telecommunications	Data Cabling Service	167,703.00
32	22 Security & Access	The Security Group*	31,250.16
33			
34	TOTAL FF&E BID PACKAGE RESULTS		\$ 404,708.88
35			
36	* Seal Co. Bid if Accepted		

4/3/2007 11:13:35 AM

Summary

1

PETRA86132

002669

REQUEST FOR BIDS

CITY OF MERIDIAN

CITY HALL ADMIN BUILDING (PHASE III) Tennant Improvements Bid Date & Time: Sealed Bids for 2 packages (listed below) will be received until 2:00 PM (MDT) Thursday, September 27, 2007 at Meridian City Hall, City Clerks Office, 33 East Idaho Avenue, Meridian, Idaho 83642.

OWNER:

City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642
(208) 888-4433 Fax: (208) 887-4813

ARCHITECT:

LCA Architects
1221 Shoreline Dr
Boise, Idaho 83702
(208) 345-6677 Fax: (208) 344-9002

CONSTRUCTION MANAGER:

Petra Incorporated
109 N. Rosario St.
Meridian, Idaho 83642
(208) 323-4500 Fax: (208) 323-4507

Plans, specifications, bid forms, bidder's instructions, contract documents, and general and special instructions for an approximately 80,000 square foot, multi-story city hall office building, plus basement, will be available from the **Construction Manager Petra Incorporated, the AGC, Dodge Reports, or the City of Meridian Office of the City Clerk**, beginning Monday September 10, 2007. A \$250.00 (refundable) deposit is required and a shipping and Handling fee will be charged for all sets shipped. All Contractors are required to have a current Idaho Public Works License commensurate with the size of the contract (bid amount) and current Idaho Contractors Registration. Both Contractors and Suppliers shall submit a bid bond in the amount of 5% of their total bid.

The 2 Bid Packages in this Phase III Re-Bid are as follows:

- 16. Audio / Visual Systems
- 22. Security Systems

A pre-bid meeting will be held at the job site located at 33 East Broadway, Meridian (one block south of existing City Hall) Thursday, September 20th, 2007 at 2:00 PM.

PUBLISH:



MERIDIAN CITY HALL PROJECT Phase III T.I. and MEP's

Bid Package Summary

	Bid Package	Contractor	Amount
1	Handrail & Miscellaneous Metals	Suncrest Corp/B&B Steel	73,265.00
2	Carpentry	American Wall Covering	112,000.00
3	Millwork and Cabinetry	ICWP	464,000.00
4	Interior Storefront and Glazing	Custom Glass	68,678.00
5	Caulking	Seal Co	22,388.00
6	Doors/Frames/Hardware	ABS	277,230.00
7	Overhead and Coiling Doors	Crawford Door Sales	5,590.00
8	Drywall, Fireproofing, Acoustical Ceiling Tile	American Wall Coverings	1,038,550.00
9	Ceramic Tile	Schumacher	110,953.00
10	Flooring	Designer Floors	182,354.00
11	Painting and Wallcoverings	Color Craft	95,600.00
12	Specialties	SBI	110,000.00
13	Access Flooring	Pac West Interiors	528,800.00
14	Window Coverings	Intergrated Ineriors	11,900.00
15	Operable Partitions	The Masonry Center	20,840.00
16	Audio/Visual	Budget	204,379.00
17	Fire Protection	Simplex Grinell	412,879.00
18	Plumbing	Buss	953,385.00
19	HVAC	Hobson Fabrication Corp	2,060,000.00
20	Electrical, Low Voltage, Fire Alarm	Tri State Electric	2,749,895.00
21	Telecommunications	TTE-PreCom	219,000.00
22	Security	Apex Integrated Security Solutions	84,695.00

T.I. and MEP's Total Bid Package	\$ 9,806,381.00
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Project:

MERIDIAN CITY HALL PROJECT

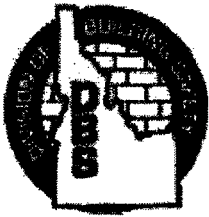
Bid Opening:

09-27-07 2:00 P.M.

PHASE III RE- BID PACKAGE NO:

16 Audio/Visual

BIDDER	AA Tronics			
PROPOSAL PROPERLY COMPLETED & SIGNED	Yes			
INCLUDED IDAHO PUBLIC WORKS LICENSE NUMBER	11295-A-4			
BID BOND ATTACHED	Yes			
SUBCONTRACTORS LISTED (If required)	N/A			
ADDENDUM - A	Yes			
ADDENDUM - B				
BID AMOUNT	204,379			



License Confirmation

Record Inquiry - Browsing

Bureau	PWC	Public Works Contractors Licensing
License Type	C	C - Contractor
License Number	11295	Status Active, Expires 05/31/08
License Issued	12/15/1971	Method UnAssigned 000000
Class		
Type(s) of Construction	A-4(16000, 13850, 16700)	
Company Name	Aatronics, Inc.	
Address 1	10 N Liberty St	
City/State/Zip	BOISE ID 83704	
Phone Number	(208) 343 - 0900	

The information on this website is provided for your convenience, if you have any questions or cannot find the license information that you are seeking, please contact the Division of Building Safety - 1090 E. Watertower St., Meridian, ID 83642. Ph:(208) 334-3950

Project:

MERIDIAN CITY HALL PROJECT

Bid Opening:

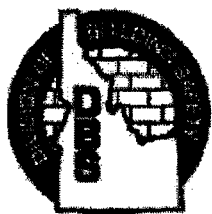
09-27-07 2:00 P.M.

PHASE III RE- BID PACKAGE NO:

22 Security

BIDDER	Apex	The Security Group		
PROPOSAL PROPERLY COMPLETED & SIGNED	Yes	Yes		
INCLUDED IDAHO PUBLIC WORKS LICENSE NUMBER	16018-B-4	12977		
BID BOND ATTACHED	Yes	Cashier's Check		
SUBCONTRACTORS LISTED (If required)	N/A	N/A		
ADDENDUM - A	Yes	Yes		
ADDENDUM - B				
BID AMOUNT	\$ 74,970	\$ 84,562		
ALTERNATE ADD	\$ 9,725	\$ 12,122		
TOTAL BID WITH ALTERNATE	\$ 84,695	\$ 96,684		

002674
PETRA86333



License Confirmation

Record Inquiry - Browsing

Bureau	PWC	Public Works Contractors Licensing
License Type	C	C - Contractor
License Number	16018	Status Active, Expires 05/31/08
License Issued	5/28/2004	Method UnAssigned 000000
Class		
Type(s) of Construction	B-4(13850, 16700, 16000)	
Company Name	Apex Integrated Security Solutions	
Address 1	5517 W Kendall	
City/State/Zip	BOISE ID 83706	
Phone Number	(208) 378 - 9650	

The information on this website is provided for your convenience, if you have any questions or cannot find the license information that you are seeking, please contact the Division of Building Safety - 1090 E. Watertower St., Meridian, ID 83642. Ph:(208) 334-3950

6/9/2008

Mr. Keith Watts
Meridian City Council
33 East Idaho Avenue
Meridian, Idaho 83642

Dear Mr. Watts,

It is Petra Inc.'s recommendation for Meridian City Council's consideration that the bids for Phase IV Plaza be accepted and awarded as follows:

Bid Package #1 – Interior Signage	M.R. Priest, Inc	\$ 42,954.29
	dba Advanced Sign & Design	

TOTAL AWARD: \$ 42,954.29

The company listed above is the apparent low bidder and all their paperwork is complete. Their Bond is current, Public Works number is on file and subcontractor listed above is qualified for the specific bid packages. Addendums No. 1 is noted and all alternates are verified.

If you have any questions, please feel free to call for discussion.

Best Regards,

Gene Bennett
Sr. Project Manager

002676
PETRA88421

ADVERTISEMENT FOR BIDS

**MERIDIAN CITY HALL
FINAL CLEANING**

Bid Date & Time: Sealed Bids for Final Cleaning will be received until 2:00 P.M.,
Tuesday, July 22nd, 2008 at the Meridian City Hall
33 East Idaho Avenue Meridian, Idaho 83642

OWNER: City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642

ARCHITECT: Lombard and Conrad Architects
1221 Shoreline Drive
Boise, Idaho 83702
(208) 345-6677 Fax: (208) 344-9002

CONSTRUCTION MANAGER: Petra, Incorporated
1097 N. Rosario Street
Meridian, Idaho 83642
(208) 323-4500 Fax: (208) 323-4507

Bid documents will be available through Petra, Incorporated commencing July 7, 2008.

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Keith Watts
Purchasing Agent
City of Meridian

**INVITATION TO BID
MERIDIAN CITY HALL (FINAL CLEAN)**

SEALED BIDS will be received at: Meridian City Hall
33 East Idaho Avenue
Meridian, Idaho 83642

Until 2:00 pm prevailing local time, **Tuesday, July 22, 2008**. Bids will be opened and publicly read aloud. Bids received after the aforementioned bid time of 2:00 pm will not be considered.

INSTRUCTION TO BIDDERS

1. Bids **must** be submitted on a copy of the bid forms provided.
2. Work to be awarded per bid package and description. All bids must be a lump sum basis for each designated bid package.
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4. **Performance and Payment Bonds** in the amount of one hundred percent (100%) of the Contract amount will be required within five (5) days after receipt of a properly prepared agreement between the Owner and the Contractor. Costs for bonds shall be included in contractor's bids. Material suppliers are not required to provide payment and performance bonds.
5. No bidder may withdraw bids after the hour set for opening thereof, or before award of Contract, unless award is delayed for a period of sixty (60) days.
6. The Owner reserves the right to waive irregularities and to reject any or all bids.
7. All questions regarding the bid process or scope of work must be directed to the Construction Manager in writing and must be received **NO LATER THAT FIVE (5) WORKING DAYS PRIOR TO BID OPENING**. Questions received after this date will not be considered.

City of Meridian, Petra, Incorporated, or Lombard and Conrad Architects will not be responsible for verbal interpretations. Questions will be answered by written addenda and be mailed, faxed, or e-mailed to all Bidders. All addenda issued during the bid period will be incorporated into the contract. Addenda issued prior to bidding shall be acknowledged on the Bid Form. Failure to acknowledge addenda may be cause for rejection of bid as non-responsive.

8. All work shall be performed under Title 54, Chapter 19 of the Idaho Code governing Public Works Contracts. Each bidder shall identify their Public Works Contractors State License Number and Idaho Contractor's Registration Number, including expiration dates, in the spaces provided on the Bid Form.

Submit questions in writing and mail, fax or email to:

Petra, Incorporated (Primary Contact)	Lombard and Conrad (Secondary Contact)
Attn: Tom Coughlin	Attn: Steve Simmons
1097 N. Rosario Street	1221 Shoreline Drive
Meridian, Idaho 83642	Boise, Idaho 83702
FAX: (208) 323-4507	FAX: (208) 344-9002
tcoughlin@petrainc.net	ssimmons1@lcarch.com

July 28, 2008

Mr. Keith Watts
City Of Meridian
33 East Idaho Ave
Meridian, ID 83642

Re: Contractor Recommendation
Final Cleaning Bid Package
Meridian City Hall

Dear Mr. Watts

It is Petra Inc.'s recommendation for Meridian City Council's consideration that the bids for the Final Cleaning Package be accepted and awarded as follows:

Final Cleaning	ABM Janitorial	\$ 13,900
----------------	----------------	-----------

The company listed is the apparent low bidder and all their paperwork is complete. The bid security is current, public works number on file and they are qualified to perform the scope of work listed. Addendum #1 is acknowledged. In addition we have reviewed the scope of work with representatives of ABM Janitorial during a project visit and they have confirmed they have included a full & complete scope.

If you have any questions please contact us.

Sincerely

Thomas R. Coughlin
Project Manager

	A	B	D	E	F	
1	Project:	MERIDIAN CITY HALL PROJECT Phase				
2	Bid Opening:	July 22, 2008				
3	PHASE IV BID PACKAGE:	FINAL CLEANING				
4						
5						
6	BIDDER	A	B	C	D	E
7	PROPOSAL PROPERLY COMPLETED & SIGNED	ABM Jantorial	American Cleaning Service	Western Building Maintenance		
8	INCLUDED IDAHO PUBLIC WORKS LICENSE NUMBER	Yes	Yes	Yes		
9	BID BOND ATTACHED	15996-A-4	17150-B-4	13499-B-4		
10	SUBCONTRACTORS LISTED (if required)	Yes	Yes	Yes		
11	ADDENDUM - 1	None Listed	None Listed	None Listed		
12	ADDENDUM -	Yes	Yes	Yes		
13	ADDENDUM -					
14	ADDENDUM -					
15	BID AMOUNT	\$13,900.00	\$59,850.00	\$35,800.00		
16						
17	Apparent Low Bid Contractor	ABM Jantorial				
18	Apparent Low Bid Amount	\$13,900.00				
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29	Yes					
30	No					

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Bid Pkg Fnl Cln

2

PETRA86236

002681

ADVERTISEMENT FOR BIDS

MERIDIAN CITY HALL

Bid Date & Time: Phase IV, Sealed Bids will be received until 2:00 P.M., Thursday, November 29, 2007 at the Meridian City Hall 33 East Idaho Avenue Meridian, Idaho 83642

OWNER: City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642

ARCHITECT: Lombard and Conrad Architects
1221 Shoreline Drive
Boise, Idaho 83702
(208) 345-6677 Fax: (208) 344-9002

CONSTRUCTION MANAGER: Petra, Incorporated
1097 N. Rosario St.
Meridian, Idaho 83642
(208) 323-4500 Fax: (208) 323-4507

Construction documents will be available through Petra, Incorporated commencing November 5, 2007. \$ 250.00 deposit is required for the Meridian City Hall Plan Set. (Deposit refundable for plans returned in original condition). Electronic PDF files are available for a non-refundable deposit of \$ 50.00.

All Contractors are required to have a current Idaho Public Works License, commensurate with the size of the contract, and a current Idaho Contractor's Registration Number. Each bid must be accompanied by a certified or a cashier's check on an Idaho Bank, or bid bond, with an Idaho State-Licensed Surety Company as Surety, in the amount of five percent (5%) of the total bid, made payable to "City of Meridian".

Keith Watts
Purchasing Agent
City of Meridian

**INVITATION TO BID
MERIDIAN CITY HALL (PHASE IV)**

SEALED BIDS will be received at:

Meridian City Hall
33 East Idaho Avenue
Meridian, Idaho 83642

Until 2:00 pm prevailing local time, **Thursday, November 29, 2007**. Bids will be opened and publicly read aloud. Bids received after the aforementioned bid time of 2:00 pm will not be considered.

INSTRUCTION TO BIDDERS

1. Bids **must** be submitted on a copy of the bid forms provided.
2. Work to be awarded per bid package and description. All bids must be a lump sum basis for each designated bid package.
3. All Bidders must provide **bid security** in the amount of five percent (5%) of the base bid in accordance with the Instructions to Bidders, made payable to the **City of Meridian**.
4. **Performance and Payment Bonds** in the amount of one hundred percent (100%) of the Contract amount will be required within five (5) days after receipt of a properly prepared agreement between the Owner and the Contractor. Costs for bonds shall be included in contractor's bids. Material suppliers are not required to provide payment and performance bonds.
5. No bidder may withdraw bids after the hour set for opening thereof, or before award of Contract, unless award is delayed for a period of sixty (60) days.
6. The Owner reserves the right to waive irregularities and to reject any or all bids.
7. All questions regarding the bid process or scope of work must be directed to the Construction Manager in writing and must be received **NO LATER THAT FIVE (5) WORKING DAYS PRIOR TO BID OPENING**. Questions received after this date will not be considered.

City of Meridian, Petra, Incorporated, or Lombard and Conrad Architects will not be responsible for verbal interpretations. Questions will be answered by written addenda and be mailed, faxed, or e-mailed to all Bidders. All addenda issued during the bid period will be incorporated into the contract. Addenda issued prior to bidding shall be acknowledged on the Bid Form. Failure to acknowledge addenda may be cause for rejection of bid as non-responsive.

8. All work shall be performed under Title 54, Chapter 19 of the Idaho Code governing Public Works Contracts. Each bidder shall identify their Public Works Contractors State License Number and Idaho Contractor's Registration Number, including expiration dates, in the spaces provided on the Bid Form.

Submit questions in writing and mail, fax or email to:

Petra, Incorporated (Primary Contact)
Attn: Wes Bettis Jr.
1097 N Rosario St
Meridian, Idaho 83642
FAX: (208) 323-4507
wbettis@petrainc.net

Lombard and Conrad (Secondary Contact)
Attn: Steve Simmons
1221 Shoreline Drive
Boise, Idaho 83702
FAX: (208) 344-9002
ssimmons1@lcarch.com

	A	B	C	D
1				
2		MERIDIAN CITY HALL PROJECT Phase IV Community Plaza and Site Improvements		
3		11/29/2007		
4		Bid Package Summary		
5				
6				
7		Bid Package	Contractor	Amount
8	1	Sitework	Terra West	338,000.00
9	2	Landscaping	Sunshine Landscape	199,878.75
10	3	Water Feature and Plaza Structures		
11	4	Masonry and Stone	Alpha Masonry Inc	194,585.00
12	5	Metal Fabrications and Railings	KB Fabrication and Welding	130,450.00
13	6	Mechanical	Paige Mechanical Group	29,084.00
14	7	Electrical	Tri State Electric	344,090.00
15	8			
16	9			
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31				
32		Community Plaza and Site Improvements		\$ 1,235,867.75

4/3/2007 11:13:35 AM

Summary

1

PETRA86168

002684

December 12, 2007

Meridian City Council
33 East Idaho Avenue
Meridian, Idaho 83642

It is Petra Inc.'s recommendation for Meridian City Council's consideration that the bids for Phase IV Plaza be accepted and awarded as follows:

Bid Package #1 - Sitework	Terra West	\$ 338,000.00
Bid Package #2 - Landscaping	Sunshine Landscape	\$ 199,678.75
Bid Package #4 - Masonry	Alpha Masonry	\$ 194,585.00
Bid Package #5 - Metal	KB Fabrication	\$ 130,450.00
Bid Package #6 - Mechanical	Paige Mechanical Group	\$ 29,064.00
<u>Bid Package #7 - Electrical</u>	<u>Tri State Electric</u>	<u>\$ 344,090.00</u>

TOTAL AWARD: \$ 1,235,867.75

The companies listed above are the apparent low bidder and all their paperwork is complete. All Bonds are current, Public Works numbers on file and subcontractors listed above are qualified for specific bid packages. Addendum No. 1 is noted and all alternates are verified.

If you have any questions, please feel free to call for discussion.

Best Regards,

Gene Bennett
Sr. Project Manager

	A	B	D
1			
2	MERIDIAN CITY HALL - COMMUNITY PLAZA AND SITE		
3	March 27, 2008 - 2:00 p.m.		
4	Bid Package Summary		
5			
6			
7		Bid Package	Contractor
8			Amount
9	1	Sitework (Awarded)	Terra West 338,000.00
10	2	Landscaping (Awarded)	Sunshine Landscape 199,678.75
11	3	Water Feature	0 88,650.00
12	4	Masonry and Stone (Awarded)	Alpha Masonry Inc 194,585.00
13	5	Metal Fabrications and Railings (Awarded)	KB Welding 130,450.00
14	6	Mechanical (Awarded)	Paige Mechanical Group 29,064.00
15	7	Electrical (Awarded)	Tn State Electric 344,080.00
16	8	Carpentry/Building Insulation/Gypsum Assemblies	0 8,400.00
17	9	Roofing and Flashing	0 10,495.00
18	10	Doors/Frames/Hardware/Specialties	0 0.00
19	11	Moisture Protection and Waterproofing	0 3,028.00
20	12	Painting	0 11,400.00
21	13	Concrete	0 296,200.00
22	14	Unit Concrete Pavers	0 75,462.00
23			
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30			
31			
32	T.I. and MEP's Total Bid Package		\$ 1,740,502.75



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

April 4, 2008

Mr. Keith Watts
Meridian City Council
33 East Idaho Avenue
Meridian, Idaho 83642

Dear Mr. Watts,

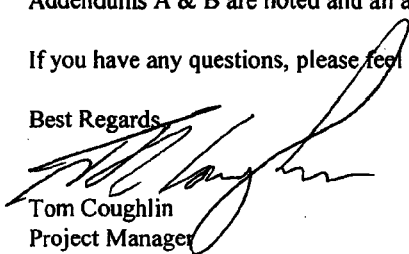
It is Petra Inc.'s recommendation for Meridian City Council's consideration that the bids for Phase IV Plaza be accepted and awarded as follows:

Bid Package #3- Water Feature	M.R. Miller, Inc.	\$216,775.00
Bid Package #8- Carpentry/Building Insulations/Gypsum Assemblies	American Wallcover	\$ 8,400.00
Bid Package #9- Roofing/Flashing	ProTec Roofing, Inc.	\$ 10,495.00
Bid Package #11- Moisture Protection & Waterproofing	Seal Co.	\$ 3,028.00
Bid Package #12- Painting	Commercial Painting	\$ 11,400.00
Bid Package #13- Concrete	Axelsen Concrete	\$296,200.00
Bid Package #14- Concrete Unit Pavers	Cobblestone Construction	\$ 75,462.00
TOTAL AWARD:		\$621,760.00

The companies listed above are the apparent low bidder and all their paperwork is complete. All Bonds are current, Public Works numbers on file and subcontractors listed above are qualified for specific bid packages. Addendums A & B are noted and all alternates are verified.

If you have any questions, please feel free to call for discussion.

Best Regards


Tom Coughlin
Project Manager

ADVERTISEMENT FOR BIDS

**MERIDIAN CITY HALL
PHASE V – EAST PARKING LOT**

Bid Date & Time: Sealed Bids for Phase V will be received until 2:00 P.M., Tuesday, August 28, 2008 at the Meridian City Hall
33 East Idaho Avenue Meridian, Idaho 83642

OWNER: City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642

ARCHITECT: Lombard and Conrad Architects
1221 Shoreline Drive
Boise, Idaho 83702
(208) 345-6677 Fax: (208) 344-9002

CONSTRUCTION MANAGER: Petra, Incorporated
1097 N. Rosario Street
Meridian, Idaho 83642
(208) 323-4500 Fax: (208) 323-4507

Bid documents will be available through Petra, Incorporated commencing August 14, 2008. \$250.00 deposit is required for the Meridian City Hall Plan Set. (Deposit is refundable for plans returned in original condition.) Electronic PDF files are available for a non-refundable payment of \$50.00.

All Contractors are required to have a current Idaho Public Works License, commensurate with the size of the contract, and a current Idaho Contractor's Registration Number. Each bid must be accompanied by a certified or a cashier's check on an Idaho Bank, or bid bond, with an Idaho State-Licensed Surety Company as Surety, in the amount of five percent (5%) of the total bid, made payable to "City of Meridian".

Keith Watts
Purchasing Agent

**INVITATION TO BID
MERIDIAN CITY HALL (PHASE V)**

SEALED BIDS will be received at:

Meridian City Hall
33 East Idaho Avenue
Meridian, Idaho 83642

Until 2:00 pm prevailing local time, **Thursday August 28, 2008**. Bids will be opened and publicly read aloud. Bids received after the aforementioned bid time of 2:00 pm will not be considered.

INSTRUCTION TO BIDDERS

1. Bids **must** be submitted on a copy of the bid forms provided.
2. Work to be awarded per bid package and description. All bids must be a lump sum basis for each designated bid package.
3. **All Bidders** must provide **bid security** in the amount of five percent (5%) of the base bid in accordance with the Instructions to Bidders, made payable to the **City of Meridian**.
4. **Performance and Payment Bonds** in the amount of one hundred percent (100%) of the Contract amount will be required within five (5) days after receipt of a properly prepared agreement between the Owner and the Contractor. Costs for bonds shall be included in contractor's bids. Material suppliers are not required to provide payment and performance bonds.
5. No bidder may withdraw bids after the hour set for opening thereof, or before award of Contract, unless award is delayed for a period of sixty (60) days.
6. The Owner reserves the right to waive irregularities and to reject any or all bids.
7. All questions regarding the bid process or scope of work must be directed to the Construction Manager in writing and must be received **NO LATER THAT FIVE (5) WORKING DAYS PRIOR TO BID OPENING**. Questions received after this date will not be considered.

City of Meridian, Petra, Incorporated, or Lombard and Conrad Architects will not be responsible for verbal interpretations. Questions will be answered by written addenda and be mailed, faxed, or e-mailed to all Bidders. All addenda issued during the bid period will be incorporated into the contract. Addenda issued prior to bidding shall be acknowledged on the Bid Form. Failure to acknowledge addenda may be cause for rejection of bid as non-responsive.

8. All work shall be performed under Title 54, Chapter 19 of the Idaho Code governing Public Works Contracts. Each bidder shall identify their Public Works Contractors State License Number and Idaho Contractor's Registration Number, including expiration dates, in the spaces provided on the Bid Form.

Submit questions in writing and mail, fax or email to:

Petra, Incorporated (Primary Contact)

Attn: Tom Coughlin
1097 N. Rosario Street
Meridian, Idaho 83642
FAX: (208) 323-4507
tcoughlin@petrainc.net

Lombard and Conrad (Secondary Contact)

Attn: Steve Simmons
1221 Shoreline Drive
Boise, Idaho 83702
FAX: (208) 344-9002
ssimmons1@lcarch.com

	A	B	C	D
1				
2		MERIDIAN CITY HALL - PHASE V EAST PARKING LOT		
3		August 28, 2008 - 2:00 p.m.		
4		Bid Package Summary		
5				
6				
7		Bid Package	Contractor	Amount
8	1			
9	2			
10	3	BPR1 Sitework	Terra-West	127,900.00
11	8	BPR2 - Concrete	Axelsen	28,720.00
12	9	BPR3 - Landscaping	Sunshine Landscape	57,317.37
13	11	BPR4 - Electrical	Tri State Electric	67,540.00
14	12			
15	13			
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27		Phase V East Parking Lot Total Bid Package		\$ 281,477.37

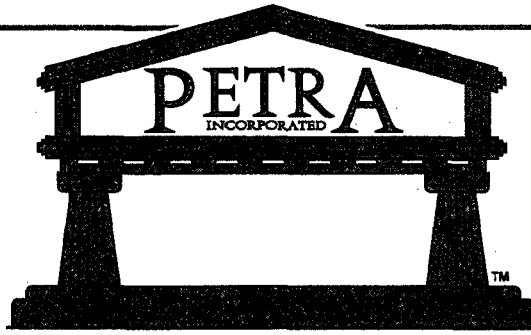
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Summary

1

PETRA87293

002690



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

Date: June 12, 2008
To: Keith Watts, Purchasing Manger, City Of Meridian
From: Tom Coughlin, Project Manager
Re: City Issues
Meridian City Hall

In response to the conversation during the last Mayors Meeting Petra has prepared the following outline to help the parties involved understand when decisions need to be made to avoid further impacts, either time or cost, to the project.

- Phone System Equipment – The city phone system equipment needs to be installed by Sept 1st to avoid disrupting the commission and LEED checkout period.
- Phone Jacks – The type and quantity of the phone jacks needs to be finalized. The phone jack installation should be in progress currently ahead of the carpet install. Carpet installation is scheduled to start on the first floor on 6/23, with the other floors following in roughly 2-3 week intervals.
- Furniture Layouts – Layouts where needed by 6/6 to avoid the potential of having to relocate elec/comm floor boxes or HVAC supply or return grilles. Installation is currently proceeding based on the preliminary layout shown on the construction documents.
- Additional TV Locations – These need to be added prior to the ceiling tile being dropped. Ceiling tile installation starts on the 1st floor on 6/16.
- Wireless Computer Network – This equipment needs to be installed above the ceiling prior to the ceiling tile being dropped. Ceiling tile installation starts on the 1st floor on 6/16.
- Site Clock – Need to have the location and model no verified by 7/1.
- Plaza Medallion – Need to have the status of the medallion verified by 7/1; i.e. is it going to be included in the job or not. To avoid disrupting construction the medallion should be on-site ready to install on or about 9/8.
- East Parking Lot – In order to have the East Parking Lot ready complete by 10/15 construction would need to start by 8/1 and documents ready to bid by 7/1.

With any of these items there are solutions available to get the work completed by the City's occupancy date if the initial milestone dates are not met but in the majority of cases these solutions would involve addition cost or time. This would include overtime, out of sequence work, extra work or shift work, additional cleaning and protection of completed work. As stated previously the schedule is extremely aggressive for this type of building with the LEED and commissioning requirements. The addition of out of sequence work or additional work adds to the complexity and the degree of difficulty. Petra remains committed to completing the building by the 10/15 schedule date but we are at the stage where all the members of the team need to have their eye on the date and due what is needed to get all the parts in place in order to meet the goal.

CC: Gene Bennett - Petra Inc.
Jack Vaughn – Petra Inc.
Steve Simmons – LCA

EXHIBIT

19

REQUEST FOR BIDS

CITY OF MERIDIAN

CITY HALL ADMIN BUILDING (PHASE III) Tennant Improvements Bid Date & Time: Sealed Bids for Seven (7) packages (listed below) will be received until 2:00 PM (MDT) Thursday, November 29, 2007 at Meridian City Hall, City Clerks Office, 33 East Idaho Avenue, Meridian, Idaho 83642.

OWNER:

**City of Meridian
33 East Idaho Avenue
Meridian, Idaho 83642
(208) 888-4433 Fax: (208) 887-4813**

ARCHITECT:

**LCA Architects
1221 Shoreline Dr
Boise, Idaho 83702
(208) 345-6677 Fax: (208) 344-9002**

CONSTRUCTION MANAGER:

**Petra Incorporated
109 N. Rosario St.
Meridian, Idaho 83642
(208) 323-4500 Fax: (208) 323-4507**

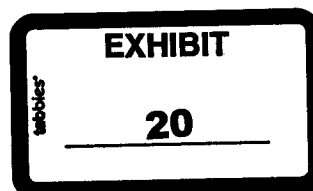
Plans, specifications, bid forms, bidder's instructions, contract documents, and general and special instructions for an approximately 80,000 square foot, Plaza with water features, plus restroom/equipment building, landscaping, site work, streetscape improvements and parking lot construction with asphalt paving will be available from the **Construction Manager Petra Incorporated, the AGC, Dodge Reports, or the City of Meridian Office of the City Clerk**, beginning Monday October 29, 2007. A \$250.00 (refundable) deposit is required and a shipping and Handling fee will be charged for all sets shipped. All Contractors are required to have a current Idaho Public Works License commensurate with the size of the contract (bid amount) and current Idaho Contractors Registration. Both Contractors and Suppliers shall submit a bid bond in the amount of 5% of their total bid.

The 7 Bid Packages in this Phase III Bid are as follows:

1. Sitework
2. Landscaping
3. Water Features & Plaza Structures
4. Masonry and Stone
5. Metal Fabrications and Railings
6. Mechanical
7. Electrical

**A pre-bid meeting will be held at the job site located at 33 East Broadway, Meridian (one block south of existing City Hall) Thursday, November 15, 2007 at 2:00 PM.
PUBLISH: 11/05/07 and 11/12/07**

AB1



002692
PETRA88377

December 12, 2007

Meridian City Council
33 East Idaho Avenue
Meridian, Idaho 83642

It is Petra Inc.'s recommendation for Meridian City Council's consideration that the bids for Phase IV Plaza be accepted and awarded as follows:

Bid Package #1 - Sitework	Terra West	\$ 338,000.00
Bid Package #2 - Landscaping	Sunshine Landscape	\$ 199,678.75
Bid Package #4 - Masonry	Alpha Masonry	\$ 194,585.00
Bid Package #5 - Metal	KB Fabrication	\$ 130,450.00
Bid Package #6 - Mechanical	Paige Mechanical Group	\$ 29,064.00
Bid Package #7 - Electrical	Tri State Electric	\$ 344,090.00
TOTAL AWARD:		\$ 1,235,867.75

The companies listed above are the apparent low bidder and all their paperwork is complete. All Bonds are current, Public Works numbers on file and subcontractors listed above are qualified for specific bid packages. Addendum No. 1 is noted and all alternates are verified.

If you have any questions, please feel free to call for discussion.

Best Regards,

Gene Bennett
Sr. Project Manager

002693
PETRA88423



GENERAL CONTRACTORS & CONSTRUCTION MANAGEMENT

April 4, 2008

Mr. Keith Watts
Meridian City Council
33 East Idaho Avenue
Meridian, Idaho 83642

Dear Mr. Watts,

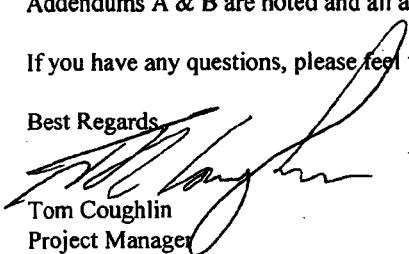
It is Petra Inc.'s recommendation for Meridian City Council's consideration that the bids for Phase IV Plaza be accepted and awarded as follows:

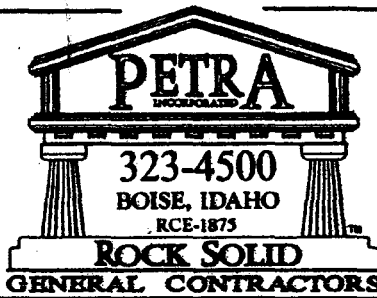
Bid Package #3- Water Feature	M.R. Miller, Inc.	\$216,775.00
Bid Package #8- Carpentry/Building Insulations/Gypsum Assemblies	American Wallcover	\$ 8,400.00
Bid Package #9- Roofing/Flashing	ProTec Roofing, Inc.	\$ 10,495.00
Bid Package #11- Moisture Protection & Waterproofing	Seal Co.	\$ 3,028.00
Bid Package #12- Painting	Commercial Painting	\$ 11,400.00
Bid Package #13- Concrete	Axelsen Concrete	\$296,200.00
Bid Package #14- Concrete Unit Pavers	Cobblestone Construction	\$ 75,462.00
TOTAL AWARD:		\$621,760.00

The companies listed above are the apparent low bidder and all their paperwork is complete. All Bonds are current, Public Works numbers on file and subcontractors listed above are qualified for specific bid packages. Addendums A & B are noted and all alternates are verified.

If you have any questions, please feel free to call for discussion.

Best Regards,


Tom Coughlin
Project Manager



RFP 1
ITEM #41

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall
Project No: 06-0675

Date: 9/10/2009
Page: 1 of 271

Date	Number	Re:	To	Attention	From	Signed
7/6/2006	00001	RFP Fencing	Amici Fence	Mike Thompson	Petra Incorporated	Wes Batts

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2006			RFP for Construction Fencing	NEW

Remarks:

7/6/2006	00002	RFP Fencing	Cascade Fence	Gary Winget	Petra Incorporated	Wes Batts
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ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2006			RFP for Construction Fencing	NEW

Remarks:

7/6/2006	00003	RFP Fencing	Meridian Fence Company	Chris Odegaard	Petra Incorporated	Wes Batts
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ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2006			RFP for Construction Fencing	

Remarks:

7/6/2006	00004	RFP Fencing	Sloan Fencing & Construction	Collin Sloan	Petra Incorporated	Wes Batts
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ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2006			RFP for Construction Fencing	NEW

Remarks:

8/23/2006	00005	IPCO Estimate	City of Meridian	Keith Watts	Petra Incorporated	Wes Batts
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Contract

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/16/2006			Set of Idaho Power Co. service reroute & demo for City Hall Site.	OPN

Remarks:

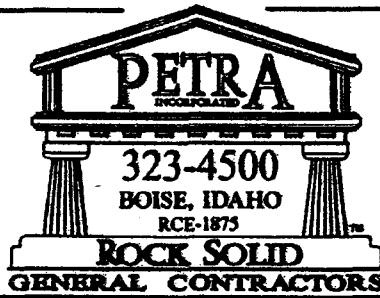
10/10/2006	00006	Abatement	City of Meridian	Keith Watts	Petra Incorporated	Wes Batts
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Demolition

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/10/2006			Drum Sampling Investigation for Meridian Creamery by MTI	NA
2	1	5/1/2005			Safety Program -- Wrecking & Demolition Work Ideal Demolition Services	NA

Remarks: Item 1 for your review and comment. Item 2 returned after review, per your request.





1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

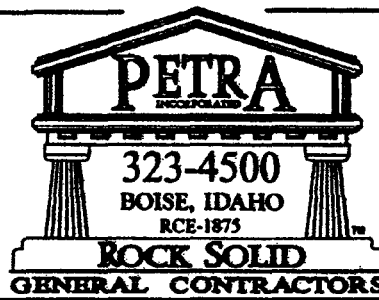
Project No: 06-0675

Page: 5 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Please sign and date below your receipt of these plans and return the 'file' copy to the receptionist at our office. Thank you.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

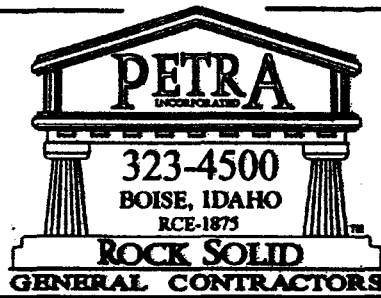
Page: 7 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Please sign and date below your receipt of these plans and return the 'file' copy to the receptionist at our office. Thank you.

Due 2/5/2007, 3:00 P.M.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

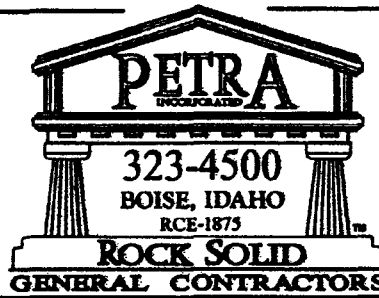
Page: 9 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Please sign and date below your receipt of these plans and return the 'file' copy to the receptionist at our office. Thank you.

Due 2/5/2007, 3:00 P.M.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

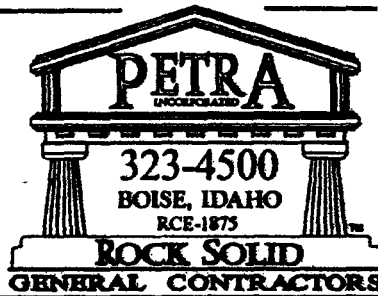
Date: 9/10/2009

Project No: 06-0675

Page: 11 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks: Due 2/5/2007, 3:00 P.M.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

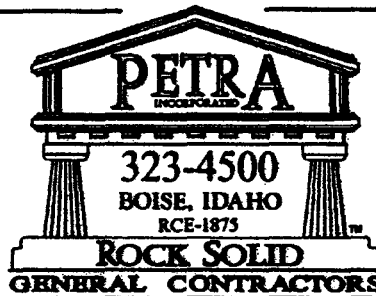
Page: 13 of 271

Date	Number	Re:	To	Attention	From	Signed
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Supply

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

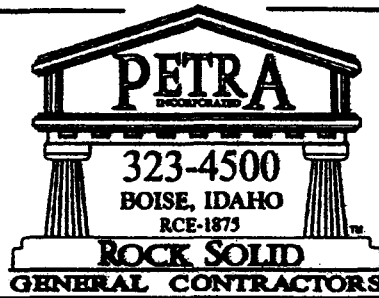
Project No: 06-0675

Page: 17 of 271

Date	Number	Re:	To	Attention	From	Signed
1/29/2007	06-0675	06-0675	06-0675	06-0675	06-0675	06-0675

Protection

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007			Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
2	1	1/29/2007			Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

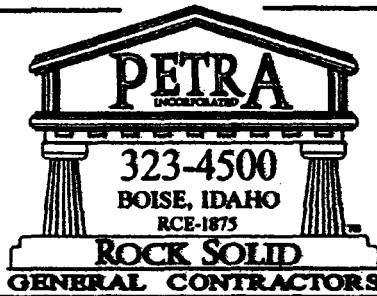
Project No: 06-0675

Page: 23 of 271

Date	Number	Re:	To	Attention	From	Signed
9/10/2009	002708					

Products

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

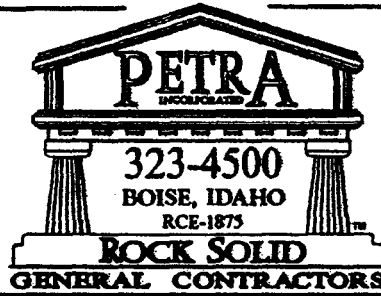
Date: 9/10/2009

Project No: 06-0675

Page: 25 of 271

Date	Number	Re:	To	Attention	From	Signed
[REDACTED]						

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007			Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.05	
2	1	1/29/2007			Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E1.02, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
2/1/2007	100391	Meridian City Hall	QWEST	Meridian City Hall	Petra Incorporated	W. Beall

Hall

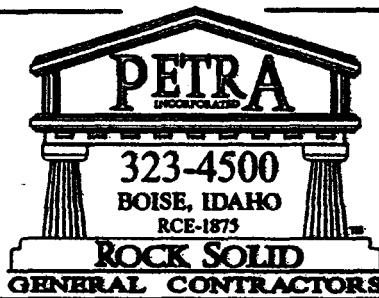
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/31/2007				Check for services to re-route the Qwest 100 pr cable to the South side of the City Hall site in Meridian.	NEW

Remarks:

Please sign and date below to acknowledge receipt of this transmittal and its contents. Return the file copy to the receptionist for our records.

Signed _____

Date _____



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Due 2/5/2007, 3:00 P.M.

~~2/2/2007 0035 MCE SERVA INC INC 11000000 Petra Incorporated Kevin Johnson~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007			Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	

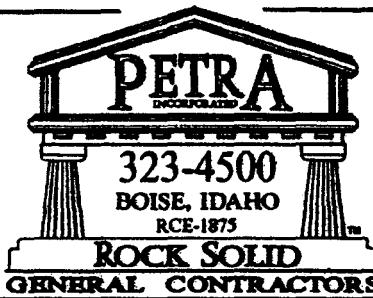
Remarks:

Due 2/5/2007, 3:00 P.M.

~~2/5/2007 0035 Meridian City Mountain Power Electrical Kevin Perez Petra Incorporated Wade Bell~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/22/2007	SDS		Conceptual Design Electrical Cut Sheets	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

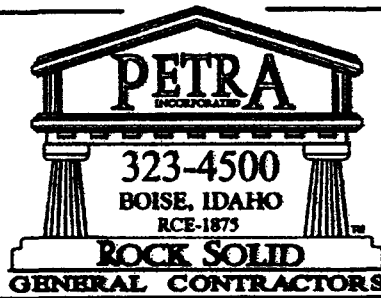
Project No: 06-0675

Page: 33 of 271

Date	Number	Re:	To	Attention	From	Signed
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~~2007-09-10 10:37 AM SENT TO MERIDIAN CITY HALL FROM PETRA INCORPORATED~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
2	1	1/29/2007			Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E1.02, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 35 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Due 2/5/2007, 3:00 P.M.

~~2/20/2007 00033 Meridian City - City of Meridian - Brad Lee for Petra, Inc. Incorporated - Local Public~~

Hall

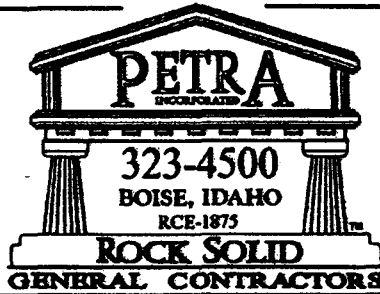
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	2/16/2007				Electrical Engineering Plan Review for Value Meeting Minutes	NA
2	1	2/19/2007				Mechanical Engineering Plan Review for Value Meeting Minutes	NA
3	1					Draft AIA Document A101/CMA-1992 Agreement Between Owner and Contractor	NA
4	1					Draft AIA Document A201/CMA - 1992 General Conditions of the Contract for Construction.	NA

Remarks:

Brad:

Items 1 & 2 are for your records regarding meetings Petra has held with the Electrical and Mechanical Engineers for the Meridian City Hall project to review design and look at cost per value options that may be available to the City.

Items 3 & 4 are for your transmittal to Ted Baird to be passed along to Frank Lee as standard contract forms that Petra has and is utilizing on Public Works Construction Management projects for school district work, as requested by Mr. Lee.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 37 of 271

Date Number Re: To Attention From Signed

Remarks:

~~3/1/2007 00001 February City of Meridian Keith Witt Petra Incorporated West Bend~~

Payment App

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/1/2007				Application and Certificate For Payment	NA

Remarks: Keith:

Attached is the billing for the Month of February, including reimbursible monthly expenses.

If you have any questions or require additional information, please contact me at your convenience.

~~3/7/2007 00001 MCH Phase II Petra Incorporated West Bend Petra Incorporated West Bend~~

II-Set 01

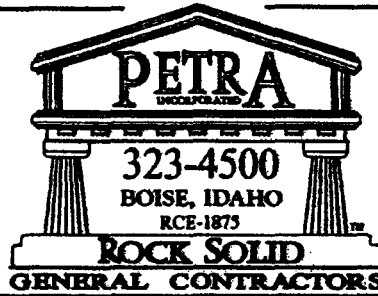
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

II-Set 38

Determined

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

~~3/7/2007 00045 MCH Phase City of Meridian RCE Boise City of Meridian Keith Wans~~

II-Set 37

Determined

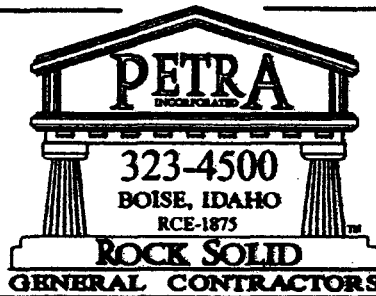
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

3/7/2007 00431481 PH: City of Meridian To: Bob City of Meridian Keith Wall

II-Set 34

Determined

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

3/7/2007 00431481 PH: City of Meridian To: Bob City of Meridian Keith Wall

II-Set 33

Determined

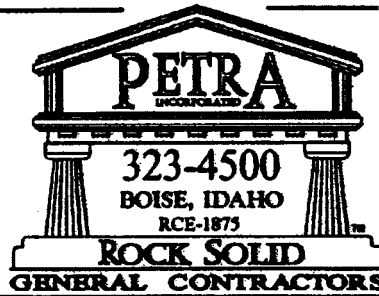
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 45 of 271

Date	Number	F.a:	To	Attention	From	Signed
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II-Set 03 Const./Dodge/Plan Room

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

~~3/8/2007 100571 NCHB Boise, Idaho AGC Boise Jennifer Larsen Petra Incorporated Adam Johnson~~

II-Set 04

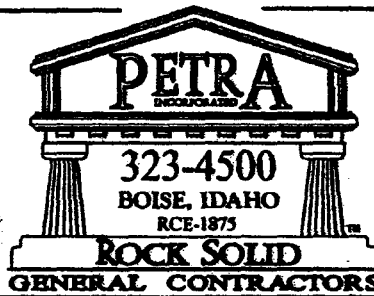
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required: No Depsit to Idaho AGC Plan Room

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/8/2007	000004	110-110-110-110	110-110-110-110	110-110-110-110	110-110-110-110	110-110-110-110

II-Set 26

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

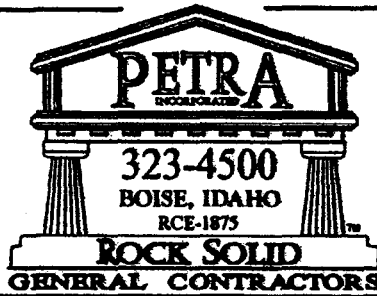
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/9/2007	00069	MCH Phase II Architectural Building	Bryce Cronin	Petra Incorporated	Adam Johnson	

II-Set 12

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

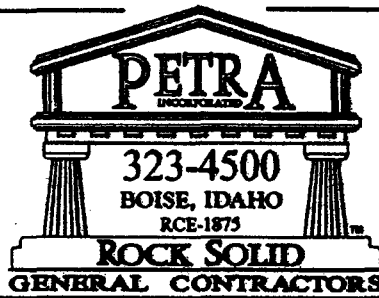
3/9/2007	00069	MCH Phase II Architectural Building	Bryce Cronin	Petra Incorporated	Adam Johnson
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II-Set 10 Supply

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

3/9/2007 0007 MCE-19-0000 American Wallcoverings, Inc. 323-4500 Petra Incorporated Adams, Doreen

II-Set 19

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

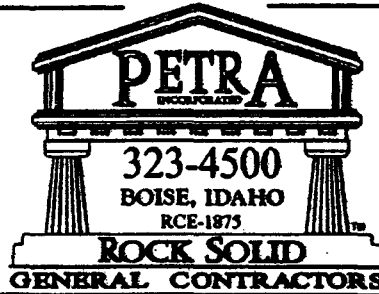
3/9/2007 0007 MCE-19-0000 Interiors Systems, Inc. 323-4500 Petra Incorporated Adams, Doreen

II-Set 20

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
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2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/7/2007 00076 MCHP~~

II-Set 18

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

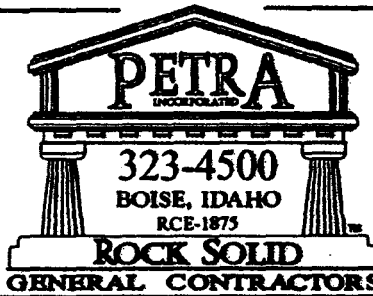
~~3/7/2007 00076 MCHP~~

II-Set 7

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

3/7/2007 000811 CH PH II-Set 8 Adam John

II-Set 8

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

3/7/2007 000811 CH PH II-Set 14 Adam John

II-Set 14

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/7/2007 0008 MCH Phase II-CD#3~~ ~~Petra Incorporated~~ ~~Jon Anderson~~ ~~Petra Incorporated~~ ~~Adam Johnson~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

~~3/7/2007 0008 MCH Phase II-Set 52~~ ~~Petra Incorporated~~ ~~Jon Anderson~~ ~~Petra Incorporated~~ ~~Adam Johnson~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/7/2007	00088	Meridian City Hall Phase II	Camaron Corporation, Inc.	Camaron Corporation, Inc.	Camaron Corporation, Inc.	Adam Johnson

II-Set 43

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

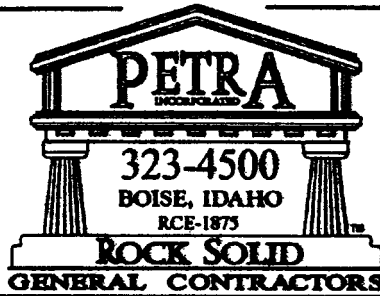
Date	Number	Re:	To	Attention	From	Signed
3/7/2007	00089	Meridian City Hall Phase II	Rock Solid Contractors	Rock Solid Contractors	Rock Solid Contractors	Adam Johnson

II-Set 47

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

II-Set 48

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)

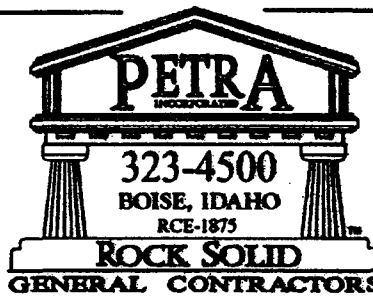
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II-Set 45

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/16/2007	0009	MCH Phase II-CD#3	SKS Steel Corporation	William Koehn	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Date	Number	Re:	To	Attention	From	Signed
3/16/2007	0009	MCH Addendum	McGraw-Hill	Jon Sprad	Petra Incorporated	Wes Bell

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
3/16/2007	0009	MCH Addendum	Rank AG	Jennifer Larsen	Petra Incorporated	Wes Bell

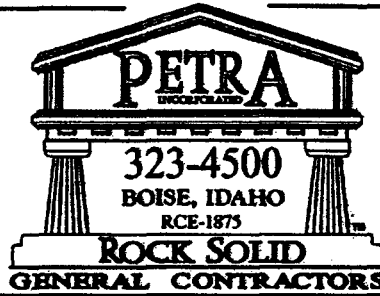
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
3/16/2007	0009	MCH Addendum	Rank AG	Mike Apostol	Petra Incorporated	Wes Bell

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/16/2007 001105 MCE Addendum A- Specifications Building William Koch Petra Incorporated Adam Johnson~~

A Supply Lawrence

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

~~3/16/2007 001105 MCE Addendum A- Specifications Building William Koch Petra Incorporated Adam Johnson~~

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

~~3/16/2007 001105 MCE Addendum Gentile Masonry Eddie Gentile Petra Incorporated Adam Johnson~~

A

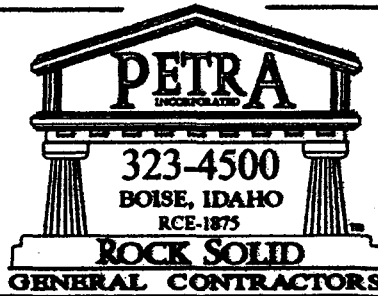
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 69 of 271

Date Number Re: To Attention From Signed

3/15/2007 001124 MCB Addendum #1 to System Bill Kestler PETRA Incorporated Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:

3/15/2007 001124 MCB Addendum #1 to System Bill Kestler PETRA Incorporated Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:

3/15/2007 001124 MCB Addendum #1 to System Mike Nishi PETRA Incorporated Adam Johnson

A

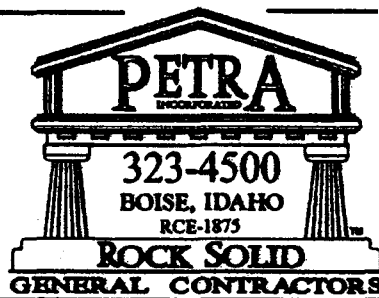
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 73 of 271

Date	Number	Re:	To	Attention	From	Signed
3/15/2007	00128	MC# Addendum	Boise State Building	Steve Johnson	Petra Incorporated	Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:

3/15/2007	00128	MC# Addendum	Boise State Building	Steve Johnson	Petra Incorporated	Adam Johnson
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A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:

3/15/2007	00130	MC# Addendum	Agri-Natura Building	Steve Johnson	Petra Incorporated	Adam Johnson
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A

Supply

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

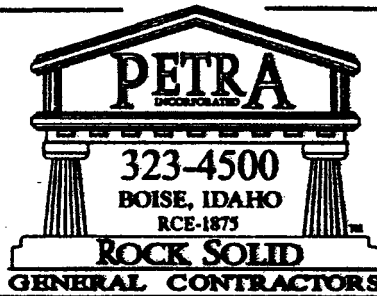
Remarks:

3/15/2007	00131	MC# Addendum	Agri-Natura Building	Steve Johnson	Petra Incorporated	Adam Johnson
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A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 75 of 271

Date	Number	Re:	To	Attention	From	Signed
3/19/2007	00135	MCH Addendum	Project Hood	Scott Colburn	Petra Incorporated	Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
3/19/2007	00136	MCH Phase II	EC-18	Doc Butwinke	Petra Incorporated	Adam Johnson

II-CD#18

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

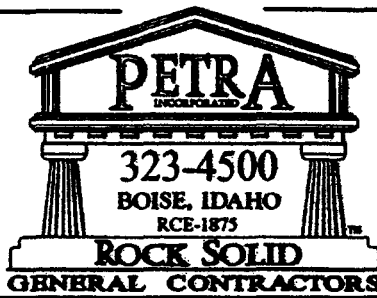
Remarks: BID DATE: MARCH 27, 2007.

Date	Number	Re:	To	Attention	From	Signed
3/19/2007	00137	MCH Addendum	Rock Cas	Doc Butwinke	Petra Incorporated	Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/21/2007	00140	MCH Addendum #11 - Excavation	Mike Anderson		Petra Incorporated	Garrett Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/21/2007				Specifications Section 01230-Alternatives	
1	1	3/21/2007				Specifications Section 04720- A RockCast Stone	
1	1	3/21/2007				Schedule for Meridian City Hall	
1	1	3/21/2007				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1	3/21/2007				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1	3/21/2007				Addendum B - 2 sheets.	

Remarks: For Your Use.

3/21/2007	00141	MCH Addendum #11 - Back Ho	Mike Anderson		Petra Incorporated	Garrett Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	

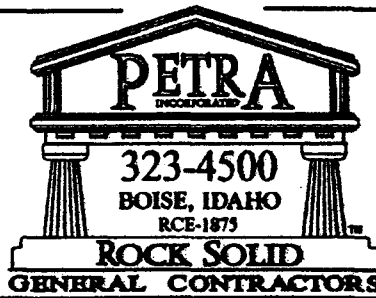
Remarks:

3/21/2007	00142	MCH Addendum Item West	Eric Howard		Petra Incorporated	Garrett Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/21/2007	00147	NCB/06-0675	Architectural Building	BOISE, IDAHO	PERMA INCORPORATED	Alan Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:

3/21/2007	00147	NCB/Addendum D&A Glass Company, Inc.	Mer. District	PERMA INCORPORATED	Alan Johnson
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B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:

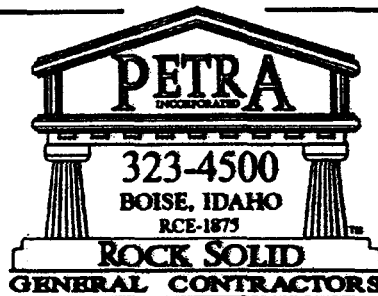
3/21/2007	00147	NCB/06-0675	Architectural Building	BOISE, IDAHO	PERMA INCORPORATED	Alan Johnson
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B

Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/21/2007	00153	UIC/7/06/0001	Liberal Sales Holding, LLC	John Dill	Petra Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:

3/21/2007	00153	UIC/7/06/0001	Liberal Sales Holding, LLC	John Dill	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

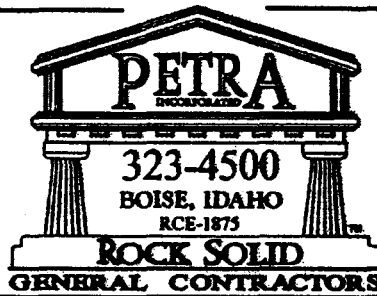
Remarks:

3/21/2007	00153	UIC/7/06/0001	Liberal Sales Holding, LLC	John Dill	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

3/21/2009 0015910675 Addendum B Bid Sheet Bill Bryan Petra Incorporated Alan Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

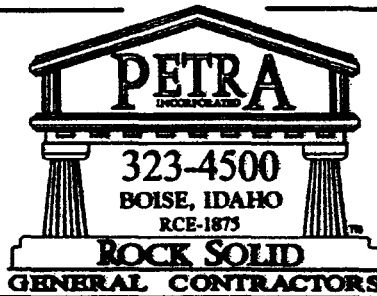
Remarks:

3/21/2009 0015910675 Addendum B Bid Sheet Bill Bryan Petra Incorporated Alan Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed
 3/27/2009 00164 MCH/Addendum CE Contractor Tim Downs Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

3/27/2009 00165 MCH/Addendum Mountain Steel Brian Conroy Petra Incorporated Adam Johnson

B

Fabrication

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

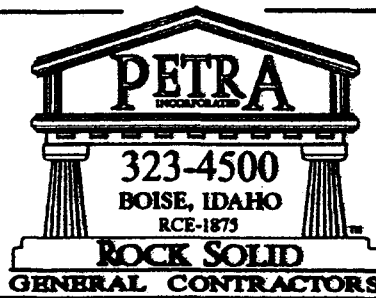
Remarks:

3/27/2009 00166 MCH/Addendum CE Contractor Tim Downs Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 87 of 271

Date	Number	Re:	To	Attention	From	Signed
9/21/2009	00170	MCH Addendum	Project Hosting	Scott Edman	Petra Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
9/21/2009	00171	MCH Addendum	Petra Incorporated	Jon Anderson	Petra Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

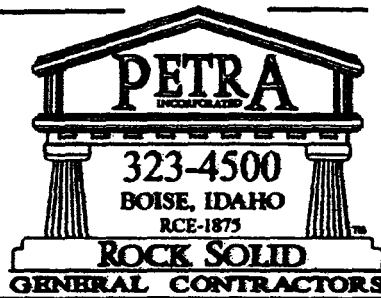
Remarks:

Date	Number	Re:	To	Attention	From	Signed
9/21/2009	00172	MCH Addendum	Upson Company	Steve Upson	Petra Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/23/2007	001781	CH Addendum Western Hospitality	Gold Davis		PETRA Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	

Remarks:

3/23/2007	00177	CH Addendum Seattle	Mike Devaney		PETRA Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	

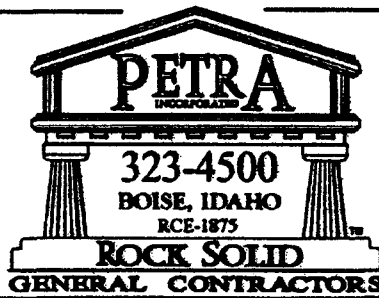
Remarks:

3/23/2007	00176	CH Addendum Seattle	Mike Devaney		PETRA Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/23/2007	00183	MCH Addendum Mountain State Roofing Field Bidding	Petra Incorporated	Adam Johnson		

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	

Remarks:

3/23/2007	00183	MCH Addendum Mountain State Roofing Field Bidding	Petra Incorporated	Adam Johnson
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A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

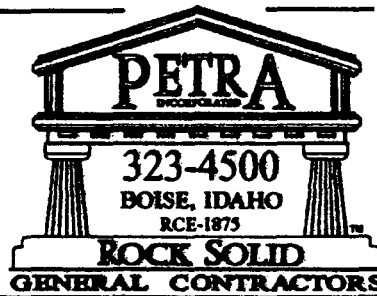
3/23/2007	00183	MCH Phase II Mountain State Roofing Field Bidding	Petra Incorporated	Adam Johnson
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II-Set 38

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: APRIL 3, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 93 of 271

Date	Number	Re:	To	Attention	From	Signed
3/26/2007	00188	MCH Phase II	Brickline Masonry	Roy Rojas	Petra Incorporated	Adam Johnson

A Company

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Addendum A- Specifications (3 pages)	
1	1					Plan Sheets: C5.2, C5.1	

Remarks:

3/26/2007	00189	MCH Phase II	Brickline Masonry	Roy Rojas	Petra Incorporated	Adam Johnson
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II-Set 38 Company

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: APRIL 3, 2007.

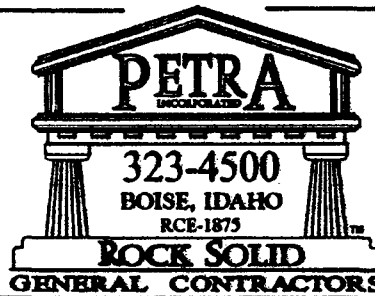
Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

3/27/2007	00190	MCH Bidding	McGonigle Trucking	David Grant	Petra Incorporated	Adam Johnson
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Tickets Inspection

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/27/2007				Trucking Tickets from MCH Jobsite to Landfill.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

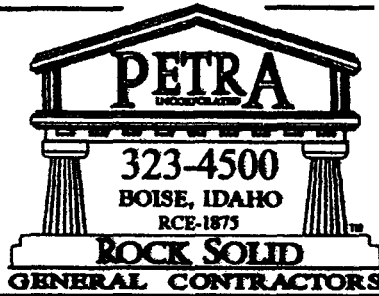
Page: 95 of 271

Date	Number	Re:	To	Attention	From	Signed
3/27/2007	06-0675	Architectural	Rock Solid Industries	Sligo, Dan	Petra Incorporated	Gail Johnson

#17

Milijatovic

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.05	
1	1	3/27/2007				Addendum A/Addendum B CD	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 97 of 271

Date	Number	Re:	To	Attention	From	Signed
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3/31/2007	00194	Meridian City	Cummings Law Office	Richard	Petra Incorporated	Gene Bennett
		Letter		Cummings		

Remarks: Richard...

Please give Jerry or myself a call on Monday regarding the attached letter from City of Meridian. Particularly I wish to discuss Item #3 in the letter.

Thank you, Gene Bennett

4/3/2007	00194	Meridian City	Cummings Law Office	Richard	Petra Incorporated	Gene Bennett
		Response		Cummings		

Remarks: Dick...

Attached is my draft response to Meridian City Hall letter.

Tx, Gene Bennett

cc: J. Frank

4/3/2007	00200	Meridian City	Cummings Law Office	Richard	Petra Incorporated	Gene Bennett
		Contract		Cummings		

Remarks: Dick...

Jerry has reviewed my Draft letter and made revisions. Attached is the revised draft.

Also attached is the contract with City of Meridian.

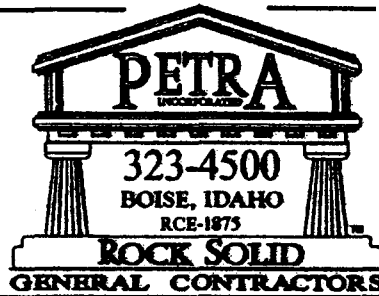
Jerry will be at your office at 1:30 to review and prep for tonights 5:30 meeting.

tx, gb

4/4/2007	00200	Bid	City of Meridian	Gene Bennett	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/4/2007				Phase II Bid Sheets in Binder. All bids from Bid Opening, April 3, 2007.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	To:	To	Attention	From	Signed
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4/16/2007	00204	Notice To Proceed	Schools/Elevator Comp. & Installation		Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for the Elevator Systems. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/16/2007	00207	Notice To Proceed	Western Roofing	Lee Davis	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Roofing. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/16/2007	00208	Notice To Proceed	Custom Glass	Shannon Morgan	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Aluminum Storefronts and Glazing. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/16/2007	00209	Notice To Proceed	Foundations LLC	Ben Barbo	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Concrete. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson.

4/16/2007	00210	Notice To Proceed	RUE SCA	Ell Byers	Petra Incorporated	Adam Johnson
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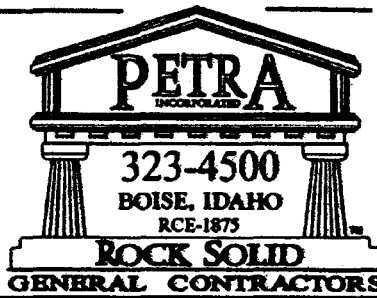
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Exterior Framing and Drywall. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/16/2007	00211	Notice To Proceed	S&L	Joe Downing	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/18/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Exterior Framing and Drywall. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 101 of 271

Date	Number	Re:	To	Attention	From	Signed
4/20/2007	00274	RockCast	City of Meridian	Keith Watson	Petra Incorporated	Adam Johnson

Product Manuals

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	4/19/2007			Sets of RockCast Cast Stone Product Manuals	NEW

Remarks: Keith:

Enclosed are two RockCast product manuals, one for Council and one for Staff, to learn more about the alternate Cast Stone product and to generate questions that may be raised when comparing the two options. The Supplier for the RockCast just dropped these by Thursday to be forwarded to you.

If you have any questions or require additional information, please contact me at your convenience.

Date	Number	Re:	To	Attention	From	Signed
4/20/2007	00274	Notice to Proceed	Architectural Building	Adam Johnson	Petra Incorporated	Adam Johnson

Proceed Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/20/2007			Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Excavation. Please sign and return to my attention via fax, 323-4507. Thank You. Adam

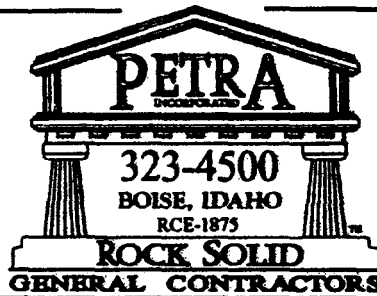
Date	Number	Re:	To	Attention	From	Signed
4/26/2007	00274	Cash Flow	City of Meridian	Keith Watson	Petra Incorporated	Adam Johnson

Analysis

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/26/2007			Estimated Accrued Construction Cost for Phase II--Core & Shell	

Remarks: Keith:

Enclosed is the initial cash flow analysis for Phase II--Shell & Core. This same format will be utilized for the other two phases of the project and it will be on 11x17 paper so that the entire project can be seen at the same time. If you have any questions or require additional information please contact me at your convenience.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 103 of 271

Date Number Re: To Attention From Signed

4/30/2007 00221 Concrete City Architects PA Steve Petrus Incorporated Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	4/30/2007	SUB	03-100	001	Title: Footings and Foundations Desc: Foundation Rebar Shop Drawings	NEW
10	7	4/30/2007	SUB	03-100		Title: Footings and Foundations Desc: Clements Concrete Mix Design 3,500 PSI	
11	7	4/30/2007	SUB	03-100		Title: Footings and Foundations Desc: Clements Concrete Mix Design 4,000 PSI	
2	7	4/30/2007	SUB	03-100	003	Title: Footings and Foundations Desc: CMU Stair Tower Rebar Shop Drawings	NEW
3	7	4/30/2007	SUB	03-100	005	Title: Footings and Foundations Desc: VaporBlock UnderSlab Vapor Retarder Spec Book.	NEW
4	7	4/30/2007	SUB	03-100	007	Title: Footings and Foundations Desc: Hillti - Chemical Anchors.	NEW
5	7	4/30/2007	SUB	03-100	009	Title: Footings and Foundations Desc: Burke Aqua Resin Cure Technical Data.	NEW
6	7	4/30/2007	SUB	03-100	002	Title: Footings and Foundations Desc: Basement Wall Rebar Shop Drawings	NEW
7	7	4/30/2007	SUB	03-100	004	Title: Footings and Foundations Desc: Greenstreak PVC Waterstop Manuel. (8 pgs)	NEW
8	7	4/30/2007	SUB	03-100	006	Title: Footings and Foundations Desc: Owens Corning Rigid Foam Insulation -250.	NEW
9	7	4/30/2007	SUB	03-100	008	Title: Footings and Foundations Desc: Burke Form Oil V.O.C. Technical Data.	NEW

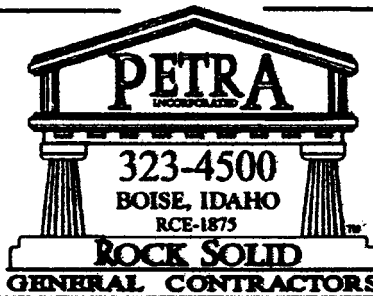
Remarks:

4/30/2007 00222 Signed Notice City of Meridian Keith Watts Petrus Incorporated Adam Johnson

of Award

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/30/2007				Signed Copies of Conditional Notice of Award. -MJ's Backhoe -Foundations LLC -TMC Masonry -Rule Steel -ABS -American Wallcover -Custom Glass -Western Roofing -Schindler Elevator SealCo.	

Remarks: For your file. Thanks.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/2/2007				Meridian City Hall Contract.	

Remarks: Please review, sign and return no later than Noon, May 7th, 2007.

5/2/2007 00228 Contract for City of Meridian Keith Watts Petra Incorporated Adam Johnson

Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/2/2007				Meridian City Hall Contract.	

Remarks: Please review, sign and return no later than Noon, May 7th, 2007.

5/4/2007 00229 Shovel City of Meridian Keith Watts Petra Incorporated West Boitt

Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/4/2007				Two original contracts for MJ's Backhoe for final execution by the City of Meridian.	

Remarks:

5/7/2007 00230 Elevator and Rebar Shops JECA Architects PA Steve Petra Incorporated Adam Johnson

Rebar Shops

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	5/7/2007	SUB	14-000-01	002	Title: Elevator Submittals Desc: Submittal Package Elevator 3	NEW
1	7	5/7/2007	SUB	14-000-01	001	Title: Elevator Submittals Desc: Elevator Submittals	NEW
1	6	5/7/2007	SUB	03-100-2	001	Title: Upper Footings - Rebar Shops Desc: Upper Footings - Rebar Shops	NEW

Remarks: Steve, Attached are both Elevator Submittal Packages, and the second round of rebar shop drawings, both for review.

Thanks,
Adam

5/7/2007 00231 EPDM Submittal for City of Meridian Keith Watts Petra Incorporated Adam Johnson

Inspection

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/7/2007				Firestone EPDM Geomembrane Submittal.	

Remarks: Please review the attached information for approval.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
5/8/2007	102-26	Contract	City of Meridian	Gene Wade	Petra Incorporated	Mark Beith

Invoices

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/30/2007				Invoice from Track Utilities for Conduit installed for Qwest during IPCO re-route. Improperly invoiced to Petra, even after repeated requests to invoice to the City directly.	NA
2	2	5/8/2007				MJ's Backhoe & Excavation, Inc. AIA Document A101/CMA with correct legal entity for contract. Just add their signature page and date for Council execution.	NA
3	2	5/8/2007				Rule Steel Tanks, Inc. AIA Document A101/CMA with correct legal entity for contract. Just add their signature page and date for Council execution.	NA
4	2	5/8/2007				American Walkover, Inc. AIA Document A101/CMA with correct legal entity for contract. Just add their signature page and date for Council execution.	NA
5	2	5/8/2007				Western Roofing, Inc. AIA Document A101/CMA with correct legal entity for contract. Just add their signature page and date for Council execution.	NA

Remarks:

5/8/2007	102-37	Meridian City	AIA Document Walkover	Randy Peters	Petra Incorporated	Mark Beith
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Hall

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/8/2007				AIA Document A101/CMA-1992 Revised.	NA

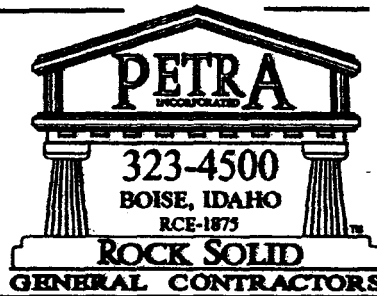
Remarks:

5/8/2007	102-39	Temporary	City of Meridian	Gene Wade	Petra Incorporated	Mark Beith
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Power Proposal

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/1/2007				Proposal from Lea Electric for Construction Temporary Power.	NA
2	1	5/3/2007				Proposal from Tri-State Electric for Construction Temporary Power.	NA
3	2	5/8/2007				AIA Document A101/CMA & A201/CMA for Western Roofing, Inc., signed by the Contractor ready for final execution by the City Council.	NA

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 109 of 271

Date	Number	Re:	To	Attention	From	Signed
5/8/2007	00243	Contract	City of Meridian	Keith Watts	Petra Incorporated	Wes Hanks

Packages

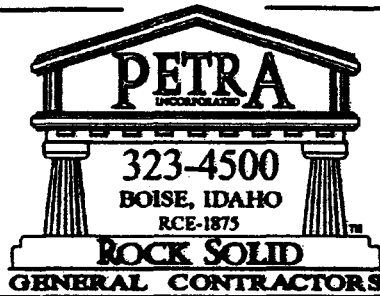
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/8/2007				Custom Glass, Inc. AIA Document A101/CMA & A201/CMA	
2	1	5/8/2007				Set of Custom Glass, Inc. Payment & Performance Bonds	
3	1	5/8/2007				Custom Glass, Inc. W-9	
4	1	5/8/2007				Custom Glass, Inc. Certificate of Insurance (Improperly Endorsed)	
5	2	5/8/2007				Architectural Building Supply AIA Document A101/CMA & A201/CMA	
6	2	5/8/2007				American Walkcover, Inc. AIA Document A101/CMA (2) and A201/CMA (1).	
7	1	5/8/2007				American Walkcover, Inc. Payment & Performance Bond set.	
8	1	5/8/2007				American Walkcover, Inc. W-9	

Remarks: Please see the enclosed.

Date	Number	Re:	To	Attention	From	Signed
5/10/2007	00244	W-9	City of Meridian	Keith Watts	Petra Incorporated	Wes Hanks

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/9/2007				MJ's Backhoe & Excavation, Inc. W-9	NA

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed
 5/11/2007 00240 Concrete Mix Foundations, I.C.C. Dan Black Petra Incorporated Adam Johnson

Submittals Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	5/11/2007	SUB	03-100-02		Title: Concrete Mix Designs Desc: Clements Concrete Company	
1	7	5/11/2007	SUB	03-100-02	001	Title: Concrete Mix Designs Desc: Idaho Concrete Company	NEW

Remarks:

ATTN: Jan, Stapley

5/14/2007 00247 Submittals Foundations, I.C.C. Dan Black Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	5/14/2007	SUB	03-100-02	002	Title: Concrete Mix Designs Desc: Concrete Mix Designs-Clements	DIS

Remarks:

5/14/2007 00340 Submittals Foundations, I.C.C. Dan Black Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/23/2007	SUB	03-100-3	002	Title: Upper Footings - Rebar Shops Desc: Upper Footings - Rebar Shops	AAN
	0	5/14/2007	SUB	03-100-02	001	Title: Concrete Mix Designs Desc: Concrete Mix Designs-ICCO	APP

Remarks:

5/16/2007 00249 Clements Sidewalks, I.C.C. Dennis Smith Petra Incorporated Adam Johnson

Concrete Mix

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	4	5/16/2007	SUB	03-100-02	002	Title: Concrete Mix Designs Desc: Concrete Mix Designs-Clements	REJ

Remarks:

5/17/2007 00248 Anchor Bolt Title Shops Royal Allen Petra Incorporated Adam Johnson

Shops

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/17/2007	SUB	05-500	001	Title: Anchor Bolt Plan Desc: Anchor Bolt Plan, Sheets E-1, E-1A, E-2, 1.	MCN

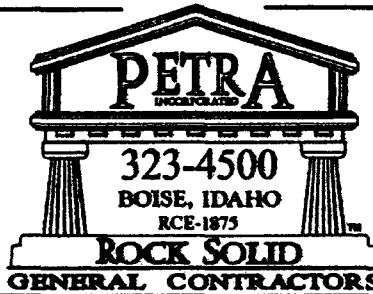
Remarks:

5/17/2007 00250 Steel Deck Title Shops Royal Allen Petra Incorporated Adam Johnson

Shops

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/17/2007	SUB	05-300-01	001	Title: Metal Deck- Shop Drawings No.1 Desc: Metal Deck- Shop Drawings No.1	APP

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
5/19/2007	0025	AIA G703-1992	CITY OF MERIDIAN	Kelli Watts	Petra Incorporated	Wes Bell

Sheets

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	2/28/2007				AIA Document G703-1992 Application for Payment--Main Cover Sheet (revised) showing Misc General Conditions below the total contract amount.	NA
2	1	2/28/2007				Misc General Conditions PH-2 Cover Sheet (revised) Please replace previously submitted cover sheet with this one.	NA
3	1	3/31/2007				AIA Document G703-1992 Application for Payment--Main Cover Sheet (revised) showing Misc General Conditions below the total contract amount.	NA
4	1	3/31/2007				Misc General Conditions PH-2 Cover Sheet (revised) Please replace previously submitted cover sheet with this one.	NA
5	1	4/30/2007				AIA Document G703-1992 Application for Payment--Main Cover Sheet (revised) showing Misc General Conditions below the total contract amount.	NA
6	1	4/30/2007				Misc General Conditions PH-2 Cover Sheet (revised) Please replace previously submitted cover sheet with this one.	NA

Remarks:

5/21/2007	0025	Sealants	CITY OF MERIDIAN	Mike Devaney	Petra Incorporated	Adam Johnson
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Submittals

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	4	5/21/2007	SUB	07-900	001	Title: Joint Sealants Desc: Tremco Dymeric 250/240FC	AAN
2	4	5/21/2007	SUB	07-115		Hydrocide 700B	
3	4	5/21/2007	SUB	07-112		SUBSEAL - 60	
4	4	5/21/2007	SUB	07-112		TREMDrain	

Remarks:

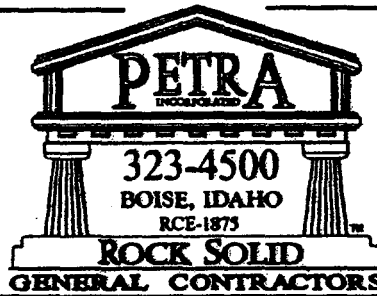
5/22/2007	0025	Schedules	CITY OF MERIDIAN	Will Bore	Petra Incorporated	Wes Bell
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Schedules

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/22/2007				8.5 x 14 Two Month Look Ahead Schedule in Color for your use.	NA
2	1	5/22/2007				11x 17 Overall Project Schedule from Apr 1, 2007 to Aug 30, 2008 for your use.	NA

Remarks: Will:

I have enclosed two working schedules, 1 2-Month Look Ahead, and 1 Overall Project Schedule, both in color for your use. We are in the process of plotting a "D" Size master schedule from 10-01-06 to 08-30-08. We will transmit that to you under separate cover as soon as it is ready.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

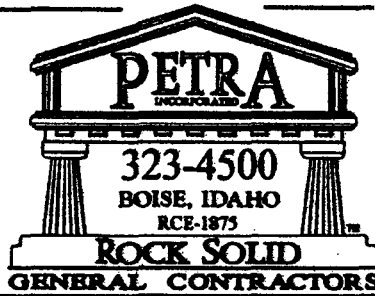
Page: 115 of 271

Date Number Re: To Attention From Signed

5/22/2007 0153 111 Submittal (C) Backlog Chit Petra Incorporated Adam Johnson

Pkg. Aspostolou

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	5/22/2007	SUB	02222	002	Title: Structural Excavation and Bacfill Desc: Pitrun	APP
10	3	5/22/2007	SUB	02222	020	Title: Structural Excavation and Bacfill Desc: 5 1/4" Waterous Pacer Hydrant	APP
11	3	5/22/2007	SUB	02222	022	Title: Structural Excavation and Bacfill Desc: Pack Joint Coupling, 2"	APP
12	3	5/22/2007	SUB	02222	024	Title: Structural Excavation and Bacfill Desc: Ball Valve Curb Stop, 2"	APP
13	3	5/22/2007	SUB	02222	026	Title: Structural Excavation and Bacfill Desc: Stainless Steel Inserts, 2"	APP
14	3	5/22/2007	SUB	02222	028	Title: Structural Excavation and Bacfill Desc: Stainless Steel Tapping Sleeve, 6"	APP
15	3	5/22/2007	SUB	02222	001	Title: Structural Excavation and Bacfill Desc: Pond Liner for Contaminated Soils Seperation	APP
16	3	5/22/2007	SUB	02222	003	Title: Structural Excavation and Bacfill Desc: Road Mix	APP
17	3	5/22/2007	SUB	02222	005	Title: Structural Excavation and Bacfill Desc: Drain Rock	MCNR
18	3	5/22/2007	SUB	02222	007	Title: Structural Excavation and Bacfill Desc: 1500 gal Sand and Grease Interseptor w Lid	MCNR
19	3	5/22/2007	SUB	02222	009	Title: Structural Excavation and Bacfill Desc: SDR 35/PS46 Fitting Specifications	APP
2	3	5/22/2007	SUB	02222	004	Title: Structural Excavation and Bacfill Desc: Pipe Bedding	APP
20	3	5/22/2007	SUB	02222	011	Title: Structural Excavation and Bacfill Desc: 8 x 12" Galvanized Morris Manhole	APP
21	3	5/22/2007	SUB	02222	013	Title: Structural Excavation and Bacfill Desc: CB Sewer Saddle	APP
22	3	5/22/2007	SUB	02222	015	Title: Structural Excavation and Bacfill Desc: ASTM D2729 Pipe, 4"	APP
23	3	5/22/2007	SUB	02222	017	Title: Structural Excavation and Bacfill Desc: 200 PSI water service pipe, 2"	APP
24	3	5/22/2007	SUB	02222	019	Title: Structural Excavation and Bacfill Desc: Cast Iron Valve Boxes 5 1/4" Waterous Pacer Hydrant	APP
25	3	5/22/2007	SUB	02222	021	Title: Structural Excavation and Bacfill Desc: Tapping Valves, 6"	MCNR
26	3	5/22/2007	SUB	02222	023	Title: Structural Excavation and Bacfill Desc: 70 Series Coppersetter	APP
27	3	5/22/2007	SUB	02222	025	Title: Structural Excavation and Bacfill Desc: Ballcorp Corp Stop 2"	APP
28	3	5/22/2007	SUB	02222	027	Title: Structural Excavation and Bacfill Desc: K6313 Monument Ring Cover	APP
29	3	5/22/2007	SUB	02222	029	Title: Structural Excavation and Bacfill Desc: 101 Service Saddle	APP
3	3	5/22/2007	SUB	02222	006	Title: Structural Excavation and Bacfill Desc: Sand	APP
4	3	5/22/2007	SUB	02222	008	Title: Structural Excavation and Bacfill Desc: ASTM D3034 Solid Wall Sewer Pipe 4",6",8",12",15"	APP



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Project Name: Meridian City Hall

Date: 9/10/2009

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Date	Number	Re:	To	Attention	From	Signed
5/31/2007	00325	Submittals	Foundations, LLC	Diane Black	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	5/31/2007	SUB	03-100-03	001	Title: Concrete Mix Designs Desc: Concrete Mix Designs-ICCD	APP
	0	5/10/2007	SUB	03-100-3	001	Title: Upper Footings - Rebar Shops Desc: Upper Footings - Rebar Shops	REJ

Remarks:

Date	Number	Re:	To	Attention	From	Signed
5/31/2007	00324	Submittals	Schindler Elevator Corp.	Pat Skov	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	5/31/2007	SUB	14-000-01	002	Title: Elevator Submittals Desc: Submittal Package Elevator 3	AAN
	0	5/31/2007	SUB	14-000-01	001	Title: Elevator Submittals Desc: Submittal Package Elevators 1-2	APP

Remarks:

Date	Number	Re:	To	Attention	From	Signed
6/1/2007	00263	May Payment	City of Meridian	Kath Wells	Petra Incorporated	Wes Batts

Application

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/1/2007				Application for Payment No. 7 for Month of May.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
6/5/2007	00264	ASI No. 6	MUS Backho	Wes Crofts	Petra Incorporated	Wes Batts

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/5/2007				ASI No. 6	

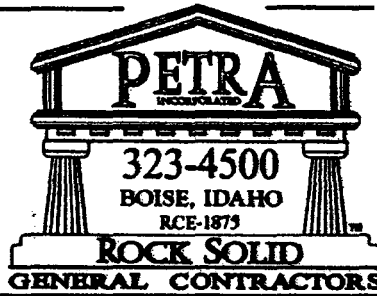
Remarks: For your use

Date	Number	Re:	To	Attention	From	Signed
6/11/2007	00265	MC Phase II	DEB Fire Protection	Jim Hill	Petra Incorporated	Adam Johnson

II-Set 12

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: For your use.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

6/14/2007 00270 Steel Shop Drawings(Ph1) Full Steel Steve Norquist Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/14/2007				Steel Shop Drawings (Phase 1)	

Remarks:

6/14/2007 00271 ASI 10 LLC - LLC Inc. Michelle Walz Petra Incorporated Wes Balle

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/13/2007				ASI 10 consisting of sheets A4.0R, A4.1R, A4.2R, A4.3R, A5.0R, A5.1R, A5.2R, A5.3R	NA

Remarks: Please review and submit the appropriate change order request referencing ASI No. 10 for review, processing and submittal to the City of Meridian.

6/14/2007 00272 ASI No. 10 Sidewalks LLC For Bardot Petra Incorporated Wes Balle

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/13/2007				ASI 10 consisting of sheets A4.0R, A4.1R, A4.2R, A4.3R, A5.0R, A5.1R, A5.2R, A5.3R	NA

Remarks: Please review and submit the appropriate change order request referencing ASI No. 10 for review, processing and submittal to the City of Meridian.

6/14/2007 00273 RFI 07 ASI Rock Steel Steve Norquist Petra Incorporated Adam Johnson

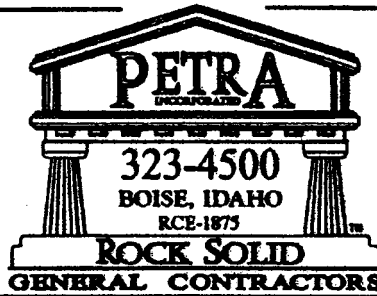
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/14/2007				ASI No. 7	
1	1	6/14/2007				ASI No. 8	
1	1	6/14/2007				ASI No. 9	
1	1	6/14/2007				ASI No. 11	
1	1	6/14/2007				RFI No 7	
1	1	6/14/2007				RFI No 8	
1	1	6/14/2007				RFI No 15	
1	1	6/14/2007				ASI No. 4	

Remarks:

6/14/2007 00274 Revised Shops Ph1 Shops Christensen Steve Norquist Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/14/2007	SUB	05 500-04	001	Title: Revised Sheets from Phase 1 Set Desc: Sheet 70, 127, 166, 191.	NEW

Remarks: Revised Shops For Approval



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

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Date Number Re: To Attention From Signed
 6/19/2007 00279 May Payment City of Meridian Keith Watts Petra Incorporated Wes Batts

Application

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/31/2007				Revised Application for Payment Cover Sheets (with back-up)	

Remarks:

6/20/2007 00282 Welding City of Meridian Adam Johnson Petra Incorporated Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	6/20/2007	SUB	05-000-01	001	Title: Weld Procedure Specifications Desc: Weld Procedure Specifications	NEW

Remarks:

6/21/2007 00283 Seal Co. May City of Meridian Keith Watts Petra Incorporated Wes Batts

Pay App

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/31/2007				Seal Co. May Application for Payment--Copy	NA

Remarks:

6/25/2007 00284 Elevator City of Meridian Keith Watts Petra Incorporated Wes Batts

Elevator

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2					Sets of AIA A101/CMA -1992 and AIA A201/CMA signed by the Contractor ready for dating and execution by the City.	NA
2	1	6/20/2007				AIA A312 Payment and Performance Bonds No. 8893162 for the Meridian City Hall project.	NA

Remarks: Please return one fully executed set of original contracts to my attention for final disposition to the Contractor.

6/25/2007 00285 Execution City of Meridian Keith Watts Petra Incorporated Wes Batts

Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

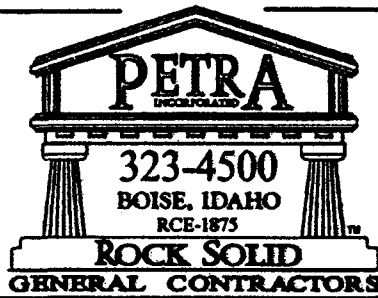
Remarks: For your files.

6/25/2007 00286 Execution City of Meridian Keith Watts Petra Incorporated Adam Johnson

Subcontract Supply

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

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Date	Number	Re:	To	Attention	From	Signed
6/25/2007	002435	Subcontract	Western Roofing	Red Devils	Petra Incorporated	Sam Johnson

Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.

6/27/2007	002436	check#1396	Alfa Backho	Alfa Backho	Petra Incorporated	Sam Johnson
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check#1396

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/27/2007				check#1396 for plan set #5	

Remarks: This check was a deposit for plan set#05. Since you were awarded the job and will be keeping the plans, we are returning this check to you.

Thank you.

6/27/2007	002851	check#028011	Custom Glass	Bonnie	Petra Incorporated	Sam Johnson
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check#028011

Campbell

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/27/2007				Check#028011 for plan set #29	

Remarks: This check was a deposit for plan set#29. Since you were awarded the job and will be keeping the plans, we are returning this check to you.

Thank you.

6/27/2007	002888	checks (2)	Mountain State Roofing	H/G Dobbie	Petra Incorporated	Sam Johnson
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checks (2)

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/27/2007				Check#10882 & Check#10889 for plan set#38	

Remarks: These checks were to be picked up with the return of plan set#38. The plans were returned but, the checks were left behind

Thank you.

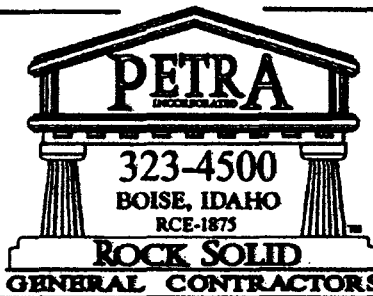
6/28/2007	002876	Submittials	Architectural	Christensen	Petra Incorporated	Sam Johnson
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Submittials

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	6/28/2007	SUB	08-630-01	001	Title: Metal Framed Skylights Desc: Metal Framed Skylights	NEW
2	6	6/28/2007	SUB	08-411-01	001	Title: Aluminum Entrances and Storefronts Desc: Aluminum Entrances and Storefronts	NEW
3	2	6/28/2007	SUB	08-411-01	002	Title: Aluminum Entrances and Storefronts Desc: Kalwall Colorchart	NEW
4	6	6/28/2007	SUB	08-800-01	001	Title: Glazing Desc: Glazing	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date: 7/2/2007 Number: 00312 Re: TMC Masonry City of Meridian Attention: Keith Waiter From: Petra Incorporated Signed: Adam Johnson

COR 1

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/2/2007				Change Order Request for TMC Masonry per ASI 10.	

Remarks: This Change Order Request reflects the impact of ASI 10 which raised the building finish floor elevation 4-0 requiring additional brick masonry units, but deleting square footage in the cultured stone product.

Date: 7/3/2007 Number: 00329 Re: Submittals TMC Inc. Attention: Michael Waiter From: Petra Incorporated Signed: Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/11/2007	SUB	04-200-01	001	Title: Grout Mix Design Desc: Grout Mix Design	APP
	0	7/11/2007	SUB	04-200-02	001	Title: Concrete Masonry Units Desc: Concrete Masonry Units	APP
	0	7/11/2007	SUB	04-200-03	001	Title: Mortar Mix Design Type S Desc: Mortar Mix Design Type S	APP
	0	7/3/2007	SUB	04-000-01	001	Title: Masonry Accessories Desc: Masonry Accessories, Ties, Reinforcement, ect.	NEW

Remarks:

Date: 7/6/2007 Number: 00300 Re: Contaminated Soils City of Meridian Attention: Keith Waiter From: Petra Incorporated Signed: Adam Johnson

Soils

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/27/2007				Soil & Groundwater Investigation and REM-I Evaluation for the former Meridian Creamery Meridian, ID by MTI as submitted to IDEQ, Eric Traynor	NA

Remarks: Keith: Attached are two copies of the final report delivered to IDEQ by MTI on behalf of the City of Meridian. These are for your records, no further action required of you.

Date: 7/6/2007 Number: 00301 Re: Application for Payment City of Meridian Attention: Keith Waiter From: Petra Incorporated Signed: Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2007				Application for Payment for the month of June	NEW

Remarks:

Date: 7/6/2007 Number: 00305 Re: Meridian City Hall Architects PA Attention: Steve Simmons From: Petra Incorporated Signed: Adam Johnson

Hall

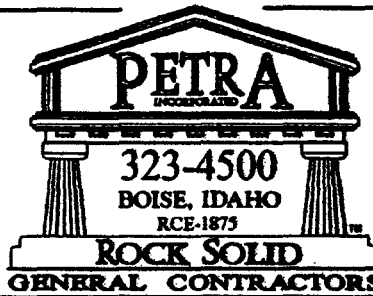
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2007				MEP/TI Bid Book - Volume II	

Remarks: For Your Files.

Date: 7/6/2007 Number: 00346 Re: Submittals Eric Stahl Attention: Bill Byerly From: Petra Incorporated Signed: Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/6/2007	SUB	05 500-04	001	Title: Revised Sheets from Phase 1 Set Desc: Revised Sheets from Phase 1 Set	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/8/2007	00310	Meridian City Hall	City of Meridian	Keith Waite	Petra Incorporated	Wes Bellis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/8/2007				Original AIA A101 CMA and AIA A201CMA, fully executed for Architectural Building Supply	APP
2	1	5/8/2007				Original AIA A101 CMA and AIA A201CMA, fully executed for American Wallcover, Inc.	APP
3	1	5/8/2007				Original AIA A101 CMA and AIA A201CMA, fully executed for Custom Glass, Inc.	APP

Remarks: Keith:

These three contracts show as having been approved and returned to the Contractors previously. I believe these are your originals for your records.

Date	Number	Re:	To	Attention	From	Signed
7/6/2007	00311	Non-Compliant Bid	City of Meridian	Keith Waite	Petra Incorporated	Wes Bellis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Letter to Zane Stephens, disqualifying bid received. For your file.	NA

Remarks: FYI on a non-compliant bid.

Date	Number	Re:	To	Attention	From	Signed
7/11/2007	00312	ASI No. 6	Mrs. Backfrie	Vict Crabb	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/11/2007				ASI No. 6 Plan Sheets	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/10/2007	00313	MCH Plan Sets	MCH	Michelle Waite	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	7/10/2007				MCH-Shell And Core Plan Sets (2 Sets)	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/11/2007	00314	Mortar Mix Design Type N	Christensen	Steve	Petra Incorporated	Adam Johnson

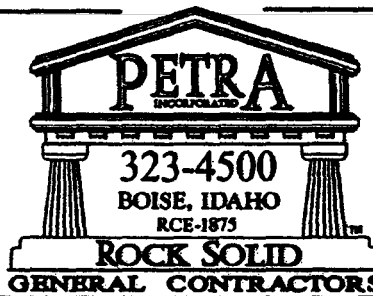
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/11/2007	SUB	04-200-04	001	Title: Mortar Mix Design Type N Desc: Mortar Mbx Design Type N	APP

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/12/2007	00315	Welding Procedures and Specs-Field	Christensen	Steve	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	7/12/2007	SUB	05-000-02	001	Title: Welding Procedures and Specs-Field Desc: Welding Procedures and Specs-Field	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed
 7/13/2007 00322 Storefront Aluminum Glass Julie Hogue Petra Incorporated Adam Johnson

Submittals

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/13/2007	SUB	08-411-01	002	Title: Aluminum Entrances and Storefronts Desc: Kalwall Colorchart	AAN
2	3	7/13/2007	SUB	08-411-01	001	Title: Aluminum Entrances and Storefronts Desc: Aluminum Entrances and Storefronts	AAN
3	3	7/13/2007	SUB	08-630-01	001	Title: Metal Framed Skylights Desc: Metal Framed Skylights	APP
4	3	7/13/2007	SUB	08-800-01	001	Title: Glazing Desc: Glazing	AAN

Remarks:

7/13/2007 00324 Mutual Brick MGA Architects, PA Steve Petra Incorporated Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	7/13/2007	SUB	04-200-05	001	Title: Mutual Brick Specifications Desc: Mutual Brick Specifications	NEW

Remarks:

7/17/2007 00330 Stair Shop Stone/Steel Steve Norquist Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/17/2007				ASI No. 18	
1	1	7/17/2007				Stair Shops-Stair #2.	

Remarks:

7/17/2007 00331 Contractor ID City of Meridian Kent Wells Petra Incorporated Wes Bertsch

Number

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/17/2007				W-9 for MJ's Backhoe and Excavation, Inc	NA

Remarks:

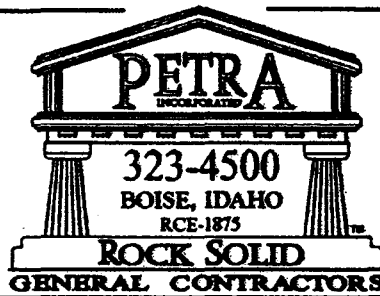
7/18/2007 00332 Arriscraft Stone MGA Architects, PA Steve Petra Incorporated Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	7/18/2007	SUB	04-200-06	001	Title: Arriscraft Stone Submittial Desc: Arriscraft Stone Submittial	NEW
2	1	7/18/2007	SUB	04-200-06		Color:G07-06151 Rocked Finish Sample	
3	1	7/18/2007	SUB	04-200-06		Color:G07-0615H Smooth Finish	

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/23/2007	0033	Upper Rebar Shops	Sidwalco, LLC	Donnie Smith	Petra Incorporated	Adam Johnson

Shops

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	7/23/2007	SUB	03-100	011	Title: Footings and Foundations Desc: Upper Footing Rebar Shops	REJ

Remarks:

7/23/2007	0034	ASI 18, 19	Bole, Steve	Steve Norquist	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/23/2007				ASI No 19	
1	1	7/23/2007				ASI No 18	

Remarks:

7/23/2007	0034	J1, J2 Joists and Deck	Bole, Steve	Steve Norquist	Petra Incorporated	Adam Johnson
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Deck

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/23/2007				J1, J2 Joists and Decking	

Remarks:

7/24/2007	0034	Elevation ASI	TMC Inc	Michael Walz	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/20/2007				ASI No. 10 - Exterior Elevation Changes	

Remarks:

7/25/2007	0034	Mortar Color Chart	LC Architects, PA	Steve Christensen	Petra Incorporated	Adam Johnson
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Chart

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/25/2007	SUB	04-200-07	001	Title: Mortar Mix Colorchart Desc: Mortar Mix Colorchart	NEW

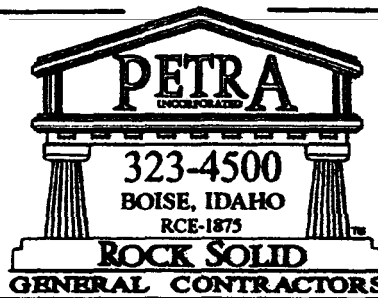
Remarks:

7/24/2007	0034	Meridian City Hall	City of Meridian	Keith Watts	Petra Incorporated	Wes Bath
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Hall

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/24/2007				CD with Phase III Bld Results and Monthly Construction Budget Update.	

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/30/2007	00350	Site work	ICA Architects, PA	Steve	Petra Incorporated	Adam Johnson

Resubmittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	5	7/30/2007	SUB	02-222-01	001	Title: Drain Rock Desc: Drain Rock	NEW
2	5	7/30/2007	SUB	02-222-02	001	Title: 1500 Gal Sand and Grease Interceptor Desc: 1500 Gal Sand and Grease Interceptor	NEW
3	5	7/30/2007	SUB	02-222-03	001	Title: Manhole Ring Desc: Manhole Ring	NEW
4	5	7/30/2007	SUB	02-222-04	001	Title: Tapping Valves, 6" Desc: Tapping Valves, 6"	NEW

Remarks: Revised Site work submittals for review and approval.

7/31/2007	00351	COR-001 & 002	City of Meridian	Keith Watts	Petra Incorporated	Wes Bell
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for MJ's

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/26/2007				COR-0001 for ASI 15 for Foundation Drain work.	NEW
2	1	7/31/2007				COR-0002 for Force Account Work due to Unsuitable Soil removal and basement out of sequence plumbing work.	NEW

Remarks:

7/31/2007	00353	Draw No. 9 July 2007	City of Meridian	Keith Watts	Petra Incorporated	Wes Bell
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2007

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/24/2007				Idaho Airships Meridian City Hall Aerial Photos for July	NA
2	1	6/30/2007				Original Lien Releases from 06-30-07 Billings and check releases.	NA
3	1	7/31/2007				Application for Payment No. 9 for July 2007 with back-up documentation.	NA

Remarks:

8/1/2007	00352	Submittals	ICA Architects, PA	Michelle White	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	8/1/2007	SUB	04-200-07	001	Title: Mortar Mix Colorchart Desc: Mortar Mix Colorchart	AAN

Remarks:

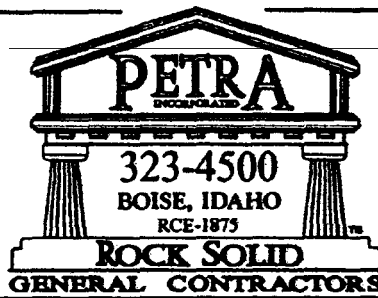
8/2/2007	00352	Roofing	ICA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	8/2/2007	SUB	07-500-01	001	Title: Roofing Desc: Roofing	NEW

Remarks:



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Project Name: Meridian City Hall
 Project No: 06-0675

Date: 9/10/2009
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Date	Number	Re:	To	Attention	From	Signed
8/8/2007	00360	Bent Plate	Build Steel	Steve Nordquist	Petra Incorporated	Adam Johnson

Shops

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/8/2007	SUB	05-500-06	001	Title: Shop Drawings - Bent Plate Desc: Shop Drawings - Bent Plate	AAN

Remarks:

8/9/2007	00361	Sewer Ejector	Bus. Mechanical	John Buss	Petra Incorporated	Adam Johnson
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Submittal

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	8/9/2007	SUB	15-400-01	001	Title: Sewage Ejector System Desc: Sewage Ejector System	AAN

Remarks:

8/9/2007	00362	Roofing	Western Roofing	Ted Davis	Petra Incorporated	Adam Johnson
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Submittals

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/9/2007	SUB	07-500-01	001	Title: Roofing Desc: Roofing	MCNR

Remarks:

8/9/2007	00363	Mutual Brick	TMC Inc	Michelle Waitz	Petra Incorporated	Adam Johnson
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Submittal

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	8/9/2007	SUB	04-200-05	001	Title: Mutual Brick Specifications Desc: Mutual Brick Specifications	APP

Remarks:

8/9/2007	00364	Bent Plate Sub	ECA Architects, PA	Steve Christensen	Petra Incorporated	Adam Johnson
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Copy

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/9/2007				MCH Bent Plate Submittal, Copied set for your file.	

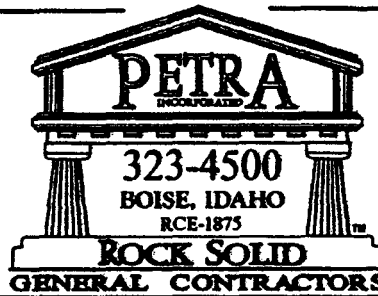
Remarks: Copy of the red lined set for your file. Thanks

8/9/2007	00365	Paint Submittal	ECA Architects, PA	Steve Christensen	Petra Incorporated	Adam Johnson
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Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	8/9/2007	SUB	09-900-01	001	Desc: Paint Submittal Package-Data Sheets and M.S.D.S.	NEW

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/10/2007	00370	Custom Glass, Inc. CNTP	City of Meridian	Keith Watts	Petra Incorporated	Wes Bethis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/24/2007				Fully Executed CNTP from Custom Glass Inc.	NA
2	1	8/1/2007				Custom Glass, Inc. Insurance Certificate	NA
3	1	8/9/2007				Performance Bond from Custom Glass, Inc.	NA
4	1	8/9/2007				Payment bond from Custom Glass, Inc.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/13/2007	00371	Cabinet Sinks	City of Meridian	Tammy de Weerd	Petra Incorporated	Wes Bethis

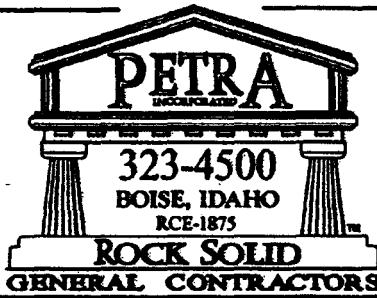
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/13/2007				Floors Plans in 11 x 17 for Basement, First Floor, Second Floor and Third Floor with Cabinet locations highlighted for your review and use.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/15/2007	00372	Primavera	City of Meridian	Keith Watts	Petra Incorporated	Wes Bethis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/15/2007				Primavera Conference Brochure	NA
2	1	7/16/2007				Fec-Ex Bid Package from Max Carrigan, Sr at Smart Building Solutions. Actual bid envelope is delivered un-opened and is reputed to contain a bid security in the form of a cashier's check, but is not confirmed as the envelope has remained sealed.	NA
3	1	5/31/2007				Copy of unexecuted Petra internal tracking Change Order No. 1 to MJ's Backhoe for May 4-24, 2007 Force Work Account.	NA
4	1	6/27/2007				Copy of unexecuted Petra internal tracking Change Order No. 2 to MJ's Backhoe for May 25 to June 12, 2007 Force Work Account.	NA
5	1	7/26/2007				Copy of unexecuted Petra internal tracking Change Order Request for ASI-15 to MJ's Backhoe.	NA
6	1	7/31/2007				Copy of unexecuted Petra internal tracking Change Order Request No. 2 to MJ's Backhoe for May 19th and June 26-July 23, 2007 Force Account Work.	NA
7	1	8/9/2007				Copy of unexecuted Petra PCO No. 1 to MJ's Backhoe for ASI-2 and ASI-6 work in place.	NA

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/15/2007	00377	Contract for	Custom Glass	David Larson	Petra Incorporated	Wes Bellis

Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00378	Contract for	Architectural Building	Stewart Jensen	Petra Incorporated	Wes Bellis
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Signature Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00379	Contract for	Drawford Door Sale of	Michael J	Petra Incorporated	Wes Bellis
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Signature Idaho Beltrami

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMA - 1992 Modified for review.	

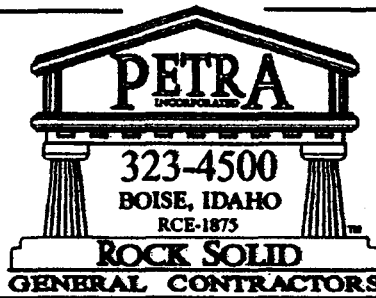
Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00380	Contract for	Schumacher's Learning	Eric Schumacher	Petra Incorporated	Wes Bellis
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Signature Inc

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/15/2007	00385	Contract for	Pac West Interior	Steve Packard	Petra Incorporated	Wes Bettis

Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMa - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00386	Contract for	Integrated Interior	Nelson Lipper	Petra Incorporated	Wes Bettis
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Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMa - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00387	Contract for	Masonry Conference	Jim Hendrix	Petra Incorporated	Wes Bettis
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Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMa - 1992 Modified for review.	

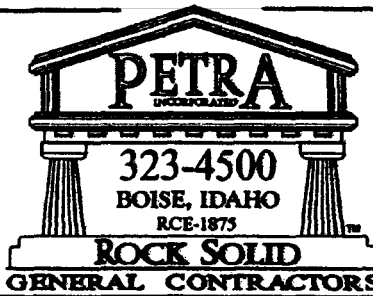
Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00388	Contract for	Bus Mechanical	John Biss	Petra Incorporated	Wes Bettis
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Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMa - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.



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Project Name: Meridian City Hall **Date:** 9/10/2009
Project No: 06-0675 **Page:** 143 of 271

Date	Number	Re:	To	Attention	From	Signed
8/21/2007	00393	H55 for	City of Meridian	Keith Watts	Petra Incorporated	Wes Bettis

Fabricating Corp

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/17/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992	OPN

Remarks: Keith:
 Attached are the contracts for the HVAC scope of work from Phase III for City Council ratification and final execution. Please return one full executed set to my attention for final copies and distribution.

8/21/2007	00394	Steel	City of Meridian	Keith Watts	Petra Incorporated	Wes Bettis
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Encounters, Inc.

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/13/2007				Notice of the right to claim a lien.	NA

Remarks: Keith:
 Enclosed is a Notice of the Right to Claim a Lien from Steel Encounters, Inc., a Vendor to Rule Steel Tanks and Fabrication for the City Hall project. This is not a lien, but merely a legal formality required in many states, but not Idaho, to establish the right of a supplying party to their legal lien rights as allowed by law. This is for you files. wwb

8/21/2007	00395	Foil Faced	LCA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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Fiberboard Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	8/21/2007	SUB	07-210-02	001	Title: Foil Faced Fiberboard Insulation Desc: Foil Faced Fiberboard Insulation	NEW

Remarks:

8/22/2007	00396	Simple	Ginnell	City of Meridian	Keith Watts	Petra Incorporated	Wes Bettis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/17/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992	OPN

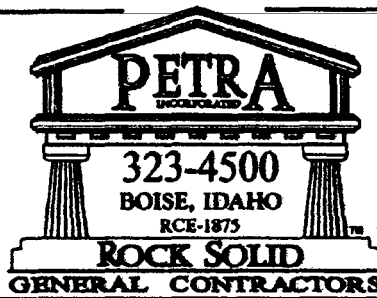
Remarks: Keith:
 Attached are the contracts for the Fire Suppression System scope of work from Phase III for City Council ratification and final execution. Please return one full executed set to my attention for final copies and distribution. IN PARTICULAR, PLEASE NOTE THE REQUESTED AMENDMENTS TO THE CONTRACT LANGUAGE PER THE COVER SHEET ON EACH CONTRACT PACKAGE.

8/22/2007	00397	Fire S	City of Meridian	Keith Watts	Petra Incorporated	Wes Bettis
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Electric, Inc.

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/22/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992	

Remarks: Keith:
 Attached are the contracts for the Fire Suppression System scope of work from Phase III for City Council ratification and final execution. Please return one fully executed set to my attention for final copies and distribution.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall
Project No: 06-0675

Date: 9/10/2009
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Date	Number	Re:	To	Attention	From	Signed
8/28/2007	00403	Per West	City of Meridian	Keith Watts	Petra Incorporated	West Bettis

Interiors

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/28/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992.	OPN

Remarks:

8/29/2007	00404	Design of Floors	City of Meridian	Keith Watts	Petra Incorporated	West Bettis
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/28/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992.	OPN

Remarks:

8/30/2007	00405	Steel Revisions	LC Architects PA	Steve	Petra Incorporated	Adam Johnson
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Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/30/2007		05500		Camber Beam Documentation.	
1	2	8/30/2007	SUB	05-500-07	001	Title: Revised 1st,2nd,3rd,4th, Framing Desc: Revised 1st,2nd,3rd,4th, Framing	NEW

Remarks:

8/31/2007	00406	Bois	City of Meridian	Keith Watts	Petra Incorporated	West Bettis
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Mechanical Services

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/30/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992.	OPN

Remarks:

8/31/2007	00407	Sidewalks	City of Meridian	Keith Watts	Petra Incorporated	West Bettis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/31/2007				Sidewalks, LLC - Change Order No. 1 ~ Meridian City Hall	OPN

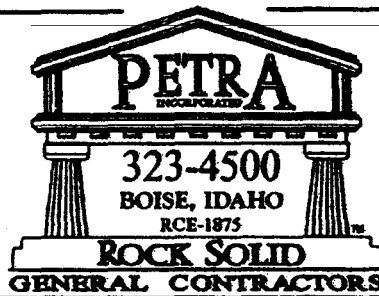
Remarks: Keith:

Attached is Sidewalks, LLC's Change Order No. 1 signed by Sidewalks, LLC and by Petra Incorporated for your submittal to Council for final execution.

9/4/2007	00408	Tri State Electric Serv	City of Meridian	Keith Watts	Petra Incorporated	West Bettis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/23/2007				Set of Payment and Performance Bonds, AIA Document A312, Bond No. 58647795 from Tri State Electric.	OPN

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/4/2007	00418	Glazing Shop	LCA Architects PA	Steve	Petra Incorporated	Adam Johnson

Drawings

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	8	9/4/2007	SUB	08-800-02	001	Title: Glazing Shop Drawings Desc: Glazing Shop Drawings	NEW

Remarks:

9/5/2007	00414	Commercial	City of Meridian	Keith Watts	Petra Incorporated	Wes Batts
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Painting, Inc

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/21/2007				Set of Payment and Performance Bonds, AIA Document A312, Bond No. 739489P for Commercial Painting Contractors, Inc.	OPN

Remarks:

9/5/2007	00416	August Draw	City of Meridian	Keith Watts	Petra Incorporated	Wes Batts
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Application

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/5/2007				Meridian City Hall Application for Payment for August 2006.	OPN

Remarks:

9/5/2007	00417	Executed	Schumacher & Company	Jo Gibbons	Petra Incorporated	Wes Batts
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Contract Inc

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/24/2007				Set of original AIA A101/CMA and A201/CMA fully executed contract documents for your records.	OPN

Remarks:

9/6/2007	00419	Ameyan	City of Meridian	Keith Watts	Petra Incorporated	Wes Batts
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Wallcover, Inc.

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/6/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992. For Bid Package 8-Drywall, Fireproofing, Acoustical Ceiling Tile Systems.	OPN
2	1	9/6/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992. For Bid Package 2 - Carpentry	

Remarks:

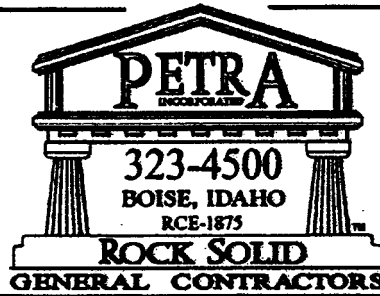
9/6/2007	00420	Contract	City of Meridian	Keith Watts	Petra Incorporated	Wes Batts
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Obligations

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/4/2007				TMC Change Order No. 1, Signed by Contractor and CM.	OPN
2	1	9/6/2007				August Application for Payment Revised.	OPN

Remarks: Keith:

Please note that the revised billing includes copies of all of the Subs billings. Don not toss the previous version as it includes all of the Contractors original notarized invoices for your use in processing.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

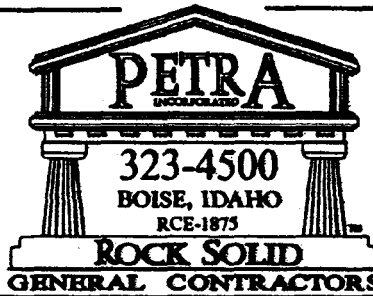
Page: 149 of 271

Date	Number	Re:	To	Attention	From	Signed
9/7/2007	0426	Wall Covering	Commercial Painting	Keith Martin	Petra Incorporated	Adam Johnson

Submittal Contractors, Inc

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/7/2007	SUB	09-720-01	002	Title: Textile Walkcovering Desc: Textile Walkcovering Manaram Product Sample	NEW
2	1	9/7/2007	SUB	09-720-01	004	Title: Textile Walkcovering Desc: Textile Walkcovering DeNovo Product Sample	NEW
3	3	9/7/2007	SUB	09-720-01	001	Title: Textile Walkcovering Desc: Textile Walkcovering Manaram Specifcators	NEW
4	3	9/7/2007	SUB	09-720-01	003	Title: Textile Walkcovering Desc: Textile Walkcovering DeNovo Specifications	NEW

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/7/2007	00429	Custom Glass Inc.	City of Meridian	Keith Waits	Petra Incorporated	Wes Bettis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	9/7/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992. For Bid Package 4 Interior Storefront and Glazing	OPN

Remarks:

9/7/2007	00467	Submittal	LCA Architects PA	Steve	Petra Incorporated	Adam Johnson
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Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	9/7/2007	SUB	15-082-01	003	Title: Pipe Insulation Desc: Insulation Aluminum Jacket	NEW
	0	9/7/2007	SUB	15-185-10	001	Title: Pressure Gauges Desc: Pressure Gauges	APP
	0	9/7/2007	SUB	15-082-01	002	Title: Pipe Insulation Desc: Insulation Mastic	NEW

Remarks:

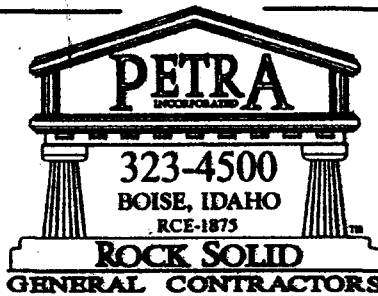
9/10/2007	00430	HVAC Submittal	LCA Architects PA	Steve	Petra Incorporated	Adam Johnson
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Set #1

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
01	8	9/10/2007	SUB	15-075-01	001	Title: Mechanical Identification Desc: Mechanical Identification	NEW
02	8	9/10/2007	SUB	15-838-01	001	Title: Power Ventilator Desc: Power Ventilator	NEW
03	8	9/10/2007	SUB	15-855-01	001	Title: Diffusers, Registers, Grilles Desc: Diffusers, Registers, Grilles	NEW
04	8	9/10/2007	SUB	15-950-01	001	Title: Test and Ballance Qualification Desc: Test and Ballance Qualification	NEW
05	8	9/10/2007	SUB	15083-01	001	Title: Mechanical Insulation Desc: Mechanical Insulation	NEW
06	8	9/10/2007	SUB	15725-01	001	Title: Modular Indoor Central Air Unit Desc: Modular Indoor Central Station Air Handling Unit	NEW
07	8	9/10/2007	SUB	15734-01	001	Title: Computer Room Air Conditioning Unit Desc: Computer Room Air Conditioning Unit	NEW
08	8	9/10/2007	SUB	15738-01	001	Title: Split System Air Conditioning Units Desc: Split System Air Conditioning Units	NEW
09	8	9/10/2007	SUB	15762-01	001	Title: Unit Heaters Desc: Unit Heaters	NEW
10	8	9/10/2007	SUB	15765-01	001	Title: Access Floor Terminal Units Desc: Access Floor Terminal Units	NEW
11	8	9/10/2007	SUB	15815-01	001	Title: Metal Duct Desc: Metal Duct	NEW
12	8	9/10/2007	SUB	15820-01	001	Title: Duct Accessories Desc: Duct Accessories	NEW

Remarks:



RFP 1
ITEM #41

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/6/2006	00002	RFP Fencing	Amor Fence	Mike Thompson	Petra Incorporated	Wes Bellis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2006				RFP for Construction Fencing	NEW

Remarks:

7/6/2006	00002	RFP Fencing	Cascade Fence	Gary Wingert	Petra Incorporated	Wes Bellis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2006				RFP for Construction Fencing	NEW

Remarks:

7/6/2006	00003	RFP Fencing	Meridian Fence Company	Chris Odegaard	Petra Incorporated	Wes Bellis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2006				RFP for Construction Fencing	

Remarks:

7/6/2006	00004	RFP Fencing	Sloan Fencing & Construction	Collin Sloan	Petra Incorporated	Wes Bellis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2006				RFP for Construction Fencing	NEW

Remarks:

8/23/2006	00005	IPCO Estimate	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/16/2006				Set of Idaho Power Co. service reroute & demo for City Hall Site.	OPN

Remarks:

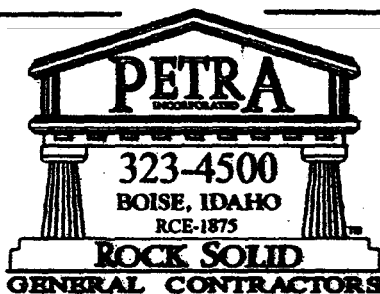
10/10/2006	00006	Abatement	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis
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Demolition

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/10/2006				Drum Sampling Investigation for Meridian Creamery by MTI	NA
2	1	5/1/2005				Safety Program -- Wrecking & Demolition Work Ideal Demolition Services	NA

Remarks: Item 1 for your review and comment. Item 2 returned after review, per your request.





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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

10/20/2006 00007 Ideal Demolition Safety Plan for Wrecking & Demolition Petra Incorporated WCB/Ball

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/20/2006				Smokestack Scaffold Sketch	NA
2	1	10/16/2006				EPA-Idaho DEQ Notification	NA
3	1					Certificate of Insurance	NA
4	1	10/19/2006				Site Specific Work Plan for Demolition	NA
5	1	5/1/2005				Ideal Demolition Safety Program for Wrecking & Demolition	NA
6	1	10/19/2006				Asbestos Abatement Standards & Procedures for Ideal Demolition	NA

Remarks:

11/8/2006 00008 Correspondence City of Meridian Keith Watts Petra Incorporated WCB/Ball

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/8/2006				RFP to Ideal Demolition for Trancite panel abatement with MTI test results.	OPN
2	1	11/8/2006				Anvil Fence—Quotes from Anvil Fence for additional panels and for remove and replace services for moving the fence around.	

Remarks:

11/15/2006 00009 Change Order No. 1 Keith Watts Petra Incorporated WCB/Ball

No. 1

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	11/13/2006				Originals of "Wet Signature" Change Order No. 1 for Transite Abatement	NEW
2	1	11/14/2006				Application for Payment for Ideal Demolition Services. Pay application projected for work through the end of the month. Hold for processing until November 27, 2006. Sent in early due to extended vacation by company Accounts Payable, to avoid missing application deadline. Construction Manager to certify % complete on November 27, 2006.	NEW
3	1	10/25/2006				Quote from Anvil Fence for Remove and Replace of T-Posts, fabric and panels if required during the course of construction.	NEW
4	2	11/6/2006				Original invoices for additional fence panels to fill where warehouse was torn down.	NEW

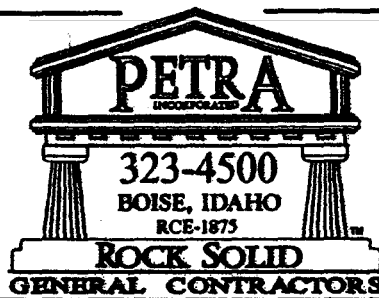
Remarks:

11/23/2006 00010 Application for Payment Meridian Keith Watts Petra Incorporated WCB/Ball

Payment

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/27/2006				Application for Payment No. 1 Petra & Ideal Demolition	NA

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
12/20/2006	1	Payment	City of Meridian	Keith	Petra Incorporated	Keith

Payment

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	12/20/2006				Application for Payment & Recap # 2	OPN

Remarks:

Date	Number	Re:	To	Attention	From	Signed
1/22/2007	6	Construction Management Plan Binders	City of Meridian	Keith	Petra Incorporated	Keith

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	1/22/2007				Construction Management Plan Binders	NEW

Remarks: Keith:

Enclosed are six (6) Construction Management Plan Binders for the City Hall Project. Not all of the components are included with this package, but they will follow under separate cover.

Did they?

This is submitted in three ring binder form as the information and contents of this plan will increase, change, be supplemented and updated during the course of the project.

Date	Number	Re:	To	Attention	From	Signed
1/22/2007	8	Budget	City of Meridian	Keith	Petra Incorporated	Keith

Budget

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	8	1/22/2007				Conceptual Budget (20%) Single Page	NEW

Remarks: Keith:

This transmittal is in follow-up to note the single page conceptual budget distributed at the Mayor's Building Committee meeting this morning.

Date	Number	Re:	To	Attention	From	Signed
1/23/2007	6	Documents	City of Meridian	Keith	Petra Incorporated	Keith

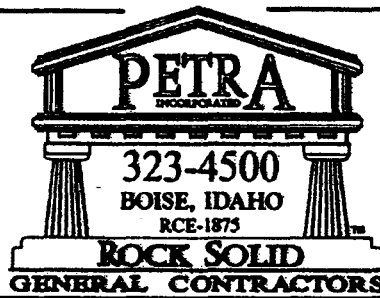
Documents

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	1/23/2007				Construction Management Plan—Claims & Change Order Management	NEW
2	1	1/25/2007				Site Topography Plan, Updated 1-25-06	NEW

Remarks: Keith:

Please distribute the enclosed 6 sets of the Claims & Change Order Management narrative for the City Hall Construction Management Plan Binders.

Also enclosed is one plotted, full sized copy of the Topo and Boundary Survey of the site, submitted by Engineering Northwest, LLC



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

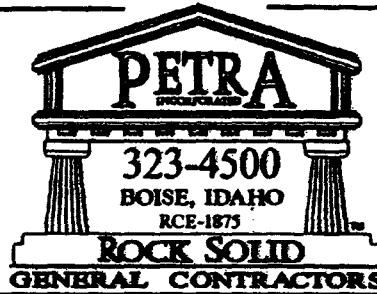
Project No: 06-0675

Page: 5 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Please sign and date below your receipt of these plans and return the 'file' copy to the receptionist at our office. Thank you.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

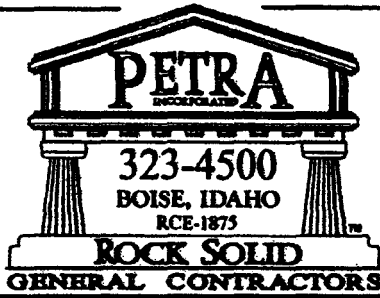
Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
1/29/2007	1	06-0675	06-0675	REVISED	PERMITS	ALAN JONSON

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

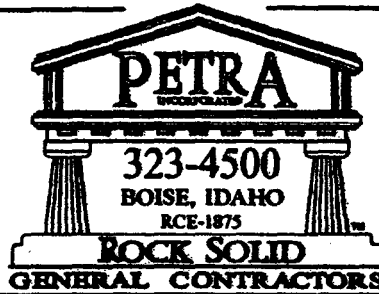
Page: 7 of 271

Date	Number	Re:	To	Attachment	From	Signed
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Remarks:

Please sign and date below your receipt of these plans and return the 'file' copy to the receptionist at our office. Thank you.

Due 2/5/2007, 3:00 P.M.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

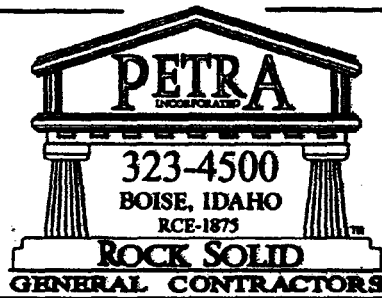
Project No: 06-0675

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Date Number Re: To Attention From Signed

12/29/2009 TOTAL PROJECT SHEETS BY DATE & PROJECT NO. 06-0675 2009-09-10 06-0675 06-0675 Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

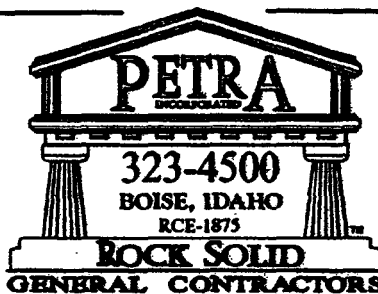
Page: 9 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Please sign and date below your receipt of these plans and return the 'file' copy to the receptionist at our office. Thank you.

Due 2/5/2007, 3:00 P.M.



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Project Name: Meridian City Hall

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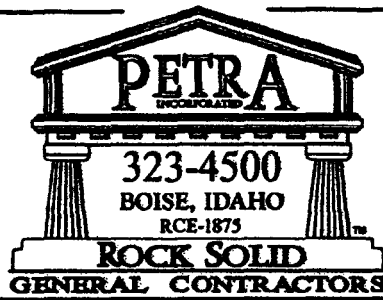
Project No: 06-0675

Page: 10 of 271

Date Number Re: To Attention From Signed

~~10/20/2009 06-0675 06-0675 06-0675 06-0675 06-0675 06-0675~~

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.05	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E1.02, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



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Date: 9/10/2009

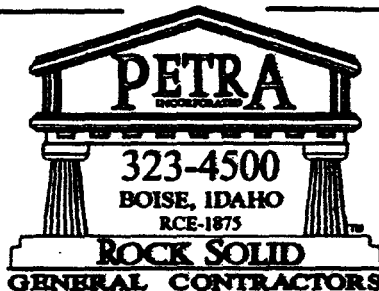
Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Due 2/5/2007, 3:00 P.M.



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

1/29/2007 0001 (1) 0675 SA NEW WASH HOODING TO DATE 11-18-06 P0.0A P0.0B P1.1A P1.1B P2.1A P2.1B P3.1A P3.1B P4.1A P4.1B P5.0 M4.0A M4.0B M5.0A M5.0B M6.1 E1.00 E1.01 E1.02 E2.01F E2.01L E2.01P E2.01S E2.02F E2.02L E2.02P E2.02S E2.11F E2.11L E2.11P E2.11S E2.12F E2.12L E2.12P E2.12S E2.21FE2.21L E2.21P E2.21S E2.22F E2.22L EE2.22P E2.22S E2.31F E2.31L E2.31P E2.31S E2.32F E2.32L E2.32P E2.32S E2.40 E3.00 E3.01 E3.02 E3.03 E3.04 E3.05 E4.00 E5.00

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
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2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E1.02, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	

Remarks: Due 2/5/2007, 3:00 P.M.



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Project Name: Meridian City Hall

Date: 9/10/2009

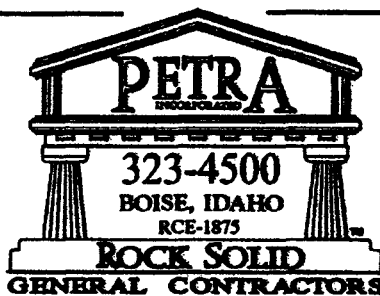
Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
REVISIONS						

Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007			Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
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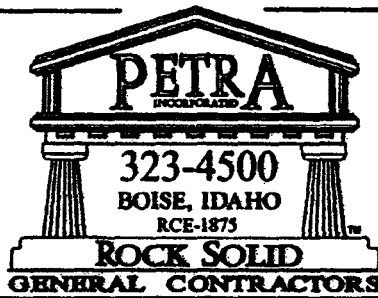
Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:

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Project Name: Meridian City Hall

Date: 9/10/2009

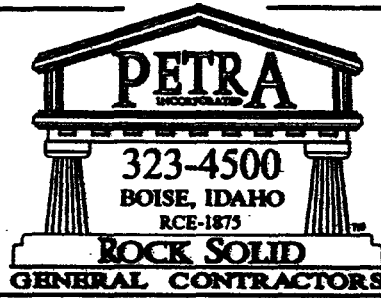
Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
[REDACTED]						

Protection

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
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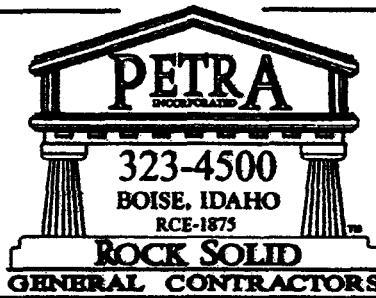
Project No: 06-0675

Page: 18 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

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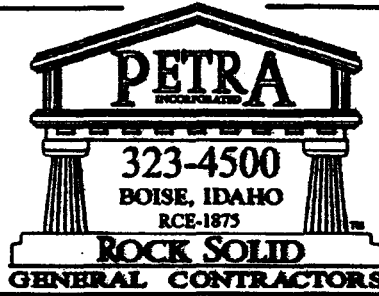
Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
[REDACTED]						

Core			Products				
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E1.02, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



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Project Name: Meridian City Hall

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:

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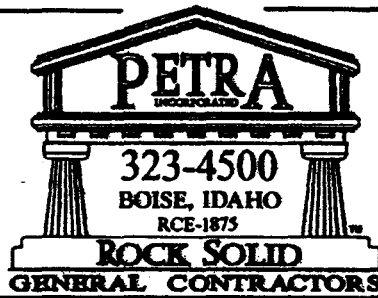


Core

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E1.02, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	

Remarks:

Due 2/5/2007, 3:00 P.M.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

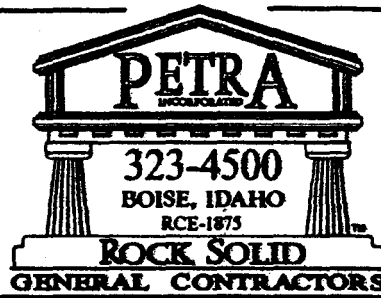
Page: 21 of 271

Date	Number	Re:	To	Attention	From	Signed
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10/2/07	10028	REVISIONS	ADAM JOHNSON	ADAM JOHNSON	PETRA INCORPORATED	ADAM JOHNSON
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America

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

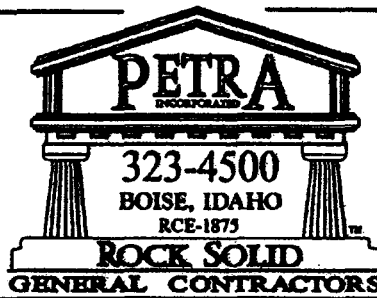
Project No: 06-0675

Page: 22 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Due 2/5/2007, 3:00 P.M.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

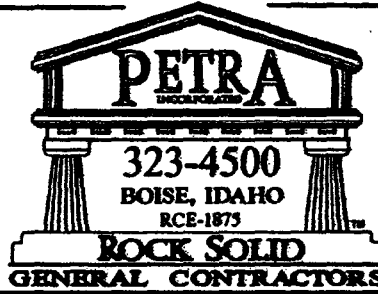
Project No: 06-0675

Page: 23 of 271

Date	Number	Re:	To	Attention	From	Signed
[REDACTED]						

Products

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007			Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.05	
2	1	1/29/2007			Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

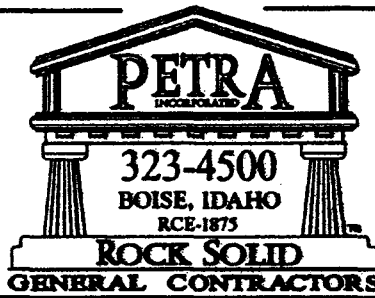
Project No: 06-0675

Page: 24 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Due 2/5/2007, 3:00 P.M.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

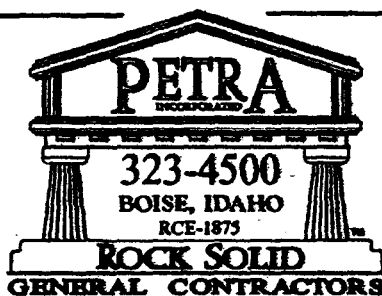
Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
1/29/2007	1	06-0675	Meridian City Hall	Micro Systems	Boise, Idaho	Demetrius

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Due 2/5/2007, 3:00 P.M.

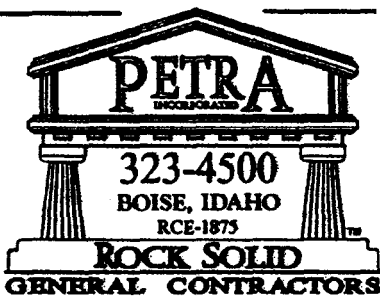
~~1/23/2007 0024 MCH SE 148 10/10/07 10/10/07 10/10/07 10/10/07 10/10/07~~

Idaho

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	

Remarks:

Due 2/5/2007, 3:00 P.M.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 27 of 271

Date	Number	Re:	To	Attention	From	Signed
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2/1/2007	000301	QWEST	WEST	Qwest	Petra Incorporated	Wes Burt
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Hall

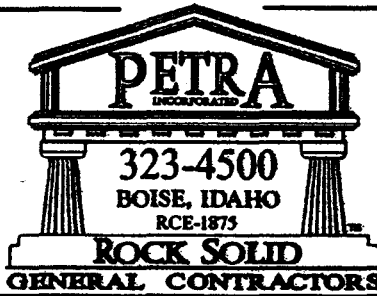
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/31/2007			Check for services to re-route the Qwest 100 pr cable to the South side of the City Hall site in Meridian.	NEW

Remarks:

Please sign and date below to acknowledge receipt of this transmittal and its contents. Return the file copy to the receptionist for our records.

Signed _____

Date _____



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 29 of 271

Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Due 2/5/2007, 3:00 P.M.

~~2/2/2007 100033 Meridian City Hall Mountain Home Electrical Kevin Hertz Petra Incorporated Was: Contr~~

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	

Remarks:

Due 2/5/2007, 3:00 P.M.

~~2/5/2007 100033 Meridian City Hall Mountain Home Electrical Kevin Hertz Petra Incorporated Was: Contr~~

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/22/2007	Hall	SDS		Conceptual Design Electrical Cut Sheets	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 30 of 271

Date **Number** **Re:** **To** **Attention** **From** **Signed**

~~2/5/2007~~ ~~0003~~ ~~Construction~~ ~~City of Meridian~~ ~~Keith Walls~~ ~~Petra Incorporated~~ ~~Wes Bell~~

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	2/5/2007				Monthly Billing Correction Letter	NEW
2	1	2/5/2007				Monthly Billing with Back-up	NEW
3	6	2/5/2007				Project Contractor Coordination, Methods & Procedures for inclusion in the Construction Management Plan	NEW
4	6	2/5/2007				Two page Project Organizational Chart for inclusion in the Construction Management Plan	NEW

Remarks:

~~2/12/2007~~ ~~0003~~ ~~Construction~~ ~~City of Meridian~~ ~~Keith Walls~~ ~~Petra Incorporated~~ ~~Wes Bell~~

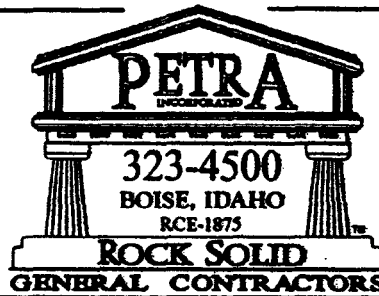
Budgets

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	2/12/2007				60% Shell Design Construction Budget	NA
2	6	2/12/2007				30 % Core & TI Design Construction Budget	NA
3	6	2/12/2007				Shell, Core & TI Budget Summary	NA
4	6	2/12/2007				Updated Project Schedule	NA

Remarks: Keith:

Please distribute for inclusion in the CM Plan Binders under the BUDGET tab, in all six sets delivered to you previously. The copies of the updated schedule are for the tab titled schedule.

If you have any questions or require additional information, please contact me at your convenience.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

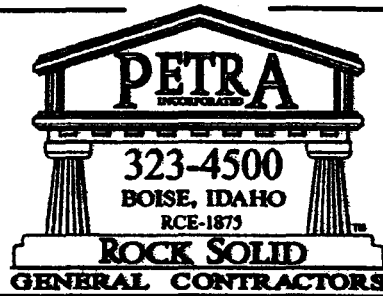
Project No: 06-0675

Page: 31 of 271

Date Number Re: To Attention From Signed

~~2/15/2007 00030118 SE STATIONING REPORT FOR PROJECT MERIDIAN CITY HALL INCORPORATED ADMINISTRATION and Core~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
2	1	1/29/2007			Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E1.02, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

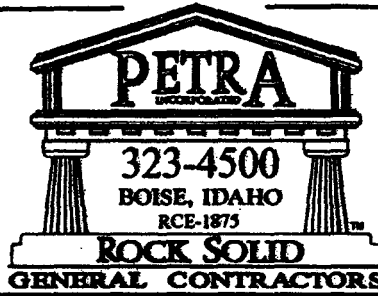
Project No: 06-0675

Page: 33 of 271

Date	Number	Re:	To	Attention	From	Signed
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~~2007 01 17 11 51 AM 161 - 1097 Rosario Street - Plumbing - General Contractors - Petra Incorporated - Meridian, ID~~

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



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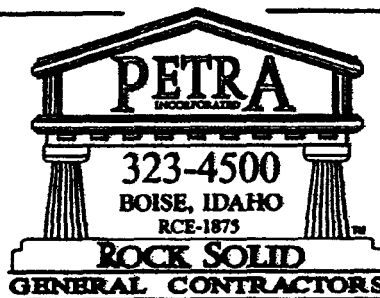
Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:

Due 2/5/2007, 3:00 P.M.

~~2/20/2007 00038 Meridian City Hall~~

Hall

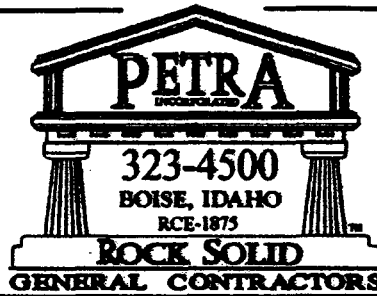
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	2/16/2007				Electrical Engineering Plan Review for Value Meeting Minutes	NA
2	1	2/19/2007				Mechanical Engineering Plan Review for Value Meeting Minutes	NA
3	1					Draft AIA Document A101/CMA-1992 Agreement Between Owner and Contractor	NA
4	1					Draft AIA Document A201/CMA - 1992 General Conditions of the Contract for Construction.	NA

Remarks:

Brad:

Items 1 & 2 are for your records regarding meetings Petra has held with the Electrical and Mechanical Engineers for the Meridian City Hall project to review design and look at cost per value options that may be available to the City.

Items 3 & 4 are for your transmittal to Ted Baird to be passed along to Frank Lee as standard contract forms that Petra has and is utilizing on Public Works Construction Management projects for school district work, as requested by Mr. Lee.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

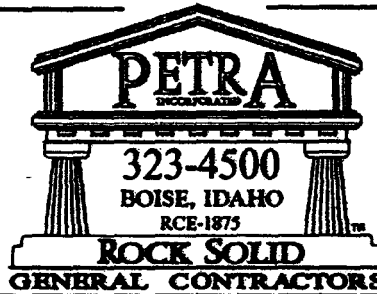
Page: 36 of 271

Date	Number	Re:	To	Attention	From	Signed
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3/17/2007	00630	METRO	PLUMBING	STANLEY	BOISE	BOISE
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Idaho

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007				Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
2	1	1/29/2007				Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



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Project Name: Meridian City Hall

Date: 9/10/2009

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:

~~3/1/2007 00040 February City of Meridian Keith Watts Petra Incorporated W.C. Bell~~

Payment App

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/1/2007				Application and Certificate For Payment	NA

Remarks: Keith:

Attached is the billing for the Month of February, including reimbursible monthly expenses.

If you have any questions or require additional information, please contact me at your convenience.

~~3/7/2007 00041 I/CH/Phase II Set 01 Petra Incorporated W.C. Bell Petra Incorporated W.C. Bell~~

II-Set 01

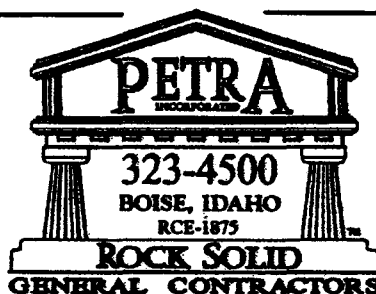
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/7/2007	00000001	06-0675	City of Meridian	City of Meridian	City of Meridian	City of Meridian

II-Set 40

Determined

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

Date	Number	Re:	To	Attention	From	Signed
3/7/2007	00000001	06-0675	City of Meridian	City of Meridian	City of Meridian	City of Meridian

II-Set 39

Determined

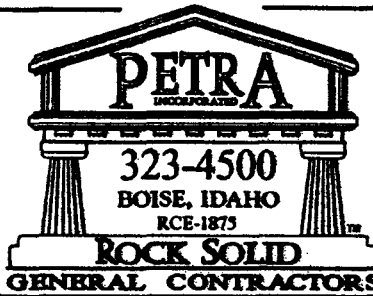
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

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Determined

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

~~3/7/2007 00049 II-Set 37 Phase II City of Meridian RCE City of Meridian Kelli Wall~~

II-Set 37

Determined

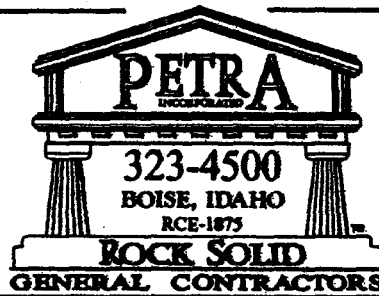
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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3/7/2007	0007	MC121	City of Meridian	TO: [REDACTED]	FROM: [REDACTED]	Signed: [REDACTED]
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II-Set 36

Determined

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

3/7/2007	0007	MC121	City of Meridian	TO: [REDACTED]	FROM: [REDACTED]	Signed: [REDACTED]
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II-Set 35

Determined

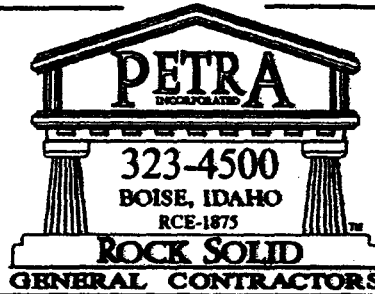
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/7/2007	000491	CH Phase II	City of Meridian	To Be	City of Meridian	Kath Wain

II-Set 34

Determined

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

3/7/2007	000491	CH Phase II	City of Meridian	To Be	City of Meridian	Kath Wain
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II-Set 33

Determined

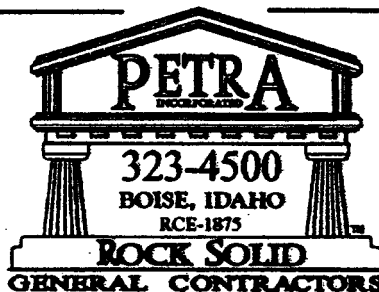
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1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 42 of 271

Date Number Re: To Attention From Signed

~~3/7/2007 06-0675 MCE/PT/...~~

II-Set 32

Determined

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
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2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

~~3/7/2007 06-0675 MCE/PT/...~~

II-Set 31

Determined

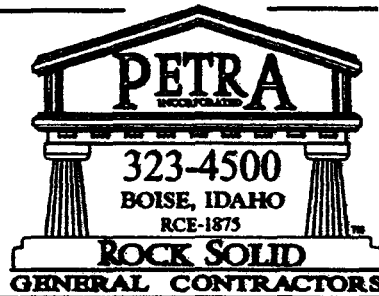
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
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2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 43 of 271

Date	Number	Re:	To	Attention	From	Signed
3/7/2007	0005	II-Set 30	CITY OF MERIDIAN	TO: E. KEITH	CITY OF MERIDIAN	KEITH

II-Set 30

Determined

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

Date	Number	Re:	To	Attention	From	Signed
3/8/2007	0005	II-Set#30-40	CITY OF MERIDIAN	TO: E. KEITH	CITY OF MERIDIAN	KEITH

II-Set#30-40

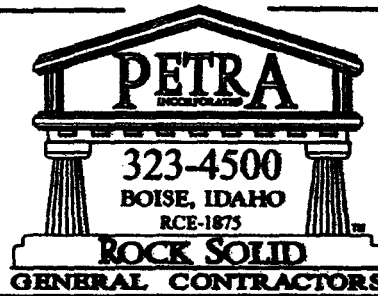
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1	11	3/7/2007				Volume 1-Phase II Technical Specifications	
2	11	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	11	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: Keith:
Attached are plan transmittals for each set, along with sets # 30,31,32,33,34,35,36,37,38,39,40.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/7/2007	00055	Meridian City Hall	Mountain Steel	General Contractors	Petra Incorporated	John A. Peterson

II-Set 29

Campbell

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

Date	Number	Re:	To	Attention	From	Signed
3/7/2007	00055	Meridian City Hall	Mountain Steel	General Contractors	Petra Incorporated	John A. Peterson

II-Set 28

Fabrication

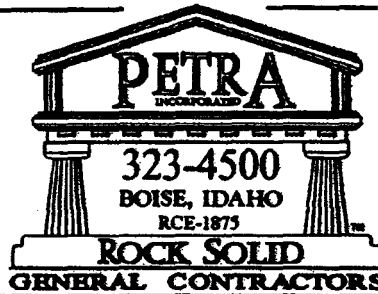
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1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 45 of 271

Date	Number	F.c.	To	Attention	From	Signed
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II-Set 03 Const./Dodge/Plan Room

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
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2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

~~3/8/2007/0015/IDCH/Plan Room - Idaho AGC - Boise - Jennifer Larsen - Petra Incorporated - Adam Johnson~~

II-Set 04

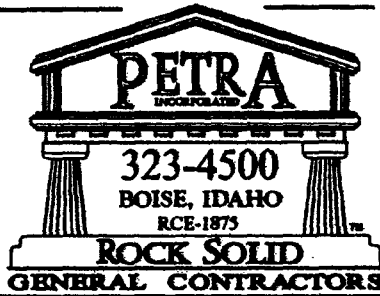
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 21, 2007.

Deposit Required: No Depsit to Idaho AGC Plan Room

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 47 of 271

Date	Number	Re:	To	Attention	From	Signed
3/8/2007	00050	CEI	CEI	Her McLean	Edwin Johnson	Edwin Johnson

II-Set 25

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
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2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

Date	Number	Re:	To	Attention	From	Signed
3/8/2007	00051	CEI	CEI	Her McLean	Edwin Johnson	Edwin Johnson

II-Set 27

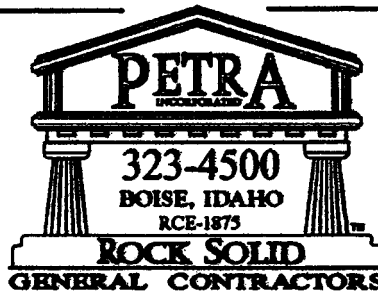
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2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 48 of 271

Date Number Re: To Attention From Signed

3/8/2007 00062 MCEPH Bid - Bids Group Bid - Bids Group Bid - Bids Group Bid - Bids Group

II-Set 22

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

3/8/2007 00062 MCEPH Bid - Bids Group Bid - Bids Group Bid - Bids Group Bid - Bids Group

II-Set 24

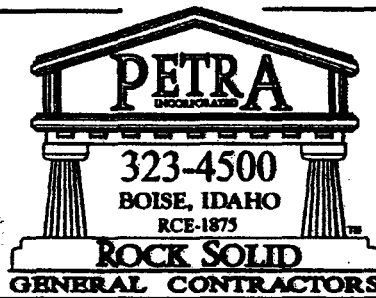
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1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/7/2007	0002	Meridian City Hall	Meridian City Hall	Michaelson, Susan	Petra Incorporated	Patricia Newbold

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ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

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Plan CD: \$50.00 (non-refundable)

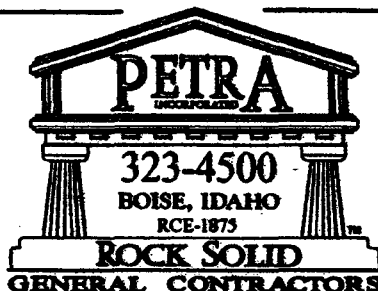
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1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)

Please mail check to Petra, Inc. 9056 W. Blackeagle Drive, Boise, Idaho 83709

~~3/9/2007 0067 Meridian City Hall Phase II Bidding and General Conditions~~

II-Set 13

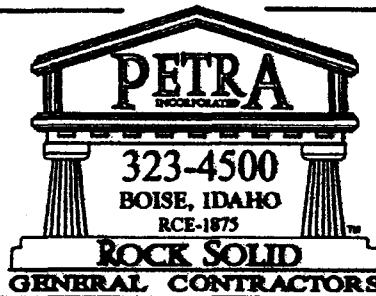
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2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

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Deposit Required:

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Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

3/9/2007 00069 I-Set 12 Architectural Building Bryce, Anthony Petra Incorporated Adam Johnson

I-Set 12

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

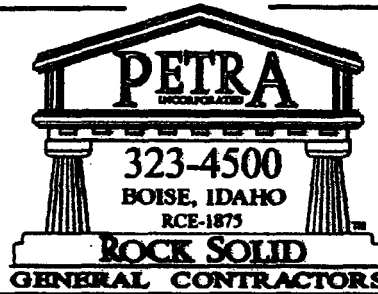
3/9/2007 00069 I-Set 10 Architectural Building Bryce, Anthony Petra Incorporated Adam Johnson

I-Set 10 Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

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Date	Number	Re:	To	Attention	From	Signed
3/7/2007	00001	06-0675		Richard Bentley	Richard Bentley	Richard Bentley

II-CD#1

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

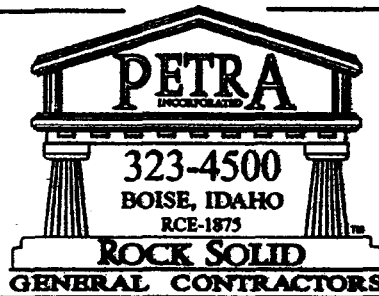
Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

II-Set 9

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1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/9/2007	0007	II-Set 19	Adrian Wall	Adrian Wall	Petra Incorporated	Adrian Wall

II-Set 19

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
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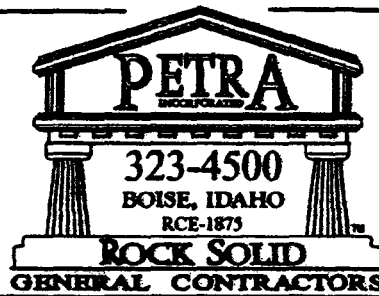
Date	Number	Re:	To	Attention	From	Signed
3/9/2007	0007	II-Set 20	Adrian Wall	Adrian Wall	Petra Incorporated	Adrian Wall

II-Set 20

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
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2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/10/2009	00675	06-0675	06-0675	06-0675	06-0675	06-0675

II-Set 16

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2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

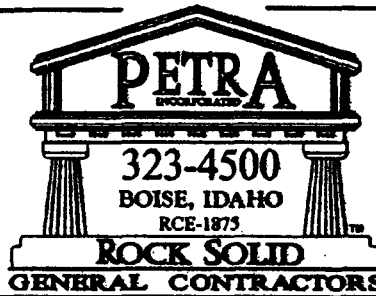
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 Plan CD: \$50.00 (non-refundable)

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1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

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~~3/7/2007 00675 MCHP~~ ~~Foundation~~ ~~PEC~~ ~~PEC~~ ~~PEC~~ ~~PEC~~ ~~PEC~~ ~~PEC~~

II-Set 18

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)

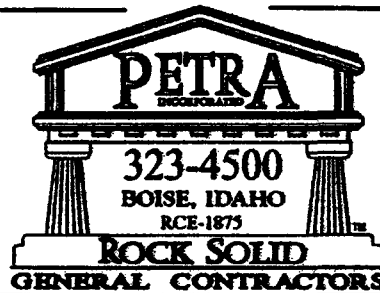
~~3/7/2007 00675 MCHP~~ ~~American Paying~~ ~~Bob Fuller~~ ~~PEC~~ ~~PEC~~ ~~PEC~~ ~~PEC~~ ~~PEC~~

II-Set 7

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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3/7/2007 0007 II-Set 15 Timber Structural Products Adam Johnson

II-Set 15

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)

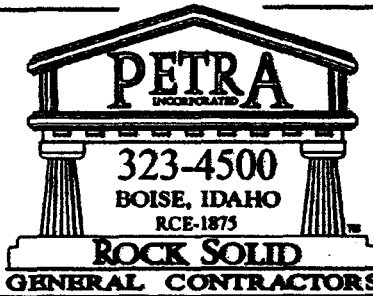
3/7/2007 0007 II-Set 8 Products Timber Structural Adam Johnson

II-Set 8 Products

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)-Please attach check to this sheet and return via mail at your earliest convience. Thank You!



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/7/2007 0008 NICH PH~~ ~~Team Work~~ ~~Environ~~ ~~Environ~~ ~~Environ~~ ~~Environ~~

II-Set 8

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

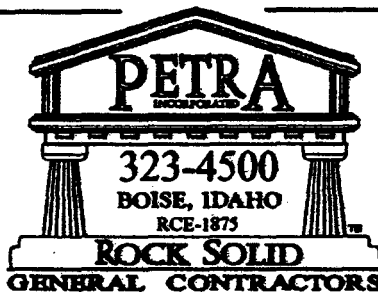
~~3/7/2007 0008 NICH PH~~ ~~Mountain States Roofing~~ ~~Environ~~ ~~Environ~~ ~~Environ~~ ~~Environ~~

II-Set 14

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

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Date Number Re: To Attention From Signed

~~3/7/2007 0002 II-CD#2 Western Housing Dept. St. Paul, MN. Keith Walls~~

II-CD#2

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)

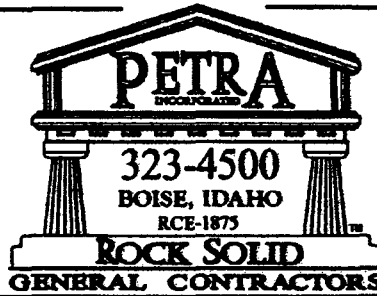
~~3/11/2007 0002 II-CD#5-10 City of Meridian Keith Walls~~

II-CD's 5-10

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	11	3/7/2007			Volume 1-Phase II Technical Specifications	
2	11	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	11	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: Keith:
Attached are plan transmittals for each set, along with sets # 30,31,32,33,34,35,36,37,38,39,40.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/7/2007 00085 MCH Phase II~~ ~~Petra Incorporated~~ ~~John Anderson~~ ~~Petra Incorporated~~ ~~Adam Johnson~~

II-CD#3

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, AS.1AS.2, AS.3, AS.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

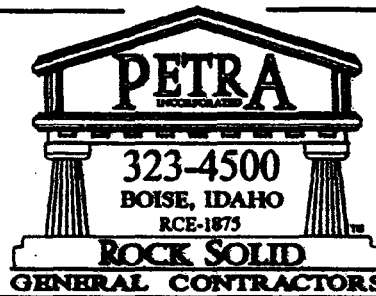
~~3/7/2007 00085 MCH Phase II~~ ~~Petra Incorporated~~ ~~John Anderson~~ ~~Petra Incorporated~~ ~~Adam Johnson~~

II-Set 52

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, AS.1AS.2, AS.3, AS.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 60 of 271

Date Number Re: To Attention From Signed

II-Set 49

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

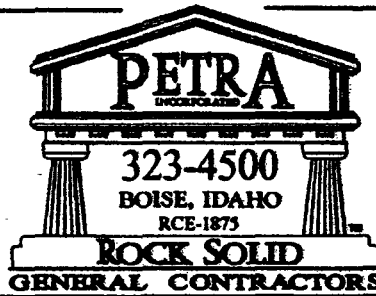
~~3/5/2007 00087 II-Set 49 Phase II Bidding and General Conditions Meridian City Hall John Olsen Petra Incorporated Adam Johnson~~

II-Set 50

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/7/2007 00088 MCH Phase II-Set 43~~

II-Set 43

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)

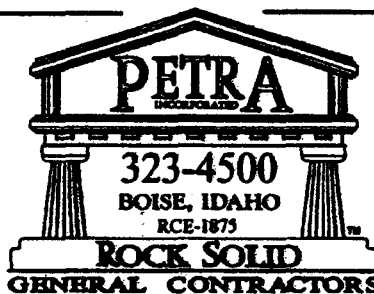
~~3/7/2007 00089 MCH Phase II-Set 47~~

II-Set 47

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
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2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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II-Set 51

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

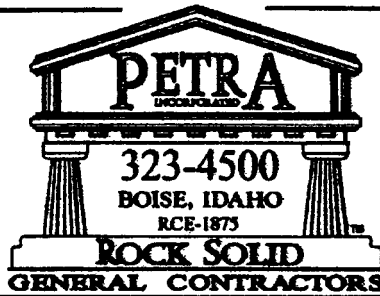
~~3/7/2007 0009 MCHP/Es Modern Roofing on Doramus Petra Incorporated Adam Johnson~~

II-Set 46

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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II-Set 48

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

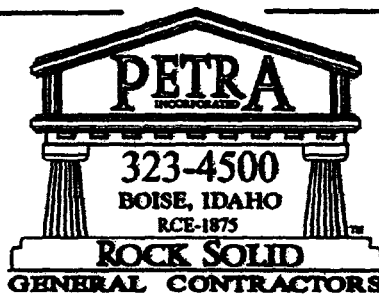
~~3/15/2007 00:03:11 CH: P:\Plans - Commercial\Classroom\Drawings\Title\Title.dwg Petra Incorporated Adam Robinson~~

II-Set 45

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/5/2007	0008	MCH	West	Mike Brown	Petra Incorporated	Adam Blum

II-Set 44

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

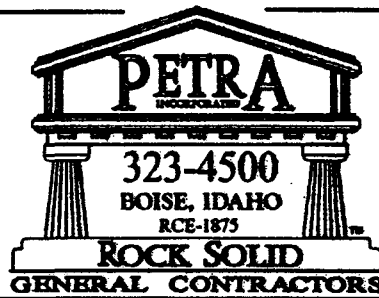
Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

3/16/2007	0009	MCH	Adam Blum	Mike Brown	Petra Incorporated	Adam Blum
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A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/16/2007	00097	MCH Phase II	KA Steel Corporation	William Koch	Petra Incorporated	Adam Johnson

II-CD#3

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.05, E1.15	

Remarks: BID DATE: MARCH 27, 2007.

3/16/2007	00097	MCH Addendum	McGraw-Hill	Scott Spradling	Petra Incorporated	Wes Beth
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A Const./Dodge/Plan Room

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

3/16/2007	00097	MCH Addendum	Idaho AIC	Doreen	Jennifer Larsen	Petra Incorporated	Wes Beth
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A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

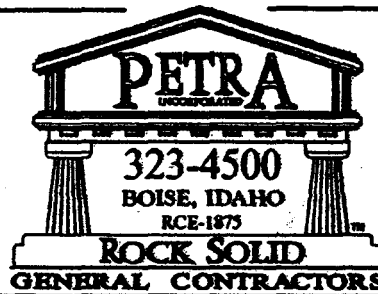
Remarks:

3/16/2007	00097	MCH Addendum	McGraw-Hill	Mike Aspinall	Petra Incorporated	Wes Beth
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A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

3/16/2007 00101 MCH / Addendum / Terra West / Addendum / Petra Incorporated / W. Ball

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

3/16/2007 00101 MCH / Addendum / American Draving / Addendum / Petra Incorporated / Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

3/16/2007 00102 MCH / Addendum / Tombar Structural / Addendum / Petra Incorporated / Adam Johnson

A

Products

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

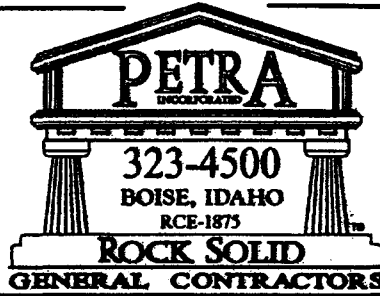
Remarks:

3/16/2007 00103 MCH / Addendum / GASC (comabt) / Addendum / Petra Incorporated / Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed
 9/10/2009 00105 MCH Addendum A- Specifications for Building William Koch Petra Incorporated Adam Johnson

A Supply Lawrence

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

9/10/2009 00105 MCH Addendum A- Specifications for Building William Koch Petra Incorporated Adam Johnson

A Supply Lawrence

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

9/10/2009 00105 MCH Addendum A- Specifications for Building William Koch Petra Incorporated Adam Johnson

A Supply Lawrence

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

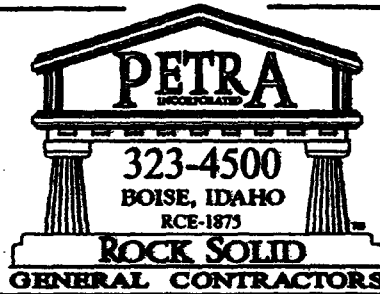
Remarks:

9/10/2009 00105 MCH Addendum A- Specifications for Building William Koch Petra Incorporated Adam Johnson

A Supply Lawrence

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/16/2007 00103 MCH Addendum Mountain Site Roofing SHEETWORK PETRA INCORPORATED~~

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:

~~3/16/2007 00103 MCH Addendum PacWest Interior SHEETWORK PETRA INCORPORATED~~

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:

~~3/16/2007 00103 MCH Addendum Foundation SHEETWORK PETRA INCORPORATED~~

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

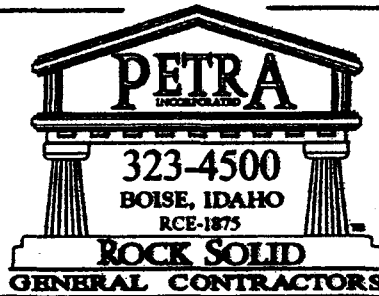
Remarks:

~~3/16/2007 00103 MCH Addendum Mechanical SHEETWORK PETRA INCORPORATED~~

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/15/2009	001	ME: Addendum to R/S	System	Bill Evers	Petra Incorporated	Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:

3/15/2009	002	ME: Addendum R/S	System	Bill Evers	Petra Incorporated	Adam Johnson
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A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:

3/15/2009	003	ME: Addendum R/S	System	Bill Evers	Petra Incorporated	Adam Johnson
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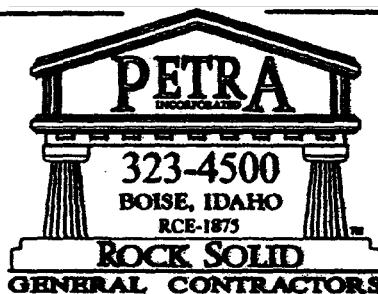
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/16/2007 00116 MCH Addendum Bid Package No. 1 Revised (2 pages) Plan Details: SK-1, SK-2, SK-3, SK-4. Plan Sheets: CS.2, CS.1 Addendum A- Specifications (3 pages) Petra Incorporated Adam Johnson~~

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:

~~3/16/2007 00116 MCH Addendum Bid Package No. 1 Revised (2 pages) Plan Details: SK-1, SK-2, SK-3, SK-4. Plan Sheets: CS.2, CS.1 Addendum A- Specifications (3 pages) Petra Incorporated Adam Johnson~~

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:

~~3/16/2007 00116 MCH Addendum Park Mickelson & Sons Stone Fabrication Petra Incorporated Adam Johnson~~

A

Masonry, Inc.

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:

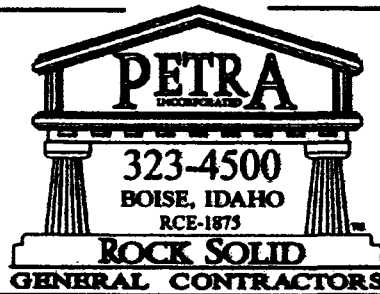
~~3/16/2007 00116 MCH Addendum Park Mickelson & Sons Stone Fabrication Petra Incorporated Adam Johnson~~

A

Fabrication

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/16/2007	00125	MCH Addendum B-2	Boise	Boise	Petra Incorporated	Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:

3/16/2007	00125	MCH Addendum B-2	Boise	Boise	Petra Incorporated	Adam Johnson
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A

Bloom

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:

3/16/2007	00125	MCH Addendum B-2	Boise	Boise	Petra Incorporated	Adam Johnson
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A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	

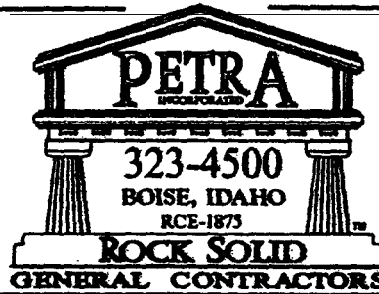
Remarks:

3/16/2007	00125	MCH Addendum B-2	Boise	Boise	Petra Incorporated	Adam Johnson
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A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 74 of 271

Date Number Re: To Attention From Signed

3/16/2007 00132 MCH Addendum Call 0073 Meridian Scott Lanning Petra Incorporated Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

3/16/2007 00133 MCH Addendum Call 0073 Meridian Scott Lanning Petra Incorporated Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: CS.2, CS.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

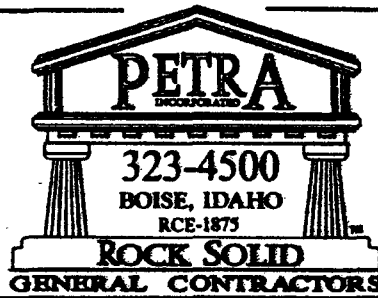
3/19/2007 00134 MCH II-Set 41 Meridian Scott Lanning Petra Incorporated Adam Johnson

II-Set 41

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.05, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 75 of 271

Date	Number	Re:	To	Attention	From	Signed
3/19/2007	001	SMCH Addendum	Rock Solid	Scott Johnson	Petra Incorporated	Adam Johnson

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

3/19/2007	001	SMCH Addendum	Rock Solid	Scott Johnson	Petra Incorporated	Adam Johnson
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II-CD#18

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

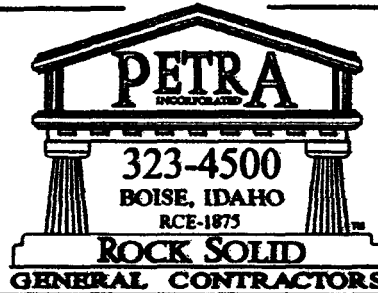
Remarks: BID DATE: MARCH 27, 2007.

3/19/2007	001	SMCH Addendum	Rock Solid	Scott Johnson	Petra Incorporated	Adam Johnson
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A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

3/7/2007 0038 MCH Phase II Set 7 Inc Rock Mountain Supply Doug Sykes Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

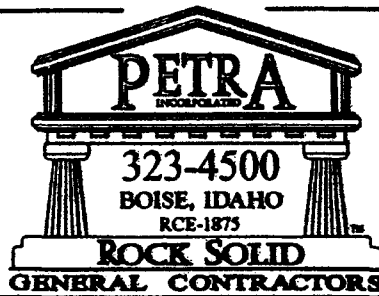
Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

3/9/2007 0039 MCH Addendum Rock Mountain Supply Doug Sykes Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Plan Sheets: C5.2, C5.1	
1	1				Addendum A- Specifications (3 pages)	
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/21/2007	00140	MCH Addendum 1111 Excavation	Mike Nix	Mike Nix	Petra Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/21/2007			Specifications Section 01230-Alternatives	
1	1	3/21/2007			Specifications Section 04720- A RockCast Stone	
1	1	3/21/2007			Schedule for Meridian City Hall	
1	1	3/21/2007			Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1	3/21/2007			Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1	3/21/2007			Addendum B - 2 sheets.	

Remarks: For Your Use.

3/21/2007	00141	MCH Addendum 1111 Backhoe	Mike Apostolou	Mike Apostolou	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	

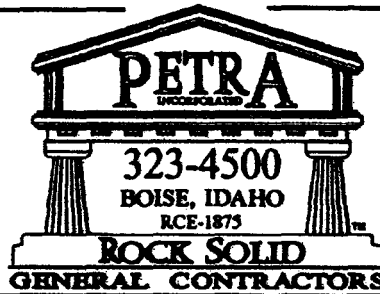
Remarks:

3/21/2007	00142	MCH Addendum 1111 WCs	Eric Howard	Eric Howard	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/23/2007	0675	MECH Addendum	American Forming	Bob Pulg	Patricia Corporation	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	

Remarks:

3/29/2007	0675	MECH Addendum	Tombar Structural	Tombar	Petra Incorporated	Adam Johnson
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B

Products

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	

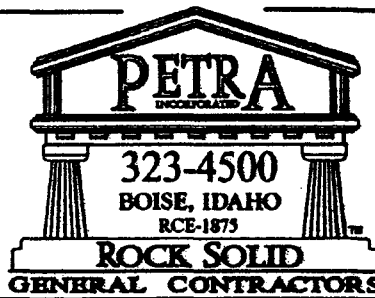
Remarks:

3/27/2007	0675	MECH Addendum	Tombar Structural	Tombar	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/21/2007	00146	MCH/ADDENDUM B	GLASS COMPANY, INC.	Mark Driskell	Petra Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:

3/21/2007	00147	MCH/ADDENDUM B	GLASS COMPANY, INC.	Mark Driskell	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:

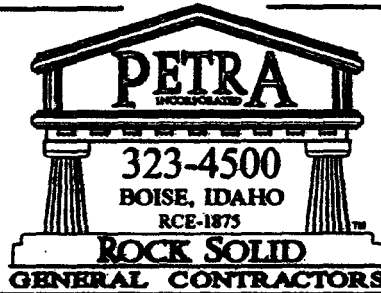
3/21/2007	00148	MCH/ADDENDUM B	ARCHITECTURAL BUILDING	Boise Group	Petra Incorporated	Adam Johnson
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B

Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 80 of 271

Date	Number	Re:	To	Attention	From	Signed
3/21/2007	001749	MC/HA Addendum 3 Center Masonry		Edrie Gamber	Petra Incorporated	Alan Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:

3/21/2007	001501	MC/HA Addendum 11 C-Masonry		Rik Deems	Petra Incorporated	Alan Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

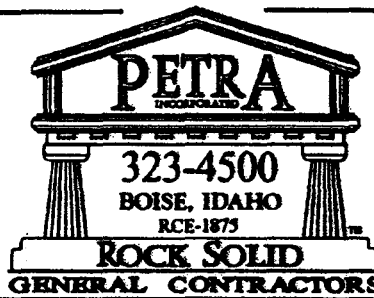
Remarks:

3/23/2007	001811	MC/HA Addendum 12 Rock Cast Stone		Rik Deems	Petra Incorporated	Alan Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/21/2007	00153	MCH/ Addendum 3	Meridian States Holding	Rich Dobb	Petra Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	

Remarks:

3/21/2007	00153	MCH/ Addendum 3	Meridian States Holding	Rich Dobb	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

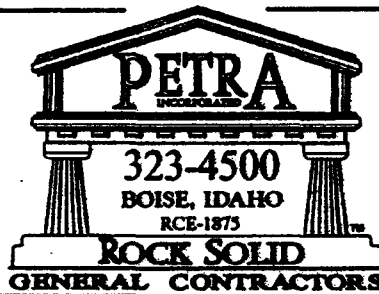
Remarks:

3/21/2007	00153	MCH/ Addendum 3	Meridian States Holding	Rich Dobb	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

3/21/2007 00155 MCH Addendum #2 - Was... Stone Package - Petra Inc. Portland Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

3/21/2007 00155 MCH Addendum Foundations... Petra Inc. Portland Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

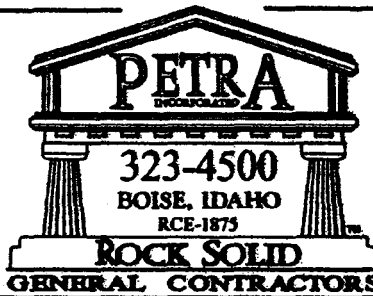
Remarks:

3/21/2007 00155 MCH Addendum Amendments... Petra Inc. Portland Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed
 3/27/2007 00158 MCH Addendum #1000/Systems Bill Byers Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

3/27/2007 00159 MCH Addendum #101/Steel Bill Byers Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

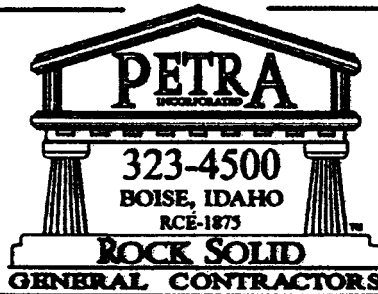
Remarks:

3/27/2007 00160 MCH Addendum #100/Gen Bldg Bill Byers Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/21/2007	0016	MCH Addendum B	Rock Group	Mike Cook	Petra Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

3/21/2007	0016	MCH Addendum B	Rock Group	Mike Cook	Petra Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

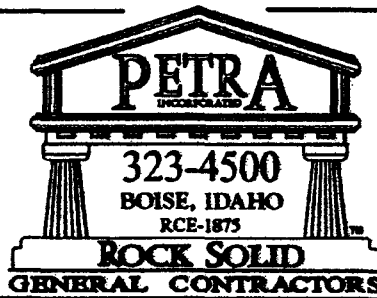
3/21/2007	0016	MCH Addendum B	Rock Group	Mike Cook	Petra Incorporated	Adam Johnson
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B

Masonry, Inc.

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

3/23/2007 00165 MCH/Addendum B/Confidential Brian Connolly Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

3/23/2007 00165 MCH/Addendum B/Mountain Steel Brian Connolly Petra Incorporated Adam Johnson

B

Fabrication

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

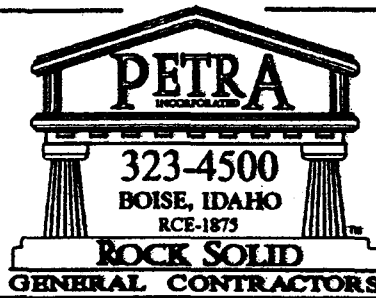
Remarks:

3/23/2007 00165 MCH/Addendum B/Division 04/05 Brian Connolly Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/27/2007	06-070	MCH/Addendum	RockCast Roofing	Scott Edelman	RockCast Roofing	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

3/27/2007	06-075	MCH/Addendum	Rev A incorporated	Jon Anderson	RockCast Roofing	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

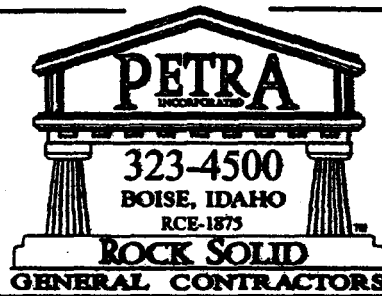
Remarks:

3/27/2007	06-072	MCH/Addendum	Up on Company	Steve Upson	RockCast Roofing	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 88 of 271

Date Number Re: To Attention From Signed

3/27/2007 00174 MCE Addendum Masonry Center Inc. Brent Richards Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	

Remarks:

3/27/2007 00174 MCE Addendum Boise Steel Erectors Brent Richards Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	

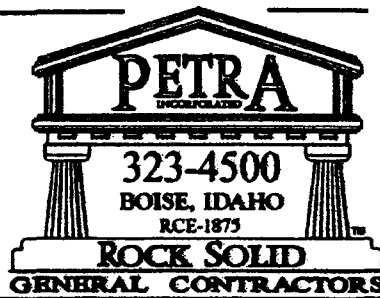
Remarks:

3/27/2007 00174 MCE Addendum Boise Steel Erectors Brent Richards Petra Incorporated Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/23/2007	00178	NECH Addendum Western Hoisting	Red	DAVID	PETRA Incorporated	Adam Johnson

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	

Remarks:

3/23/2007	00177	NECH Addendum Seal Co	Mike	Devaney	PETRA Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	

Remarks:

3/22/2007	00176	NECH Addendum Seal Co	10/22/2007	ATC	PETRA Incorporated	Adam Johnson
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B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

A

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Plan Sheets: CS.2, CS.1	
1	1				Addendum A- Specifications (3 pages)	
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	

Remarks:

~~3/22/2007 00180 MCB/Addendum Architectural Building Stover, Versar, Petra Incorporated John Johnson~~

B Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Specifications Section 04720- A RockCast Stone	
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	

Remarks:

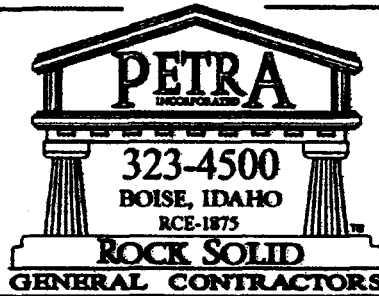
~~3/24/2007 00181 MCB/Spec Mountain States Flooring, Inc. Petra Incorporated John Johnson~~

II-Set 38

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: APRIL 3, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed
~~3/23/2007 0012 MCH Addendum Mountain Stone Flooring - Rev A Details Petra Incorporated Adam Johnson~~

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Specifications Section 04720- A RockCast Stone	
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	

Remarks:

~~3/23/2007 0013 MCH Addendum Mountain Stone Flooring - Detail Sheets Petra Incorporated Adam Johnson~~

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Plan Sheets: C5.2, C5.1	
1	1					Addendum A- Specifications (3 pages)	
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	

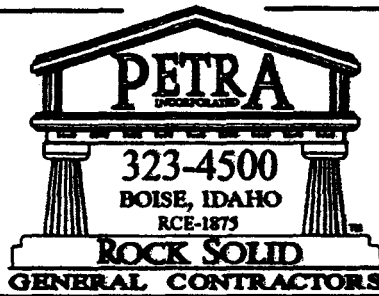
Remarks:

II-Set 38

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: APRIL 3, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/23/2007 00188 MCH Addendum Mountain States Building - Bid 0675 - Petra Incorporated~~

A

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Bid Package No. 1 Revised (2 pages)	
1	1					Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1					Addendum A- Specifications (3 pages)	
1	1					Plan Sheets: CS.2, CS.1	

Remarks:

~~3/23/2007 00188 MCH Addendum Mountain States Building - Bid 0675 - Petra Incorporated~~

B

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	

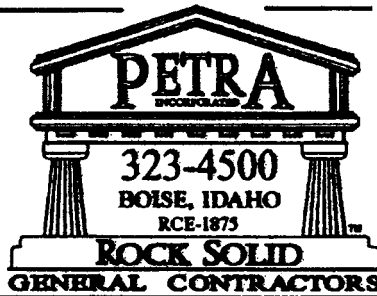
Remarks:

~~3/23/2007 00188 MCH Addendum Mountain States Building - Bid 0675 - Petra Incorporated~~

B Company

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Schedule for Meridian City Hall	
1	1					Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1					Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1					Addendum B - 2 sheets.	
1	1					Specifications Section 01230-Alternatives	
1	1					Specifications Section 04720- A RockCast Stone	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
3/28/2007	00189	MCH Addendum Bidding	Masonry	Ray Rojas	Petra Incorporated	Adam Johnson

A Company

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Addendum A- Specifications (3 pages)	
1	1				Plan Sheets: C5.2, C5.1	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
3/25/2007	00189	MCH Phase II	Bricklay Masonry	Ray Rojas	Petra Incorporated	Adam Johnson

II-Set 38 Company

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: APRIL 3, 2007.

Deposit Required:
 Plan Set: \$250.00 (refundable)
 Plan CD: \$50.00 (non-refundable)

Date	Number	Re:	To	Attention	From	Signed
3/27/2007	00190	MCH Tickets	Inspection	Ray Rojas	Petra Incorporated	Adam Johnson

Tickets Inspection

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/27/2007			Trucking Tickets from MCH Jobsite to Landfill.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

~~3/7/2007 0019 MCH Phase II-Set 14/14 Structural Contractors of Idaho Petra Incorporated Adam Johnson~~

II-Set 14/14 Idaho

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007			Volume 1-Phase II Technical Specifications	
2	1	3/7/2007			Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007			Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: APRIL 3, 2007.

Deposit Required:
Plan Set: \$250.00 (refundable)
Plan CD: \$50.00 (non-refundable)

~~3/7/2007 00192 MCH Addendum Structural Contractors of Idaho Petra Incorporated Adam Johnson~~

A Idaho

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Bid Package No. 1 Revised (2 pages)	
1	1				Plan Details: SK-1, SK-2, SK-3, SK-4.	
1	1				Addendum A- Specifications (3 pages)	
1	1				Plan Sheets: CS.2, CS.1	

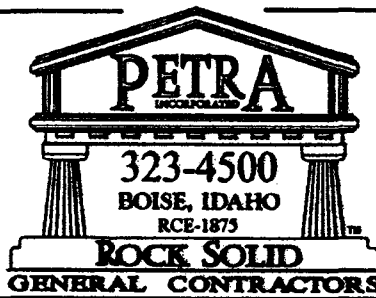
Remarks:

~~3/7/2007 00193 MCH Addendum Structural Contractors of Idaho Petra Incorporated Adam Johnson~~

B Idaho

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1				Schedule for Meridian City Hall	
1	1				Bid Package No. 3 Masonry and Stone -Rev A Bid Form	
1	1				Bid Package No. 7 Exterior Metal Framing - Rev A Bid Form	
1	1				Addendum B - 2 sheets.	
1	1				Specifications Section 01230-Alternatives	
1	1				Specifications Section 04720- A RockCast Stone	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

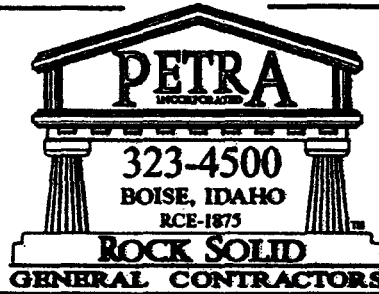
Page: 95 of 271

Date	Number	Re:	To	Attention	From	Signed
3/27/2007	0189	11/08/06	Rock Solid Industries	Stojanovic	Petra Incorporated	Garrett Johnson

#17

Miljatovic

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/29/2007			Attached are the following (60%CD) dated 1-23-07 Architectural Sheets A0.0, A2.00, A2.10, A2.20, A2.30, A2.40, A2.50, A3.0, A3.1, A4.0, A4.1, A4.2, A4.3, A4.4, A5.0, A5.1, A5.2, A9.0, A9.1, A9.2, Structural S1.01, S1.02, S.211, S2.12, S2.21, S2.22, S2.31, S2.32, S23.41, S2.42, S2.5, S3.1, S5.1, S5.2, Plumbing dated 11-18-06, P0.0, P.01, P1.0, P1.1, P2.1, P3.1, P4.1 Mechanical dated 11-18-06 M4.0, M5.0, Electrical dated 1-23-07 E1.0S	
1	1	3/27/2007			Addendum A/Addendum B CD	
2	1	1/29/2007			Attached are the following (30% CD) dated 1-23-07, A0.0T, Layout dated 1-23-07 L1.10, L1.20, L1.30, L1.40, L1.41, L1.42, L1.60, L1.61, L1.61, L1.62, L1.65, Architectural Sheets A2.00T, A2.01T, A2.01TF, A2.20T, A2.02TF, A2.10T, A2.11T, A2.11TF, A2.12T, A2.12TF, A2.20T, A2.21T, A2.21TF, A2.22T, A2.22TF, A2.30T, A2.31T, A2.31TF, A2.32T, A2.32TF, A2.40T, A2.6T, A6.0T, A6.1T, A6.2T, A6.4T, A7.00T, A7.01T, A7.02T, A7.10T, A.11T, A7.12T, A7.20T, A7.21T, A7.22T, A7.30T, A7.31T, A732.T, plumbing Sheets dated 11-18-06 P0.0A, P0.0B, P1.1A, P1.1B, P2.1A, P2.1B, P3.1A, P3.1B, P4.1A, P4.1B, P5.0 Mechanical Sheets dated 11-18-07 M4.0A, M4.0B, M5.0A, M5.0B, M6.1 Electrical Sheets dated 1-23-07 E1.00, E1.01, E102, E2.01F, E2.01L, E2.01P, E2.01S, E2.02F, E2.02L, E2.02P, E2.02S, E2.11F, E2.11L, E2.11P, E2.11S, E2.12F, E2.12L, E2.12P, E2.12S, E2.21FE2.21L, E2.21P, E2.21S, E2.22F, E2.22L, EE2.22P, E2.22S, E2.31F, E2.31L, E2.31P, E2.31S, E2.32F, E2.32L, E2.32P, E2.32S, E2.40, E3.00, E3.01, E3.02, E3.03, E3.04, E3.05, E4.00, E5.00	



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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Remarks:

~~3/27/2007 00195 MCH Phase II-CD#18~~ ~~Rocky Mountain Supply~~ ~~Doug Sykes~~ ~~Petra Incorporated~~ ~~Wes Bent~~
 ii-CD#18 Miljatovic

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/27/2007				Volume 1-Phase II Technical Specifications	
2	1	3/27/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/27/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	
4	1	3/27/2007				Addendum A/Addendum B CD	

Remarks: BID DATE: MARCH 27, 2007.

~~3/28/2007 00196 Meridian City Hall~~ ~~Rocky Mountain Supply~~ ~~Doug Sykes~~ ~~Petra Incorporated~~ ~~Wes Bent~~
 Hall Inc

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/28/2007				Meridian City Hall Plans & Specs on CD-11	NEW
2	1	3/28/2007				Meridian City Hall Addendum A	NEW
3	1	3/21/2007				Meridian City Hall Addendum B	NEW

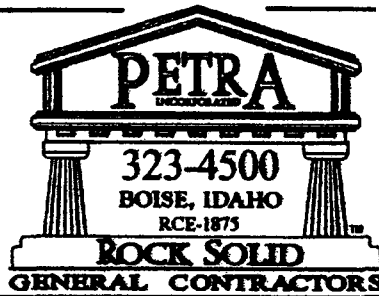
Remarks: Doug:

Either Rocky Mnt Supply or Roundy Masonry needs to send a check or money order made out to Petra, Incorporated for \$50.00, non-refundable for the bid package per the bid advertisements. Please follow through on this to make sure we keep everything on the up and up and within state public works bidding laws.

~~3/29/2007 00197 Contaminated Soil~~ ~~Rocky Mountain Supply~~ ~~Doug Sykes~~ ~~Petra Incorporated~~ ~~Wes Bent~~
 Contaminated Soil

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/16/2007				Set of load tickets for Ideal Demolition from 03-12-07 to 03-21-07	NEW

Remarks: Load tickets and associated documentation for the contaminated soil abatement. The load tickets are from Ada Sand & Gravel where all the loads are weighed, which is next door to the L&R Environmental Land Farm where the soil is deposited.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
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3/31/2007	00199	Meridian City	Cummings Law Office	Richard	Petra Incorporated	Gene Bennett
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Letter

Cummings

Remarks: Richard...

Please give Jerry or myself a call on Monday regarding the attached letter from City of Meridian. Particularly I wish to discuss Item #3 in the letter.

Thank you, Gene Bennett

4/3/2007	00199	Meridian Draft	Cummings Law Office	Richard	Petra Incorporated	Gene Bennett
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Response

Cummings

Remarks: Dick...

Attached is my draft response to Meridian City Hall letter.

Tx, Gene Bennett

cc: J. Frank

4/3/2007	00200	Meridian City	Cummings Law Office	Richard	Petra Incorporated	Gene Bennett
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Contract

Cummings

Remarks: Dick...

Jerry has reviewed my Draft letter and made revisions. Attached is the revised draft.

Also attached is the contract with City of Meridian.

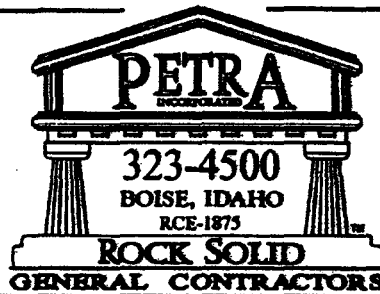
Jerry will be at your office at 1:30 to review and prep for tonight's 5:30 meeting.

tx, gb

4/4/2007	00200	Bid Binder	City of Meridian	Richard	Petra Incorporated	Gene Bennett
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/4/2007				Phase II Bid Sheets in Binder. All bids from Bid Opening, April 3, 2007.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/10/2009	00202	MCH Phase II-Set 11	City of Meridian	Brand Bloom	Petra Incorporated	Adam Johnson

II-Set 11

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
4/10/2007	00203	Deposit Check	Brand Bloom	Brand Bloom	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/10/2007				MCH Plan Deposit Check	

Remarks: Sorry about the delay. We found the check right after you left. Thanks for your understanding.
Adam

Date	Number	Re:	To	Attention	From	Signed
4/31/2007	00204	March Pay Application	City of Meridian	Keith Wait	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/31/2007				March Application and Certificate for Payment AIA-G702	NEW

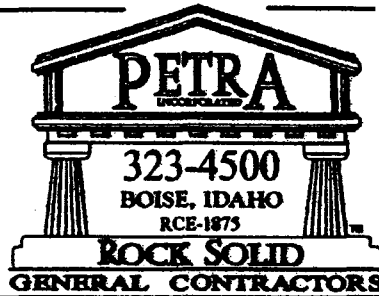
Remarks: Keith:

Enclosed is the March application and certificate for payment along with the supporting back-up invoices and statements for your use and processing.

Date	Number	Re:	To	Attention	From	Signed
4/16/2007	00205	Notice To Proceed	Meridian City Hall	Brand Bloom	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Exterior Framing and Drywall. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 99 of 271

Date	Number	To:	To	Attention	From	Signed
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4/16/2007	00204	Notice To Proceed	Schedule Elevator Comp	Bob Sisson	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for the Elevator Systems. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/16/2007	00207	Notice To Proceed	Western Roofing	Leo Davis	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Roofing. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/16/2007	00208	Notice To Proceed	Custom Glass	Shannon Morgan	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Aluminum Storefronts and Glazing. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/16/2007	00209	Notice To Proceed	Foundations Etc	Edna Bando	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Concrete. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson.

4/16/2007	00210	Notice To Proceed	ROOF SIGN	Bill Bryan	Petra Incorporated	Adam Johnson
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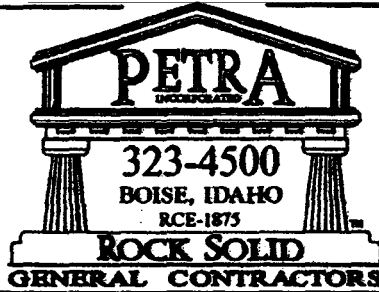
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Exterior Framing and Drywall. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/18/2007	00211	Notice To Proceed	Sign	Doc Peterson	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/18/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Exterior Framing and Drywall. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
4/19/2007	00212	Contract Plans	Rock Solid	Bill Beverly	Petra Incorporated	Wes Bell

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	4/13/2007				Plan Sets 40 & 41	NEW

Remarks: Bill:
 This is a confirming transmittal for plan sets 40 & 41 that were picked-up by your detailer and erector after an on site meeting on April 13 2007. To avoid delay, the plans were released without transmittal or signature. Please sign the acknowledgement and fax it back to my attention at 323-4507. Thank you for attending to this detail.

4/19/2007	00231	CD	City of Meridian	Ted Baird	Petra Incorporated	Wes Bell
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Contaminated Soil

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/19/2007				CD of Contaminated Soils Documentation	NEW

Remarks: Ted:
 The enclosed CD contains the Contaminated Soils data that is in the files of Petra at this time, for your review and use, as requested. Please note that the Soil Landfill Logs are on the CD twice; once as Soil Abatement Logs and once as Soil Abatement Logs 3-12 to 21-07.
 If you have any questions or require additional explanation regarding any of this information, please contact me at your convenience. Additional information will be forwarded to your attention as it becomes available.

4/16/2007	00211	Notice to	City of Meridian	Mike Devaney	Petra Incorporated	Adam Johnson
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Proceed

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Moisture Protection and Waterproofing. Please sign and return to my attention via fax, 323-4507. Thank You. Adam Johnson

4/16/2007	00215	Notice to	City of Meridian	Chris	Petra Incorporated	Adam Johnson
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Proceed

Apostolou

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/16/2007				Conditional Notice To Proceed	

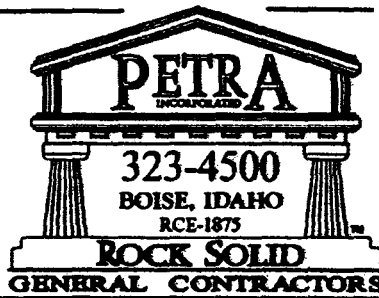
Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Excavation. Please sign and return to my attention via fax, 323-4507. Thank You. Adam

4/19/2007	00216	Sample Photos	City of Meridian	Keith Wells	Petra Incorporated	Wes Bell
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Cast Stone

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	4/19/2007				Copies of RockCast applications.	NEW

Remarks: Keith:
 Enclosed are three color photocopies of RockCast applications similar to the City of Meridian's City Hall design. This is the alternate product for Cast Stone vs. the limestone based ArisCraft product.
 I have the full RockCast product binder if you would like to review all of the case studies of their applications. I would hope that even though the savings may seem minor, that Council would want to review both products and the pros and cons of each, along with mock-up panels, prior to making their final decision.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
4/20/2007	00217	RockCast	City of Meridian	Keith Watts	Petra Incorporated	Keith Watts

Product Manuals

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	4/19/2007			Sets of RockCast Cast Stone Product Manuals	NEW

Remarks: Keith:

Enclosed are two RockCast product manuals, one for Council and one for Staff, to learn more about the alternate Cast Stone product and to generate questions that may be raised when comparing the two options. The Supplier for the RockCast just dropped these by Thursday to be forwarded to you.

If you have any questions or require additional information, please contact me at your convenience.

Date	Number	Re:	To	Attention	From	Signed
4/20/2007	00218	Notice To Proceed	Architectural Building	Adam Johnson	Petra Incorporated	Adam Johnson

Proceed Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/20/2007			Conditional Notice To Proceed	

Remarks: Enclosed please find a Conditional Notice to Proceed for the Meridian City Hall project for Excavation. Please sign and return to my attention via fax, 323-4507. Thank You. Adam

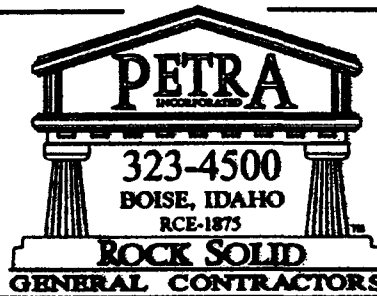
Date	Number	Re:	To	Attention	From	Signed
4/26/2007	00219	Cost Analysis	City of Meridian	Keith Watts	Petra Incorporated	Keith Watts

Analysis

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/26/2007			Estimated Accrued Construction Cost for Phase II--Core & Shell	

Remarks: Keith:

Enclosed is the initial cash flow analysis for Phase II--Shell & Core. This same format will be utilized for the other two phases of the project and it will be on 11x17 paper so that the entire project can be seen at the same time. If you have any questions or require additional information please contact me at your convenience.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

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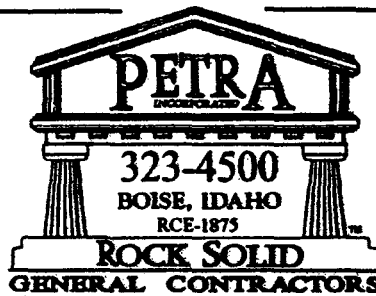
Date	Number	Re:	To	Attention	From	Signed
4/27/2007	06-220	Phase II	City of Meridian	Keith Wain	Petra Incorporated	Wes Beff

Contracts

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/27/2007				Contract No. 3 -- MJ's Backhoe -- AIA A-101, AIA A-201	NEW
10	1	4/27/2007				Contract No. 12 -- SEALCO AIA A-101, AIA A-201	NEW
2	1	4/27/2007				Contract No. 4 -- Sidewalks, LLC -- AIA A-101, AIA A-201	NEW
3	1	4/27/2007				Contract No. 5 -- TMC, Inc. -- AIA A-101, AIA A-201	NEW
4	1	4/27/2007				Contract No. 6 -- Rule Steel Tanks, Inc. -- AIA A-101, AIA A-201	NEW
5	1	4/27/2007				Contract No. 7 -- Architectural Building Supply -- AIA A-101, AIA A-201	NEW
6	1	4/27/2007				Contract No. 8 -- American Walkover, Inc -- AIA A-101, AIA A-201	NEW
7	1	4/27/2007				Contract No. 9 -- Custom Glass, Inc. AIA A-101, AIA A-201	NEW
8	1	4/27/2007				Contract No. 10 -- Western Roofing, Inc. AIA A-101, AIA A-201	NEW
9	1	4/27/2007				Contract No. 11 -- Schindler Elevator Corp. AIA A-101, AIA A-201	NEW

Remarks: Keith:

Enclosed are the 10 contracts for the Phase II Bid Packages 1-11, (excluding no. 5--not used) for your review, processing and distribution to the contractors on May 2, 2007.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
4/30/2007	00222	Perch	CEA Architects, PA	Steve	Petra Incorporated	Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	4/30/2007	SUB	03-100	001	Title: Footings and Foundations Desc: Foundation Rebar Shop Drawings	NEW
10	7	4/30/2007	SUB	03-100		Title: Footings and Foundations Desc: Clements Concrete Mix Design 3,500 PSI	
11	7	4/30/2007	SUB	03-100		Title: Footings and Foundations Desc: Clements Concrete Mix Design 4,000 PSI	
2	7	4/30/2007	SUB	03-100	003	Title: Footings and Foundations Desc: CMU Stair Tower Rebar Shop Drawings	NEW
3	7	4/30/2007	SUB	03-100	005	Title: Footings and Foundations Desc: VaporBlock UnderSlab Vapor Retarder Spec Book.	NEW
4	7	4/30/2007	SUB	03-100	007	Title: Footings and Foundations Desc: Hilti - Chemical Anchors.	NEW
5	7	4/30/2007	SUB	03-100	009	Title: Footings and Foundations Desc: Burke Aqua Resin Cure Technical Data.	NEW
6	7	4/30/2007	SUB	03-100	002	Title: Footings and Foundations Desc: Basement Wall Rebar Shop Drawings	NEW
7	7	4/30/2007	SUB	03-100	004	Title: Footings and Foundations Desc: Greenstreak PVC Waterstop Manuel. (8 pgs)	NEW
8	7	4/30/2007	SUB	03-100	006	Title: Footings and Foundations Desc: Owens Corning Rigid Foam Insulation -250.	NEW
9	7	4/30/2007	SUB	03-100	008	Title: Footings and Foundations Desc: Burke Form Oil V.O.C. Technical Data.	NEW

Remarks:

4/30/2007	00222	Signed Notice	CITY of Meridian	Keith Watts	Petra Incorporated	Adam Johnson
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of Award

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/30/2007				Signed Copies of Conditional Notice of Award. -MJ's Backhoe -Foundations LLC -TMC Masonry -Rule Steel -ABS -American Walkover -Custom Glass -Western Roofing -Schindler Elevator SealCo.	

Remarks: For your file. Thanks.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
4/30/2007	0122	AIA Documents	City of Meridian	Keith Watts	Petra Incorporated	W. Pettis

G702

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	4/30/2007				April Application and Certification for Payment on AIA Document G702 - 1992	NEW

Remarks: Keith:

Enclosed is the Application and Certificate for Payment for Construction Management Services for the month of April. Please review and if you have any questions, notify us at your earliest convenience.

Date	Number	Re:	To	Attention	From	Signed
4/30/2007	0022	Submittals	TCA Architects PA	Steve	Petra Incorporated	Adam Johnson

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	4/30/2007	SUB	03-100	010	Title: Footings and Foundations Desc: Clements Concrete Company, Mix Design 3500 psi.	NEW
	0	4/30/2007	SUB	03-100	011	Title: Footings and Foundations Desc: Clements Concrete Company, Mix Design 4000 psi.	NEW

Remarks:

Date	Number	Re:	To	Attention	From	Signed
4/30/2007	0022	MC II-Set	Schindler Elevator Corp	Damon HUGH	Petra Incorporated	Adam Johnson

II-Set 20

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	0	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: For you submittal to Division Of Building Saftey. Thanks.

Date	Number	Re:	To	Attention	From	Signed
4/30/2007	0022	Plan	Architect PA	Steve	Petra Incorporated	Adam Johnson

Plan

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	4/30/2007	SUB	METALS		RFI No. 5, and No. 6	
1	7	4/30/2007	SUB	METALS	001	Title: Anchor Bolt Plan Desc: Anchor Bolt Plan, Sheets E-1, E-1A, E-2, 1.	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall **Date:** 9/10/2009
Project No: 06-0675 **Page:** 105 of 271

Date	Number	Re:	To	Attention	From	Signed
5/2/2007	00227	Contract	Shindler Elevator Company	Adam Johnson	Petra Incorporated	Adam Johnson

Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/2/2007				Meridian City Hall Contract.	

Remarks: Please review, sign and return no later than Noon, May 7th, 2007.

5/2/2007	00228	Contract	Curtain Glass	David Larson	Petra Incorporated	Adam Johnson
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Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/2/2007				Meridian City Hall Contract.	

Remarks: Please review, sign and return no later than Noon, May 7th, 2007.

5/4/2007	00229	Stework	City of Meridian	Keith Watt	Petra Incorporated	Wes Batts
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/4/2007				Two original contracts for MJ's Backhoe for final execution by the City of Meridian.	

Remarks:

5/7/2007	00230	Elevator	CSA Architects PA	Steve	Petra Incorporated	Adam Johnson
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Rebar Shops

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	5/7/2007	SUB	14-000-01	002	Title: Elevator Submittals Desc: Submittal Package Elevator 3	NEW
1	7	5/7/2007	SUB	14-000-01	001	Title: Elevator Submittals Desc: Elevator Submittals	NEW
1	6	5/7/2007	SUB	03-100-2	001	Title: Upper Footings - Rebar Shops Desc: Upper Footings - Rebar Shops	NEW

Remarks: Steve, Attached are both Elevator Submittal Packages, and the second round of rebar shop drawings, both for review.

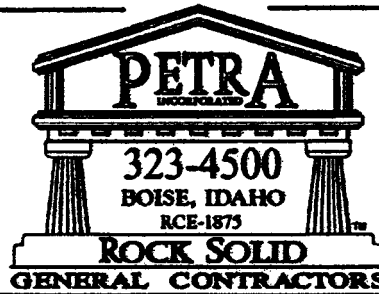
Thanks,
Adam

5/7/2007	00231	EPDM Submittal	Firestone	Adam Johnson	Petra Incorporated	Adam Johnson
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Inspection

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/7/2007				Firestone EPDM Geomembrane Submittal.	

Remarks: Please review the attached information for approval.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

5/7/2007 0123 Contract City of Meridian Keith Watts Petal Incorporated Wes Bellis

Package

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/8/2007				Rule Steel Tanks, Inc. AIA 101 & AIA 201 Contract forms signed by Contractor, ready for City Council execution.	NEW
2	1	5/3/2007				Rule Steel Tanks, Inc. Certificates of Insurance (\$1 Million Gen Liability + \$4 Million umbrella)	NEW
3	1	5/3/2007				Rule Steel Tank, Inc. W-9	NEW
4	1	5/3/2007				AIA Document A-312 Performance Bond in full amount of contract.	NEW

Remarks: Please note amended substantial completion date and attached exclusions from original bid form.

5/7/2007 0123 SEAL CO City of Meridian Keith Watts Petal Incorporated Wes Bellis

Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/7/2007				SEAL CO AIA 101 & AIA 201 Contract forms signed by Contractor, ready for City Council execution.	NEW
2	1	5/4/2007				SEAL CO. Certificates of Insurance (\$1 Million Gen Liability + \$4 Million umbrella)	NEW
3	1	5/4/2007				SEAL CO W-9	NEW
4	1	5/4/2007				AIA Document A-312 Performance Bond in full amount of contract.	NEW

Remarks:

5/7/2007 0024 Submittal Foundations, etc. Norman Smith Petal Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	5/7/2007	SUB	03-100	002	Title: Footings and Foundations Desc: Basement Wall Rebar Shop Drawings	APP
2	3	5/7/2007	SUB	03-100	001	Title: Footings and Foundations Desc: Foundation Rebar Shop Drawings	MCN
3	3	5/7/2007	SUB	03-100	003	Title: Footings and Foundations Desc: CMU Stair Tower Rebar Shop Drawings	MCN

Remarks:

5/8/2007 0123 SEALS/COPY CITY OF MERIDIAN Keith Watts Petal Incorporated Wes Bellis

Contracts

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/8/2007				AIA Document A-101 CMA & A-201 CMA signed by contractor for final execution by City Council.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
5/8/2007	102-36	Contract	Meridian City	Kathy Watt	Petra Incorporated	Wes Bechtel

Invoices

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/30/2007				Invoice from Track Utilities for Conduit installed for Qwest during IPCO re-route. Improperly invoiced to Petra, even after repeated requests to invoice to the City directly.	NA
2	2	5/8/2007				MJ's Backhoe & Excavation, Inc. AIA Document A101/CMA with correct legal entity for contract. Just add their signature page and date for Council execution.	NA
3	2	5/8/2007				Rule Steel Tanks, Inc. AIA Document A101/CMA with correct legal entity for contract. Just add their signature page and date for Council execution.	NA
4	2	5/8/2007				American Walkover, Inc. AIA Document A101/CMA with correct legal entity for contract. Just add their signature page and date for Council execution.	NA
5	2	5/8/2007				Western Roofing, Inc. AIA Document A101/CMA with correct legal entity for contract. Just add their signature page and date for Council execution.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
5/8/2007	102-37	Meridian City	American Walkover	Henry Beck	Petra Incorporated	Wes Bechtel

Hall

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/8/2007				AIA Document A101/CMA-1992 Revised.	NA

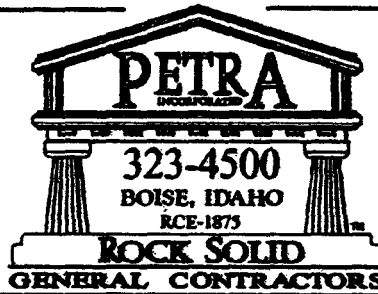
Remarks:

Date	Number	Re:	To	Attention	From	Signed
5/8/2007	102-38	Temporary	City of Meridian	Gene Yule	Petra Incorporated	Wes Bechtel

Power Proposal

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/1/2007				Proposal from Lea Electric for Construction Temporary Power.	NA
2	1	5/3/2007				Proposal from Tri-State Electric for Construction Temporary Power.	NA
3	2	5/8/2007				AIA Document A101/CMA & A201/CMA for Western Roofing, Inc., signed by the Contractor ready for final execution by the City Council.	NA

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
5/8/2007	00239	TMC, Inc.	City of Meridian	Keith Walls	Petra Incorporated	Adam Johnson

Contracts/Bonds

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/8/2007				AIA Document A312 Payment Bond from TMC, Inc.	NA
2	1	5/8/2007				AIA Document A312 Performance Bond from TMC, Inc.	NA
3	2	5/8/2007				AIA Documents A101/CMA and A201/CMA from TMC, Inc., signed and ready for City Council execution.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
5/9/2007	00240	SI, Inc.	TECA Architects, PA	Steve Simmons	Petra Incorporated	Adam Johnson

Shops No. 1

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	5/9/2007	SUB	05-300-01	001	Title: Metal Deck- Shop Drawings No.1 Desc: Metal Deck- Shop Drawings No.1	NEW

Remarks:

Date	Number	Re:	To	Attention	From	Signed
5/9/2007	00241	SI, Inc.	TECA Architects, PA	Steve Simmons	Petra Incorporated	Adam Johnson

Sealants-Sealco

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	5/9/2007	SUB	07-900	001	Title: Joint Sealants Desc: Tremco Dymeric 250/240FC: 6 Specified Data sheets, 2 MSDS sheets, 1 Color chart.	NEW
2	7	5/9/2007	SUB	07-900		BASF, Dampproofing 7 Specified data sheets, 2 MSDS sheets.	
3	7	5/9/2007	SUB	07-900		MFM Building Products, 7 specified data sheets, 2 MSDS sheets.	
4	7	5/9/2007	SUB	07-900		Tremco, Drainage Mat for Wall, 7 specified sheets, 2 MSDS sheets.	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
5/9/2007	00242	SI, Inc.	TECA Architects, PA	Steve Simmons	Petra Incorporated	Adam Johnson

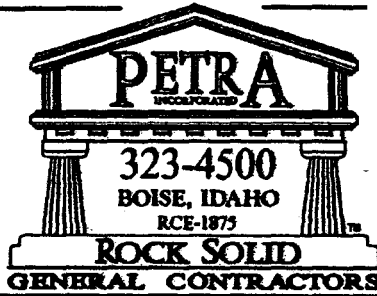
Updated

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/9/2007				Construction Management Plan (Updated 5-09-07) without section a-iii and section c.	NA

Remarks: Keith:

I did not include the Project Phases & Bid Packages, as the Phases have not changed and the bid packages are currently being, based on the Phase III--Finishes & MEP design.

The budget section was also not copied again as the baseline cost is established for Phase II and Phase III is just getting ready to go out to bid.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
5/8/2007	00243	Contract	City of Meridian	Kath Watts	Petra Incorporated	Wes Bell

Packages

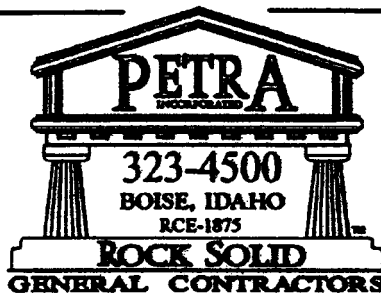
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/8/2007				Custom Glass, Inc. AIA Document A101/CMA & A201/CMA	
2	1	5/8/2007				Set of Custom Glass, Inc. Payment & Performance Bonds	
3	1	5/8/2007				Custom Glass, Inc. W-9	
4	1	5/8/2007				Custom Glass, Inc. Certificate of Insurance (Improperly Endorsed)	
5	2	5/8/2007				Architectural Building Supply AIA Document A101/CMA & A201/CMA	
6	2	5/8/2007				American Walkcover, Inc. AIA Document A101/CMA (2) and A201/CMA (1).	
7	1	5/8/2007				American Walkcover, Inc. Payment & Performance Bond set.	
8	1	5/8/2007				American Walkcover, Inc. W-9	

Remarks: Please see the enclosed.

Date	Number	Re:	To	Attention	From	Signed
5/10/2007	00244	W-9	City of Meridian	Kath Watts	Petra Incorporated	Wes Bell

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/9/2007				MJ's Backhoe & Excavation, Inc. W-9	NA

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date **Number** **Re:** **To** **Attention** **From** **Signed**

5/11/2007 00245 N.E. Submittals Architect 1/2 SJK Petra, Incorporated Adam Johnson

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	5/11/2007	SUB	02200	002	Desc: Pitrun	NEW
10	7	5/11/2007	SUB	02200	016	Desc: Schedule 80 Pipe 3"	NEW
11	7	5/11/2007	SUB	02200	018	Desc: MJ Water fittings	NEW
12	7	5/11/2007	SUB	02200	022	Desc: Pack Joint Coupling, 2"	NEW
13	7	5/11/2007	SUB	02200	024	Desc: Ball Valve Curb Stop, 2"	NEW
14	7	5/11/2007	SUB	02200	028	Desc: Stainless Steel Tapping Sleeve, 6"	NEW
15	7	5/11/2007	SUB	02200	001	Desc: Pond Liner for Contaminated Soils Separation	NEW
16	7	5/11/2007	SUB	02200	003	Desc: Road Mix	NEW
17	7	5/11/2007	SUB	02200	005	Desc: Drain Rock	NEW
18	7	5/11/2007	SUB	02200	007	Desc: 1500 gal Sand and Grease Interceptor w Lid	NEW
19	7	5/11/2007	SUB	02200	009	Desc: SDR 35/PS46 Fitting Specifications	NEW
2	7	5/11/2007	SUB	02200	004	Desc: Pipe Bedding	NEW
20	7	5/11/2007	SUB	02200	011	Desc: 8 x 12" Galvanized Morris Manhole	NEW
21	7	5/11/2007	SUB	02200	013	Desc: CB Sewer Saddle	NEW
22	7	5/11/2007	SUB	02200	015	Desc: ASTM D2729 Pipe, 4"	NEW
23	7	5/11/2007	SUB	02200	017	Desc: 200 PSI water service pipe, 2"	NEW
24	7	5/11/2007	SUB	02200	019	Desc: Cast Iron Valve Boxes 1/4" Waterous Pacer Hydrant	NEW
25	7	5/11/2007	SUB	02200	021	Desc: Tapping Valves, 6"	NEW
26	7	5/11/2007	SUB	02200	023	Desc: 70 Series Coppersetter	NEW
27	7	5/11/2007	SUB	02200	025	Desc: Balkcorp Corp Stop 2"	NEW
28	7	5/11/2007	SUB	02200	027	Desc: K6313 Monument Ring Cover	NEW
29	7	5/11/2007	SUB	02200	029	Desc: 101 Service Saddle	NEW
3	7	5/11/2007	SUB	02200	006	Desc: Sand	NEW
4	7	5/11/2007	SUB	02200	008	Desc: ASTM D3034 Solid Wall Sewer Pipe 4",6",8",12",15"	NEW
5	7	5/11/2007	SUB	02200	014	Desc: C900 PSI Class 150; 6"	NEW
6	7	5/11/2007	SUB	02200	020	Desc: 5 1/4" Waterous Pacer Hydrant	NEW
7	7	5/11/2007	SUB	02200	026	Desc: Stainless Steel Inserts, 2"	NEW
8	7	5/11/2007	SUB	02200	010	Desc: A-1055 Manhole Ring Cover	NEW
9	7	5/11/2007	SUB	02200	012	Desc: Rainstore3 Product Specifications	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

5/11/2007 00248 Concrete Mix Design LCA Architects, PA Steve Petra Incorporated Adam Johnson

Submittals Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	5/11/2007	SUB	03-100-02		Title: Concrete Mix Designs Desc: Clements Concrete Company	
1	7	5/11/2007	SUB	03-100-02	001	Title: Concrete Mix Designs Desc: Idaho Concrete Company	NEW

Remarks:

ATTN: Jan, Stapley

5/14/2007 00247 Submittals Foundations, LLC Dan Black Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	5/14/2007	SUB	03-100-02	002	Title: Concrete Mix Designs Desc: Concrete Mix Designs-Clements	DIS

Remarks:

5/14/2007 00340 Submittals Foundations, LLC Dan Black Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/23/2007	SUB	03-100-3	002	Title: Upper Footings - Rebar Shops Desc: Upper Footings - Rebar Shops	AAN
	0	5/14/2007	SUB	03-100-02	001	Title: Concrete Mix Designs Desc: Concrete Mix Designs-ICCO	APP

Remarks:

5/18/2007 00249 Concrete Sidewalks, LLC Donnie Smith Petra Incorporated Adam Johnson

Concrete Mix

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	4	5/16/2007	SUB	03-100-02	002	Title: Concrete Mix Designs Desc: Concrete Mix Designs-Clements	REJ

Remarks:

5/17/2007 00246 Anchor Bolt Shops, LLC Ron Allen Petra Incorporated Adam Johnson

Shops

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/17/2007	SUB	05-500	001	Title: Anchor Bolt Plan Desc: Anchor Bolt Plan, Sheets E-1, E-1A, E-2, 1.	MCN

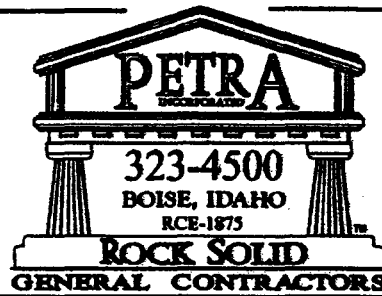
Remarks:

5/17/2007 00250 Steel Deck Shops, LLC Ron Allen Petra Incorporated Adam Johnson

Shops

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/17/2007	SUB	05-300-01	001	Title: Metal Deck- Shop Drawings No.1 Desc: Metal Deck- Shop Drawings No.1	APP

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

5/17/2007 0025 MJ's Backhoe & Excavation, Inc. Meridian Keith Wall Petra Incorporated Keith Wall
 Ex, Inc.

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/1/2007				AIA Document A312 Performance Bond No. 2206502 for MJ's Backhoe & Excavation, Inc.	NA
2	1	5/1/2007				AIA Document A312 Payment Bond No. 2206502 for MJ's Backhoe & Excavation, Inc.	NA
3	1	5/1/2007				Power of Attorney for Insurance Company of the West (ICW)	NA

Remarks:

5/17/2007 0025 Sidewalks, LLC Sidewalks, LLC Dennis Smith Petra Incorporated Dennis Smith
 Sumbittials

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	5/17/2007	SUB	03300-01	001	Title: PVC Waterstop Desc: PVC Waterstop	NEW
2	2	5/17/2007	SUB	03300-02	001	Title: Vapor Block Desc: Vapor Block	APP
3	2	5/17/2007	SUB	03300-05	001	Title: Concrete Accessories-Curing Compound Desc: Concrete Accessories-Curing Compound	APP
4	2	5/17/2007	SUB	07210-01	001	Title: Rigid Foam Insulation-Foundation Desc: Rigid Foam Insulation-Foundation	APP

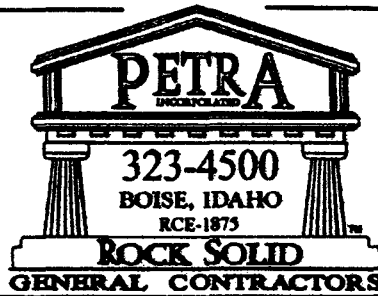
Remarks:

5/17/2007 0025 Sidewalks, LLC Sidewalks, LLC Dennis Smith Petra Incorporated Dennis Smith
 LLC

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/16/2007				AIA Document A312 Performance Bond IDC 42705 from Sidewalks, LLC	NA
2	1	5/16/2007				AIA Document A312 Payment Bond IDC 42705 from Sidewalks, LLC	NA
3	1	5/16/2007				Merchants Bonding Company Power of Attorney	NA

Remarks: KEITH:

PLEASE WITH THE RECEIPT OF THE P&P BONDS, PLEASE RELEASE THE CASHIER'S CHECK THAT SIDEWALKS, LLC SUBMITTED AS BID SECURITY. YOU CAN RELEASE THAT TO PETRA, INCORPORATED OR MAIL IT BACK DIRECTLY TO SIDEWALKS, LLC.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
5/21/2007	0255	AIA G703-1992	CITY OF MERIDIAN	Kerth Watta	Petra Incorporated	Way Bell

Sheets

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	2/28/2007				AIA Document G703-1992 Application for Payment--Main Cover Sheet (revised) showing Misc General Conditions below the total contract amount.	NA
2	1	2/28/2007				Misc General Conditions PH-2 Cover Sheet (revised) Please replace previously submitted cover sheet with this one.	NA
3	1	3/31/2007				AIA Document G703-1992 Application for Payment--Main Cover Sheet (revised) showing Misc General Conditions below the total contract amount.	NA
4	1	3/31/2007				Misc General Conditions PH-2 Cover Sheet (revised) Please replace previously submitted cover sheet with this one.	NA
5	1	4/30/2007				AIA Document G703-1992 Application for Payment--Main Cover Sheet (revised) showing Misc General Conditions below the total contract amount.	NA
6	1	4/30/2007				Misc General Conditions PH-2 Cover Sheet (revised) Please replace previously submitted cover sheet with this one.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
5/21/2007	0255	Seal Co	CITY OF MERIDIAN	Mike DeVaney	Petra Incorporated	Adam Johnson

Submittals

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	4	5/21/2007	SUB	07-900	001	Title: Joint Sealants Desc: Tremco Dymeric 250/240FC	AAN
2	4	5/21/2007	SUB	07-115		Hydrocide 700B	
3	4	5/21/2007	SUB	07-112		SUBSEAL - 60	
4	4	5/21/2007	SUB	07-112		TREMDrain	

Remarks:

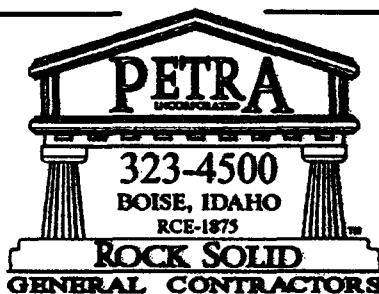
Date	Number	Re:	To	Attention	From	Signed
5/22/2007	0255	City Hall	CITY OF MERIDIAN	Will Bore	Petra Incorporated	Way Bell

Schedules

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/22/2007				8.5 x 14 Two Month Look Ahead Schedule in Color for your use.	NA
2	1	5/22/2007				11x 17 Overall Project Schedule from Apr 1, 2007 to Aug 30, 2008 for your use.	NA

Remarks: Will:

I have enclosed two working schedules, 1 2-Month Look Ahead, and 1 Overall Project Schedule, both in color for your use. We are in the process of plotting a "D" Size master schedule from 10-01-06 to 08-30-08. We will transmit that to you under separate cover as soon as it is ready.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

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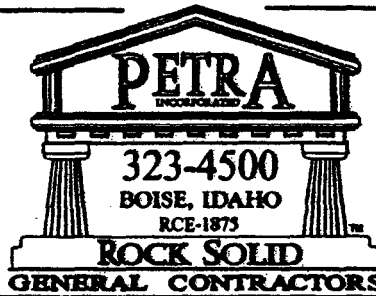
Date	Number	Re:	To	Attention	From	Signed
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5/22/2007	0025	NEW CITY HALL	CITY OF Meridian	Will Berg	Petra Incorporated	Will Berg
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/22/2007				D-Size Current Project Schedule for the new City Hall project.	NA

Remarks: Will:

Enclosed is a full size current project schedule for the City Hall project. Once Phase III is bid out, a more comprehensive construction schedule will be layered into this document which will then be plotted and re-distributed for your use. If you have any questions, please contact me at your convenience.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

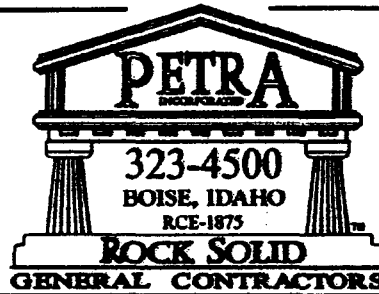
Page: 115 of 271

Date Number Re: To Attention From Signed

5/22/2007 00251111 Submittal M/B Backfill Chris Johnson Aspostolou, Incorporated Adam Johnson

Pkg. Aspostolou

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	5/22/2007	SUB	02222	002	Title: Structural Excavation and Bacfill Desc: Pitrun	APP
10	3	5/22/2007	SUB	02222	020	Title: Structural Excavation and Bacfill Desc: 5 1/4" Waterous Pacer Hydrant	APP
11	3	5/22/2007	SUB	02222	022	Title: Structural Excavation and Bacfill Desc: Pack Joint Coupling, 2"	APP
12	3	5/22/2007	SUB	02222	024	Title: Structural Excavation and Bacfill Desc: Ball Valve Curb Stop, 2"	APP
13	3	5/22/2007	SUB	02222	026	Title: Structural Excavation and Bacfill Desc: Stainless Steel Inserts, 2"	APP
14	3	5/22/2007	SUB	02222	028	Title: Structural Excavation and Bacfill Desc: Stainless Steel Tapping Sleeve, 6"	APP
15	3	5/22/2007	SUB	02222	001	Title: Structural Excavation and Bacfill Desc: Pond Liner for Contaminated Soils Seperation	APP
16	3	5/22/2007	SUB	02222	003	Title: Structural Excavation and Bacfill Desc: Road Mix	APP
17	3	5/22/2007	SUB	02222	005	Title: Structural Excavation and Bacfill Desc: Drain Rock	MCNR
18	3	5/22/2007	SUB	02222	007	Title: Structural Excavation and Bacfill Desc: 1500 gal Sand and Grease Interseptor w Lid	MCNR
19	3	5/22/2007	SUB	02222	009	Title: Structural Excavation and Bacfill Desc: SDR 35/PS46 Fitting Specifications	APP
2	3	5/22/2007	SUB	02222	004	Title: Structural Excavation and Bacfill Desc: Pipe Bedding	APP
20	3	5/22/2007	SUB	02222	011	Title: Structural Excavation and Bacfill Desc: 8 x 12" Galvanized Morris Manhole	APP
21	3	5/22/2007	SUB	02222	013	Title: Structural Excavation and Bacfill Desc: CB Sewer Saddle	APP
22	3	5/22/2007	SUB	02222	015	Title: Structural Excavation and Bacfill Desc: ASTM D2729 Pipe, 4"	APP
23	3	5/22/2007	SUB	02222	017	Title: Structural Excavation and Bacfill Desc: 200 PSI water service pipe, 2"	APP
24	3	5/22/2007	SUB	02222	019	Title: Structural Excavation and Bacfill Desc: Cast Iron Valve Boxes 5 1/4" Waterous Pacer Hydrant	APP
25	3	5/22/2007	SUB	02222	021	Title: Structural Excavation and Bacfill Desc: Tapping Valves, 6"	MCNR
26	3	5/22/2007	SUB	02222	023	Title: Structural Excavation and Bacfill Desc: 70 Series Coppersetter	APP
27	3	5/22/2007	SUB	02222	025	Title: Structural Excavation and Bacfill Desc: Ballcorp Corp Stop 2"	APP
28	3	5/22/2007	SUB	02222	027	Title: Structural Excavation and Bacfill Desc: K6313 Monument Ring Cover	APP
29	3	5/22/2007	SUB	02222	029	Title: Structural Excavation and Bacfill Desc: 101 Service Saddle	APP
3	3	5/22/2007	SUB	02222	006	Title: Structural Excavation and Bacfill Desc: Sand	APP
4	3	5/22/2007	SUB	02222	008	Title: Structural Excavation and Bacfill Desc: ASTM D3034 Solid Wall Sewer Pipe 4",6",8",12",15"	APP



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed	
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
5	3	5/22/2007	SUB	02222	010	Title: Structural Excavation and Bacfill Desc: A-1055 Manhole Ring Cover	MCNR
6	3	5/22/2007	SUB	02222	012	Title: Structural Excavation and Bacfill Desc: Rainstore3 Product Specifications	APP
7	3	5/22/2007	SUB	02222	014	Title: Structural Excavation and Bacfill Desc: C900 PSI Class 150; 6"	APP
8	3	5/22/2007	SUB	02222	016	Title: Structural Excavation and Bacfill Desc: Schedule 80 Pipe 3"	APP
9	3	5/22/2007	SUB	02222	018	Title: Structural Excavation and Bacfill Desc: MJ Water fittings	APP

Remarks: Please review the attached submittals. There are a few that will need to be resubmitted for approval. Thanks.

5/24/2007 00259 MCH Deposit TMC/Arch: Petra Incorporated Adam Johnson

Return

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/24/2007				Returned MCH Deposit Check	

Remarks:

5/24/2007 00260 MCH Deposit TMC/Arch: Petra Incorporated Adam Johnson

Return

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/24/2007				Returned MCH Deposit Check	

Remarks:

5/29/2007 00261 Steel Shop TMC/Arch: Petra Incorporated Adam Johnson

Drawings(Ph1)

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
7	7	5/29/2007	SUB	05 500-02	004	Title: Structural Steel Shops (Phaze1) Desc: Pages 28-46 Beams	NEW
7	7	5/29/2007	SUB	05 500-02	001	Title: Structural Steel Shops (Phaze1) Desc: E3 and E4	NEW
7	7	5/29/2007	SUB	05 500-02	003	Title: Structural Steel Shops (Phaze1) Desc: Pages 17-27 Columns	NEW
7	7	5/29/2007	SUB	05 500-02	002	Title: Structural Steel Shops (Phaze1) Desc: Pages 2-16 Columns	NEW
7	7	5/29/2007	SUB	05 500-02	005	Title: Structural Steel Shops (Phaze1) Desc: Pages 47-92 Columns	NEW

Remarks:

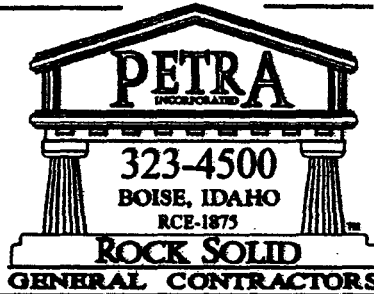
5/29/2007 00262 Joist and Deck TMC/Arch: Petra Incorporated Adam Johnson

Shop Dwgs

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	5/29/2007	SUB	05-300-02	002	Title: J1, J2 Joists and Decking Desc: D1-D6 Decking	NEW
2	7	5/29/2007	SUB	05-300-02	001	Title: J1, J2 Joists and Decking Desc: J1, J2 Joists	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
5/31/2007	0032	Submittals	Foundations	Dave Black	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	5/31/2007	SUB	03-100-03	001	Title: Concrete Mix Designs Desc: Concrete Mix Designs-ICCO	APP
	0	5/10/2007	SUB	03-100-3	001	Title: Upper Footings - Rebar Shops Desc: Upper Footings - Rebar Shops	REJ

Remarks:

Date	Number	Re:	To	Attention	From	Signed
5/31/2007	0032	Submittals	Shields Elevator	Paul Skov	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	5/31/2007	SUB	14-000-01	002	Title: Elevator Submittals Desc: Submittal Package Elevator 3	AAN
	0	5/31/2007	SUB	14-000-01	001	Title: Elevator Submittals Desc: Submittal Package Elevators 1-2	APP

Remarks:

Date	Number	Re:	To	Attention	From	Signed
6/1/2007	00263	May Payment Application	City of Meridian	Kent Warr	Petra Incorporated	Wes Bettis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/1/2007				Application for Payment No. 7 for Month of May.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
6/5/2007	00264	ASI No. 6	NO Backlog	Wie Grotz	Petra Incorporated	Wes Bettis

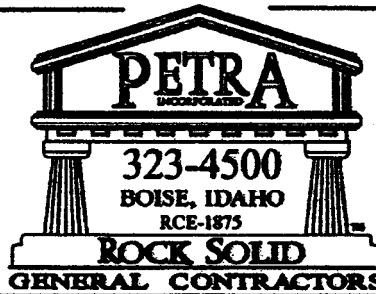
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/5/2007				ASI No. 6	

Remarks: For your use

Date	Number	Re:	To	Attention	From	Signed
6/11/2007	00265	II-Set 12	Debes Fire Protection	Jim Heiler	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: For your use.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall
Project No: 06-0675

Date: 9/10/2009
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Date Number Re: To Attention From Signed

6/22/2007 00266 Elevator Shop - Steel/Elevator Comp. Plans Shop Petra Incorporated Adam Johnson

Submittals

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/12/2007				Elevator 1 and 2 Submittials	
2	2	6/12/2007				Elevator 3 Submittials	

Remarks: Please Review Attached Submittials.

6/22/2007 00267 Stair #1 Shop - Steel/Elevator Comp. Plans Shop Petra Incorporated Adam Johnson

Drawings

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	6/12/2007	SUB	05-500-03		Stair Calculations	
1	7	6/12/2007	SUB	05-500-03	001	Title: Stair #1 Plans Desc: Stair #1 Plans, Elevations, Sections, Details	NEW

Remarks:

6/22/2007 00268 Structural Steel Shop - Steel/Elevator Comp. Plans Shop Petra Incorporated Adam Johnson

Shops

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/12/2007	SUB	05-500-04	001	Title: Structural Steel Shop (Phase II) Desc: Structural Steel Shop (Phase II) 3rd Floor & Roof	NEW

Remarks:

6/22/2007 00269 Concrete Shop - Steel/Elevator Comp. Plans Shop Petra Incorporated Adam Johnson

Submittals

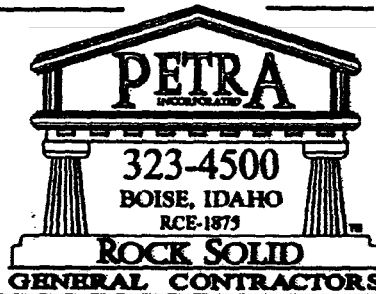
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/11/2007				Concrete Submittials:Clements Concrete	
1	2	6/11/2007				Concrete Submittials:ICCO	

Remarks: For your use.

6/22/2007 00327 Submittial - Steel/Elevator Comp. Plans Shop Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	6/13/2007	SUB	05 500-02	005	Title: Structural Steel Shops (Phase1) Desc: Pages 47-92 Columns	AAN
	0	6/13/2007	SUB	05 500-02	002	Title: Structural Steel Shops (Phase1) Desc: Pages 2-16 Columns	AAN
	0	6/13/2007	SUB	05 500-02	004	Title: Structural Steel Shops (Phase1) Desc: Pages 28-46 Beams	AAN
	0	6/14/2007	SUB	05-300-02	001	Title: J1, J2 Joists and Decking Desc: J1, J2 Joists	APP
	0	6/14/2007	SUB	05-300-02	002	Title: J1, J2 Joists and Decking Desc: D1-D6 Decking	APP
	0	6/13/2007	SUB	05 500-02	001	Title: Structural Steel Shops (Phase1) Desc: E3 and E4	AAN
	0	6/13/2007	SUB	05 500-02	003	Title: Structural Steel Shops (Phase1) Desc: Pages 17-27 Columns	AAN

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
6/14/2007	00270	Steel Shop Drawings(Ph1)	Hule Steel	Steve Norquist	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/14/2007			Steel Shop Drawings (Phase 1)	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
6/14/2007	00271	ASI No. 10	MMC - MMC Inc	Michael Walz	Petra Incorporated	Wes Behr

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/13/2007			ASI 10 consisting of sheets A4.0R, A4.1R, A4.2R, A4.3R, A5.0R, A5.1R, A5.2R, A5.3R	NA

Remarks: Please review and submit the appropriate change order request referencing ASI No. 10 for review, processing and submittal to the City of Meridian.

Date	Number	Re:	To	Attention	From	Signed
6/14/2007	00272	ASI No. 10	Sidewalks LLC	Heri Bardon	Petra Incorporated	Wes Behr

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/13/2007			ASI 10 consisting of sheets A4.0R, A4.1R, A4.2R, A4.3R, A5.0R, A5.1R, A5.2R, A5.3R	NA

Remarks: Please review and submit the appropriate change order request referencing ASI No. 10 for review, processing and submittal to the City of Meridian.

Date	Number	Re:	To	Attention	From	Signed
6/14/2007	00273	REvised ASI	Hule Steel	Steve Norquist	Petra Incorporated	Adam Johnson

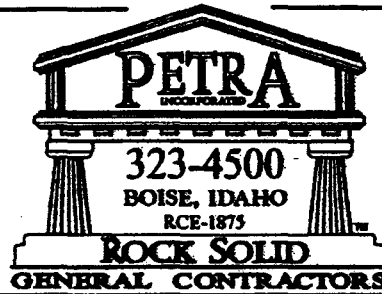
ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/14/2007			ASI No. 7	
1	1	6/14/2007			ASI No. 8	
1	1	6/14/2007			ASI No. 9	
1	1	6/14/2007			ASI No. 11	
1	1	6/14/2007			RFI No 7	
1	1	6/14/2007			RFI No 8	
1	1	6/14/2007			RFI No 15	
1	1	6/14/2007			ASI No. 4	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
6/14/2007	00274	Revised Shops	Ph1 Shops	Christensen	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/14/2007	SUB 05 500-04	001	Title: Revised Sheets from Phase 1 Set Desc: Sheet 70, 127, 166, 191.	NEW

Remarks: Revised Shops For Approval



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 120 of 271

Date Number Re: To Attention From Signed

6/13/2007 00275 Stair No. 2 LCA Architects, PA Steve Petra Incorporated Adam Johnson

Plans Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	6	6/14/2007	SUB	05-500-05		Title: Stair #2 Plans Desc: Stair #2 Calculations	
	6	6/14/2007	SUB	05-500-05	001	Title: Stair #2 Plans Desc: Stair #2 Plans	NEW

Remarks:

6/14/2007 00276 Building Ins LCA Architects, PA Steve Petra Incorporated Adam Johnson

Submittals Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	8	6/14/2007	SUB	07-200-01	001	Title: Building Insulation Desc: Building Insulation	NEW
2	8	6/14/2007	SUB	09-574-01	001	Title: Linear Metal Ceilings Desc: Linear Metal Ceilings	NEW

Remarks:

6/14/2007 00277 Steel Stud LCA Architects, PA Steve Petra Incorporated Adam Johnson

Sumbittials Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	8	6/14/2007	SUB	05-400-01	001	Title: Cold Formed Metal Framing Desc: Cold Formed Metal Framing	NEW
2	8	6/14/2007	SUB	09-260-01	001	Title: Gypsum Board Assemblies Desc: Gypsum Board Assemblies	NEW

Remarks:

6/18/2007 00281 Masonry LCA Architects, PA Steve Petra Incorporated Adam Johnson

Submittials Christensen

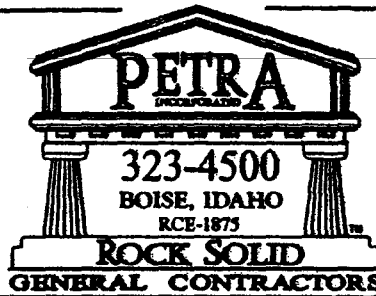
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	6/18/2007	SUB	04-000-01	001	Title: Masonry Accessories Desc: Masonry Accessories, Ties, Reinforcement, ect.	NEW
2	7	6/18/2007	SUB	04-200-02	001	Title: Concrete Masonry Units Desc: Concrete Masonry Units	NEW
3	7	6/18/2007	SUB	04-200-03	001	Title: Mortar Mix Design Type S Desc: Mortar Mix Design Type S	NEW
4	7	6/18/2007	SUB	04-200-01	001	Title: Grout Mix Design Desc: Grout Mix Design	NEW
5	7	6/18/2007	SUB	04-200-04		Title: Mortar Mix Design Type N Desc: Mortar Mix Design Type N	

Remarks:

6/19/2007 00272 ASING 12 Title Steel Steve Norquist Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/19/2007				ASI No. 12 MCH	

Remarks: ASI Distribution for your use.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 121 of 271

Date: 6/19/2007 Number: 002277 Re: May Payment Application City of Meridian To: Keith Watts Attention: From: Petra Incorporated Signed: Wes Bettis

Application

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/31/2007			Revised Application for Payment Cover Sheets (with back-up)	

Remarks:

Date: 6/20/2007 Number: 002282 Re: Weld Procedure Specifications City of Meridian To: Keith Watts Attention: From: Petra Incorporated Signed: Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	6/20/2007	SUB 05-000-01	001	Title: Weld Procedure Specifications Desc: Weld Procedure Specifications	NEW

Remarks:

Date: 6/21/2007 Number: 002283 Re: Seal Co. May City of Meridian To: Keith Watts Attention: From: Petra Incorporated Signed: Wes Bettis

Pay App

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/31/2007			Seal Co. May Application for Payment-Copy	NA

Remarks:

Date: 6/25/2007 Number: 002284 Re: Set of Original Contracts City of Meridian To: Keith Watts Attention: From: Petra Incorporated Signed: Wes Bettis

Elevator

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2				Sets of AIA A101/CMA -1992 and AIA A201/CMA signed by the Contractor ready for dating and execution by the City.	NA
2	1	6/20/2007			AIA A312 Payment and Performance Bonds No. 8893162 for the Meridian City Hall project.	NA

Remarks: Please return one fully executed set of original contracts to my attention for final disposition to the Contractor.

Date: 6/25/2007 Number: 002285 Re: Payment Package American Vial Buildings To: Keith Watts Attention: From: Petra Incorporated Signed: Adam Johnson

Subcontract

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007			Payment Package	
1	1	6/25/2007			Executed Subcontract-Meridian City Hall	

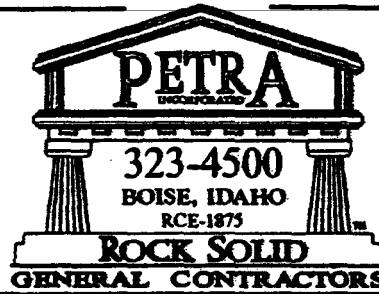
Remarks: For your files.

Date: 6/25/2007 Number: 002286 Re: Payment Package American Vial Buildings To: Keith Watts Attention: From: Petra Incorporated Signed: Adam Johnson

Subcontract Supply

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007			Payment Package	
1	1	6/25/2007			Executed Subcontract-Meridian City Hall	

Remarks: For your files.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 122 of 271

Date	Number	Re:	To	Attention	From	Signed
6/25/2007	00287	Executed	Chris Johnson	David Carlson	Petra Incorporated	Adam Johnson

Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.

6/25/2007	00288	Executed	Mike Backho	Mike Apostolou	Petra Incorporated	Adam Johnson
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Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.

6/25/2007	00289	Executed	Bill Sloc	Steve Nordquist	Petra Incorporated	Adam Johnson
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Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.

6/25/2007	00290	Executed	Sean Co	Mike Donavere	Petra Incorporated	Adam Johnson
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Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.

6/25/2007	00291	Executed	IS	Dominic Sullivan	Petra Incorporated	Adam Johnson
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Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.

6/25/2007	00292	Executed	Bill Sloc	Mike Donavere	Petra Incorporated	Adam Johnson
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Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall **Date:** 9/10/2009
Project No: 06-0675 **Page:** 123 of 271

Date	Number	Re:	To	Attention	From	Signed
6/25/2007	00294	Executed	Western Roofing	100 Days	Petra Incorporated	Adam Johnson

Subcontract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/25/2007				Payment Package	
1	1	6/25/2007				Executed Subcontract-Meridian City Hall	

Remarks: For your files.

6/27/2007	00295	Returning	Al's Backhoe	100 Days	Petra Incorporated	Sandy O'Rourke
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check#1396

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/27/2007				check#1396 for plan set #5	

Remarks: This check was a deposit for plan set#05. Since you were awarded the job and will be keeping the plans, we are returning this check to you.

Thank you.

6/27/2007	00295	Returning	Custom Glass	100 Days	Petra Incorporated	Sandy O'Rourke
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check#028011

Campbell

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/27/2007				Check#028011 for plan set #29	

Remarks: This check was a deposit for plan set#29. Since you were awarded the job and will be keeping the plans, we are returning this check to you.

Thank you.

6/27/2007	00296	Returning	Mountain State Roofing	100 Days	Petra Incorporated	Sandy O'Rourke
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checks (2)

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/27/2007				Check#10882 & Check#10889 for plan set#38	

Remarks: These checks were to be picked up with the return of plan set#38. The plans were returned but, the checks were left behind

Thank you.

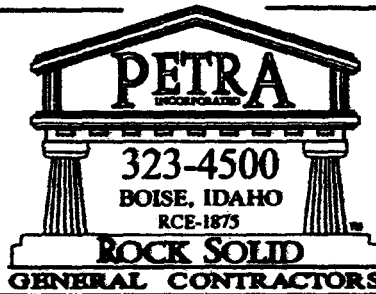
6/28/2007	00297	Submittals	Christensen	100 Days	Petra Incorporated	Adam Johnson
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Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	6/28/2007	SUB	08-630-01	001	Title: Metal Framed Skylights Desc: Metal Framed Skylights	NEW
2	6	6/28/2007	SUB	08-411-01	001	Title: Aluminum Entrances and Storefronts Desc: Aluminum Entrances and Storefronts	NEW
3	2	6/28/2007	SUB	08-411-01	002	Title: Aluminum Entrances and Storefronts Desc: Kalwall Colorchart	NEW
4	6	6/28/2007	SUB	08-800-01	001	Title: Glazing Desc: Glazing	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
6/28/2007	00296	City Hall	City of Meridian	Will Berg	Petra Incorporated	Adam Johnson

Schedule

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/28/2007				20 x 40 Two Month Look Ahead Schedule in Color for your use.	NA

Remarks: Will:
Updated Wall Schedule For Your Use.

6/29/2007	00299	Change Order	City of Meridian	Keith Walls	Petra Incorporated	Wes Bette
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Request # 1

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/27/2007				Change Order Request No. 1 for Construction Management Services Related to Contaminated Soil Identification, Classification, Removal and Remediation.	NEW

Remarks:

6/29/2007	00300	AS	City of Meridian	Keith Walls	Petra Incorporated	Wes Bette
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Elevator

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/27/2007				ASI #14 w/Schindler Elevator Change Order Confirmation	NEW

Remarks:

7/2/2007	00300	II-Set 29	City of Meridian	Keith Walls	Petra Incorporated	Adam Johnson
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II-Set 29

Campbell

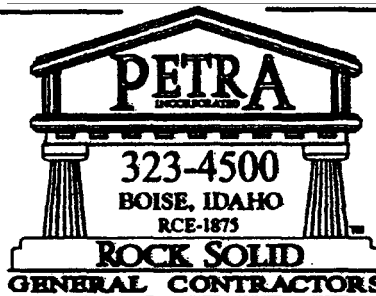
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	3/7/2007				Volume 1-Phase II Technical Specifications	
2	1	3/7/2007				Volume 2- Phase II Bidding and General Conditions	
3	1	3/7/2007				Cold Shell and Core Package Sheets: A0.0,C1.1 ,C1.2, C4.1, C4.2, C4.3, L1.20, A0.0, A0.1 ,A0.2,A.3, A0.4,, A0.5, A2.00, A2.10, A 2.20, A2.30, A2.40, A2.50, A2.60, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2, A4.3, A4.4, A4.5, A5.0, A5.1A5.2, A5.3, A5.4, A9.0, A9.1, A9.2, A9.3, S0.01, S1.01, S1.02, S2.11, S2.12, S2.21, S2.2, S2.31, S2.32, S2.41, S2.42, S2.5, S3.1, S5.1, S5.2, S7.1, S7.2, S7.3, S7.4, S7.5, S7.6, P0.0, P0.1, P1.1, P1.1, P2.1, P3.1, M5.0, E1.0S, E1.1S	

Remarks: BID DATE: MARCH 27, 2007.

Deposit Required:

Plan Set: \$250.00 (refundable)

Plan CD: \$50.00 (non-refundable)



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/2/2007	00302	TMC Masonry	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis

COR 1

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/2/2007				Change Order Request for TMC Masonry per ASI 10.	

Remarks: This Change Order Request reflects the impact of ASI 10 which raised the building finish floor elevation 4-0 requiring additional brick masonry units, but deleting square footage in the cultured stone product.

Date	Number	Re:	To	Attention	From	Signed
7/3/2007	00328	Submittal	TMC/Boise	Michael Walczak	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/11/2007	SUB	04-200-01	001	Title: Grout Mix Design Desc: Grout Mix Design	APP
	0	7/11/2007	SUB	04-200-02	001	Title: Concrete Masonry Units Desc: Concrete Masonry Units	APP
	0	7/11/2007	SUB	04-200-03	001	Title: Mortar Mix Design Type S Desc: Mortar Mix Design Type S	APP
	0	7/3/2007	SUB	04-000-01	001	Title: Masonry Accessories Desc: Masonry Accessories, Ties, Reinforcement, ect.	NEW

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/6/2007	00303	Contaminated Soils	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	6/27/2007				Soil & Groundwater Investigation and REM-I Evaluation for the former Meridian Creamery Meridian, ID by MTI as submitted to IDEQ, Eric Traynor	NA

Remarks: Keith: Attached are two copies of the final report delivered to IDEQ by MTI on behalf of the City of Meridian. These are for your records, no further action required of you.

Date	Number	Re:	To	Attention	From	Signed
7/6/2007	00304	Final PAV Application	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2007				Application for Payment for the month of June	NEW

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/6/2007	00305	Meridian City Hall	Architectural	Steve Simmons	Petra Incorporated	Adam Johnson

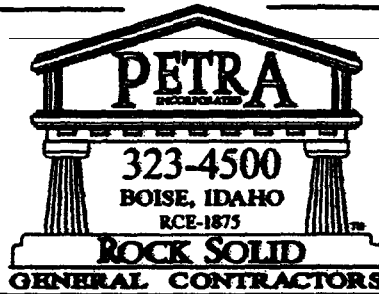
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/6/2007				MEP/TI Bid Book - Volume II	

Remarks: For Your Files.

Date	Number	Re:	To	Attention	From	Signed
7/6/2007	00461	Submittal	Boise Steel	Hill Beverly	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/6/2007	SUB	05 500-04	001	Title: Revised Sheets from Phase 1 Set Desc: Revised Sheets from Phase 1 Set	NEW

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date **Number** **Re:** **To** **Attention** **From** **Signed**

~~7/9/2007~~ 00314 Upper Footing Rebar Shop LCA Architects Steve Christensen Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	7/9/2007	SUB	03-100-4	001	Title: Upper Footing Rebar Shops Desc: Upper Footing Rebar Shops	NEW

Remarks:

~~7/10/2007~~ 00300 Weld Procedures Hill Steel Steve Normis Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	7/10/2007	SUB	05-000-01	001	Title: Weld Procedure Specifications Desc: Weld Procedure Specifications	APP

Remarks:

~~7/10/2007~~ 00300 Stair Shop Hill Steel Steve Normis Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	7/10/2007	SUB	05-500-03	001	Title: Stair #1 Plans Desc: Stair #1 Plans, Elevations, Sections, Details	APP

Remarks: Review Red Lines

~~7/10/2007~~ 00300 Stair Shop Hill Steel Steve Normis Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/10/2007	SUB	05-500-05		Title: Stair #3 Plans Desc: Stair #3 Plans, Elevations, Sections, Details	
1	1	7/10/2007	SUB	05-500-05	001	Title: Stair #2 Plans Desc: Stair #2 Plans, Elevations, Sections, Details	APP

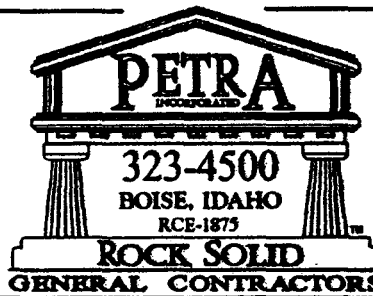
Remarks: Review Red Lines

~~7/10/2007~~ 00300 Meridian City Hall Schindler Elevator Corp Phil Wood Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	6/26/2007				Fully executed original contract for the Meridian City Hall Project	APP

Remarks: Ms. Ramsay Wood:
Enclosed is a fully executed original of the contract between the City of Meridian, Idaho and Schindler Elevator Corporation, as requested by your letter dated May 11, 2007 and the subsequent communication from Petra Incorporated. If you have any questions or require additional information, please contact me at the phone number and address above.

Please note the change of mailing address for Petra Incorporated and have your records adjusted accordingly.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/11/2007	00311	Meridian City Hall	City of Meridian	Keith Watts	Petra Incorporated	Wes Bell

Hall

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/8/2007				Original AIA A101 CMA and AIA A201CMA, fully executed for Architectural Building Supply	APP
2	1	5/8/2007				Original AIA A101 CMA and AIA A201CMA, fully executed for American Wallcover, Inc.	APP
3	1	5/8/2007				Original AIA A101 CMA and AIA A201CMA, fully executed for Custom Glass, Inc.	APP

Remarks: Keith:

These three contracts show as having been approved and returned to the Contractors previously. I believe these are your originals for your records.

7/11/2007	00311	Non-Compliant	City of Meridian	Keith Watts	Petra Incorporated	Wes Bell
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Bid

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1					Letter to Zane Stephens, disqualifying bid received. For your file.	NA

Remarks: FYI on a non-compliant bid.

7/11/2007	00312	ASI No. 6	City of Meridian	Tyler Crabb	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/11/2007				ASI No. 6 Plan Sheets	

Remarks:

7/11/2007	00313	MCH PAT Sets	City of Meridian	Michelle Waller	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	7/10/2007				MCH-Shell And Core Plan Sets (2 Sets)	

Remarks:

7/11/2007	00320	Mortar Mix Design	City of Meridian	Steve Christensen	Petra Incorporated	Adam Johnson
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Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/11/2007	SUB	04-200-04	001	Title: Mortar Mix Design Type N Desc: Mortar Mix Design Type N	APP

Remarks:

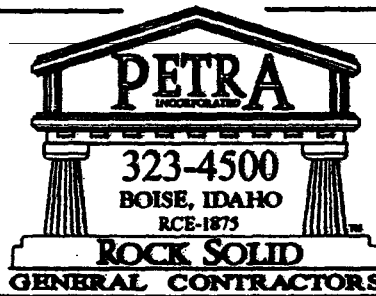
7/12/2007	00315	Field Welding	City of Meridian	Steve Christensen	Petra Incorporated	Adam Johnson
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Specs

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	6	7/12/2007	SUB	05-000-02	001	Title: Welding Procedures and Specs-Field Desc: Welding Procedures and Specs-Field	NEW

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/12/2007	00317	Building Ins	American Wall Cover	Handy Pierce	Petra Incorporated	Adam Johnson

Submittal

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	7/12/2007	SUB	07-210-01	001	Title: Building Insulation Desc: Building Insulation	APP

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/12/2007	00318	Gypsum Board	American Wall Cover	Handy Pierce	Petra Incorporated	Adam Johnson

Submittals

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	7/12/2007	SUB	09-260-01	001	Title: Gypsum Board Assemblies Desc: Gypsum Board Assemblies	APP

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/12/2007	00319	Linear Metal Ce	American Wall Cover	Handy Pierce	Petra Incorporated	Adam Johnson

Submit

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	7/12/2007	SUB	09-574-01	001	Title: Linear Metal Ceilings Desc: Linear Metal Ceilings	APP

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/12/2007	00320	Steel Stud	American Wall Cover	Handy Pierce	Petra Incorporated	Adam Johnson

Submittals

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	7/12/2007	SUB	05-400-01	001	Title: Cold Formed Metal Framing Desc: Cold Formed Metal Framing	AAN

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/13/2007	00321	Grout Design	Concrete	Handy Pierce	Petra Incorporated	Adam Johnson

Submittals

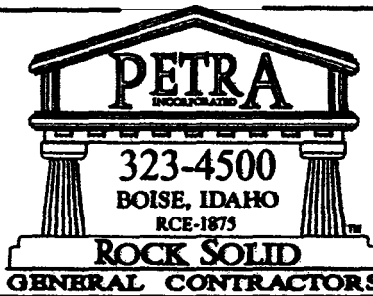
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	7/13/2007				Grout Mix Design and Test Data:Submittals	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
7/13/2007	00322	Structural Steel	Steel Shop	Bill Boyer	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/13/2007	SUB	05-500-04	001	Title: Structural Steel Shop (Phase II) Desc: Structural Steel Shop (Phase II) 3rd Floor & Roof	AAN

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date: 7/13/2007 Number: 00327 Re: Storefront Custom Glass Attention: Julie Wroble From: Petra Incorporated Signed: Adam Johnson

Submittals

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/13/2007	SUB	08-411-01	002	Title: Aluminum Entrances and Storefronts Desc: Kalwall Colorchart	AAN
2	3	7/13/2007	SUB	08-411-01	001	Title: Aluminum Entrances and Storefronts Desc: Aluminum Entrances and Storefronts	AAN
3	3	7/13/2007	SUB	08-630-01	001	Title: Metal Framed Skylights Desc: Metal Framed Skylights	APP
4	3	7/13/2007	SUB	08-800-01	001	Title: Glazing Desc: Glazing	AAN

Remarks:

7/13/2007 00324 Mutual Brick JCA Architects, PA Steve Petra Incorporated Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	7/13/2007	SUB	04-200-05	001	Title: Mutual Brick Specifications Desc: Mutual Brick Specifications	NEW

Remarks:

7/17/2007 00330 Stair Shops Hill Signs Steve Norquist Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/17/2007				ASI No. 18	
1	1	7/17/2007				Stair Shops-Stair #2.	

Remarks:

7/17/2007 00331 Contractor ID City of Meridian Kent Watta Petra Incorporated Wes Bell

Number

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/17/2007				W-9 for MJ's Backhoe and Excavation, Inc	NA

Remarks:

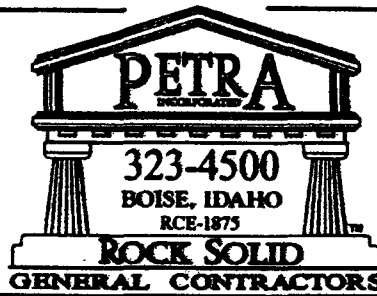
7/18/2007 00321 Arriscraft Stone JCA Architects, PA Steve Petra Incorporated Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	7/18/2007	SUB	04-200-06	001	Title: Arriscraft Stone Submittal Desc: Arriscraft Stone Submittal	NEW
2	1	7/18/2007	SUB	04-200-06		Color:G07-06151 Rocked Finish Sample	
3	1	7/18/2007	SUB	04-200-06		Color:G07-0615H Smooth Finish	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 130 of 271

Date **Number** **Re:** **To** **Attention** **From** **Signed**

7/18/2007 00333 Steel Shop File LCA Architects PA Steve Christensen Petra Incorporated Adam Johnson

Copy

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/18/2007				MCH Steel Shop Drawings-Phase II (Copy Set)	
1	1	7/18/2007				MCH Steel Shop Drawings-Phase I (Copy Set)	

Remarks: Steve/Brent:
Attached are the black and white copies of Stapleys original red lined sets for your records. Copies have also been forwarded directly to Stapley for their files. Thanks.

7/18/2007 00333 Steel Shop File Stapley Engineering Inc Jan Welch Petra Incorporated Adam Johnson

Copy

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/18/2007				MCH Steel Shop Drawings-Phase II (Copy Set)	
1	1	7/18/2007				MCH Steel Shop Drawings-Phase I (Copy Set)	

Remarks: Jan:
Attached are the black and white copies of your original red lined sets for your records. Copies have also been forwarded directly to LCA for their files. Thanks.

7/18/2007 00333 MCH Bent Plate LCA Architects PA Steve Christensen Petra Incorporated Adam Johnson

Drawings

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	7/18/2007	SUB	05-500-06	001	Title: Shop Drawings - Bent Plate Desc: Shop Drawings - Bent Plate	NEW

Remarks: Sheets E-20, E-21, E-22, E-23, E-24, 500, 501.

7/19/2007 00336 Joists Shop File LCA Architects PA Steve Christensen Petra Incorporated Adam Johnson

Copy

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/18/2007				MCH Steel Shop Drawings-Joist Drawings	

Remarks: Steve/Brent:
Attached are the black and white copies of Stapleys original red lined sets for your records. Copies have also been forwarded directly to Stapley for their files. Thanks.

7/23/2007 00337 Arriscraft Stone LCA Architects PA Steve Christensen Petra Incorporated Adam Johnson

Submittal(1)

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	7/23/2007	SUB	1	001	Title: MSB Submittials Desc: MSB Submittials	NEW

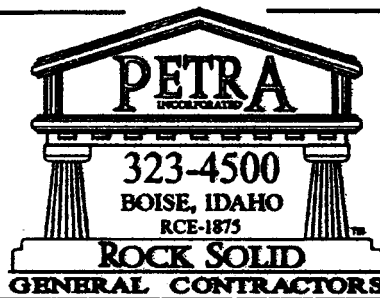
Remarks:

7/23/2007 00338 Arriscraft Stone LCA Architects PA Michelle Walz Petra Incorporated Adam Johnson

Submittial

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/23/2007	SUB	04-200-06	001	Title: Arriscraft Stone Submittial Desc: Arriscraft Stone Submittial	APP

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/23/2007	00339	Upper Rebar Shops	Sidewalk, LLC	Donnie Smith	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	7/23/2007	SUB	03-100	011	Title: Footings and Foundations Desc: Upper Footing Rebar Shops	REJ

Remarks:

7/23/2007	00341	ASI # 18 & 19	Rule Steel	Steve Norquist	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/23/2007				ASI No 19	
1	1	7/23/2007				ASI No 18	

Remarks:

7/23/2007	00342	J1, J2 Joists and Deck	Rule Steel	Steve Norquist	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/23/2007				J1, J2 Joists and Decking	

Remarks:

7/24/2007	00343	Elevation/ASI	TMC Inc	Michelle Walters	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/20/2007				ASI No. 10 - Exterior Elevation Changes	

Remarks:

7/25/2007	00344	Mortar Color Chart	TCA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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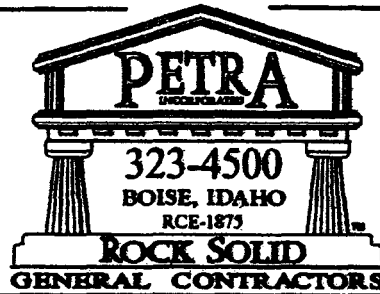
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/25/2007	SUB	04-200-07	001	Title: Mortar Mix Colorchart Desc: Mortar Mix Colorchart	NEW

Remarks:

7/24/2007	00345	Meridian City Hall	City of Meridian	Kevin Watts	Petra Incorporated	Wes Batts
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/24/2007				CD with Phase III Bid Results and Monthly Construction Budget Update.	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
7/27/2007	00346	Phase III Bid	City of Meridian	Keith Watts	Petra Incorporated	Wes Betts

Results

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/26/2007				CD with Phase III Bid Summary and Budget Updates through 07-26-07.	NA
2	1	7/25/2007				Seal Co Caulking Bid for Bid Package 5.	NA
3	1	7/26/2007				Letter to Candace Cotner, ABC Sanitation	NA
4	1	7/26/2007				Letter to Lois Taylor, AAtronics, Inc.	NA
5	1	7/26/2007				Letter to Jeffrey Kezar, The Security Group	NA
6	1	7/26/2007				Letter to May Semmler, Data Cabling Services	NA
7	1	7/26/2007				Eight (8) original bid package responses with bid surety, returned after copies were made, from bids received on 07-26-07.	NA

Remarks:

7/27/2007	00347	Phase III Bid	JCA Architects PA	Steve Simmons	Petra Incorporated	Wes Betts
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Results

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1		7/26/2007				Letter to ABC Sanitation and Septic, Inc.	NA
2		7/26/2007				Letter to Jeffrey Kezar, The Security Group	NA
3		7/26/2007				Letter to Mary Semmler Data Cabling Service	NA
4		7/26/2007				Letter to Lois Taylor, AAtronics, Inc.	NA

Remarks:

7/27/2007	00348	First Floor Rebar	JCA Architects PA	Steve Simmons	Petra Incorporated	Adam Johnson
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Shops

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	7/27/2007	SUB	03-100-06	001	Title: First Floor Deck Rebar Shops Desc: First Floor Deck Rebar Shops	NEW

Remarks:

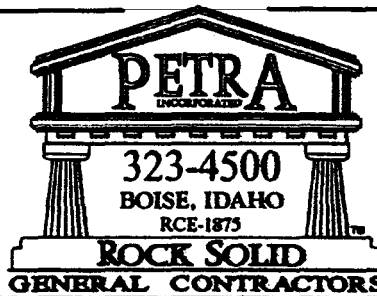
7/27/2007	00349	Sewage Ejector	JCA Architects PA	Steve Simmons	Petra Incorporated	Adam Johnson
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Specs

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	7/30/2007	SUB	1	001	Title: Sewage Ejector System Desc: Sewage Ejector System	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed
 7/30/2007 00350 Site Work ICA Architects, PA Steve Petra Incorporated Adam Johnson

Resubmittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	5	7/30/2007	SUB	02-222-01	001	Title: Drain Rock Desc: Drain Rock	NEW
2	5	7/30/2007	SUB	02-222-02	001	Title: 1500 Gal Sand and Grease Interceptor Desc: 1500 Gal Sand and Grease Interceptor	NEW
3	5	7/30/2007	SUB	02-222-03	001	Title: Manhole Ring Desc: Manhole Ring	NEW
4	5	7/30/2007	SUB	02-222-04	001	Title: Tapping Valves, 6" Desc: Tapping Valves, 6"	NEW

Remarks: Revised Site work submittals for review and approval.

7/31/2007 00351 COR-001 & 002 City of Meridian Keith Watts Petra Incorporated Wes Bell

for MJ's

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/26/2007				COR-001 for ASI 15 for Foundation Drain work.	NEW
2	1	7/31/2007				COR-002 for Force Account Work due to Unsuitable Soil removal and basement out of sequence plumbing work.	NEW

Remarks:

7/31/2007 00353 Draw No. 9 July City of Meridian Keith Watts Petra Incorporated Wes Bell

2007

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/24/2007				Idaho Airships Meridian City Hall Aerial Photos for July	NA
2	1	6/30/2007				Original Lien Releases from 06-30-07 Billings and check releases.	NA
3	1	7/31/2007				Application for Payment No. 9 for July 2007 with back-up documentation.	NA

Remarks:

8/1/2007 00353 Submittals ICA Architects, PA Michelle Watts Petra Incorporated Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	8/1/2007	SUB	04-200-07	001	Title: Mortar Mix Colorchart Desc: Mortar Mix Colorchart	AAN

Remarks:

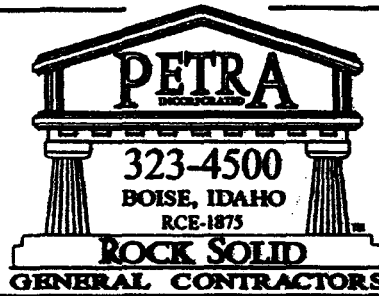
8/2/2007 00352 Roofing ICA Architects, PA Steve Petra Incorporated Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	8/2/2007	SUB	07-500-01	001	Title: Roofing Desc: Roofing	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/3/2007	00354	Painting CONTRACT	City of Meridian	Chris Watts	Petra Incorporated	Wes Batts

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/2/2007				Executed Conditional Notice of Award to Commercial Painting Contractors, Inc. received by Petra Inc Aug-02-2007.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/3/2007	00354	LEED Brochure	City of Meridian	Willie Bell	Petra Incorporated	Wes Batts

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	5	8/3/2007				LEED v2.2 Information Brochure	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/6/2007	00356	Working Plans	Simplex Ghinell	Roger Adams	Petra Incorporated	Adam Johnson

Sets

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/3/2007				MCH - Cold Core and Shell Plan Set and Spec Book No. 39	
1	1	8/3/2007				MCH - T.I. and MEP Plan Set w/Addendums No. 55	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/7/2007	00357	Mortar Color Chart	BCA Architects PA	Scott	Petra Incorporated	Adam Johnson

Chart

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/25/2007	SUB	04-200-07	001	Title: Mortar Mix Colorchart Desc: Mortar Mix Colorchart	NEW

Remarks: Second Set, Please review for attached color chart. Larger sample can be submitted once color is selected from chart.

Date	Number	Re:	To	Attention	From	Signed
8/8/2007	00358	Field Welding	Blue Steel	Steve Nordquist	Petra Incorporated	Adam Johnson

Submittal

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/8/2007	SUB	05-000-02	001	Title: Welding Procedures and Specs-Field Desc: Welding Procedures and Specs-Field	NEW

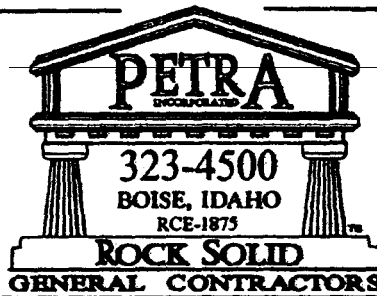
Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/8/2007	00359	1st Floor Rebar	Stairwalks	Donna Smith	Petra Incorporated	Adam Johnson

Shops

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	8/8/2007	SUB	03-100-06	001	Title: First Floor Deck Rebar Shops Desc: First Floor Deck Rebar Shops	AAN

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall
Project No: 06-0675

Date: 9/10/2009
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Date	Number	Re:	To	Attention	From	Signed
8/8/2007	00350	Bent Plate	Rock Solid	Steve Norquist	Petra Incorporated	Adam Johnson

Shops

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/8/2007	SUB	05-500-06	001	Title: Shop Drawings - Bent Plate Desc: Shop Drawings - Bent Plate	AAN

Remarks:

8/9/2007	00361	Sewer Ejector	Buss Mechanical	John Buss	Petra Incorporated	Adam Johnson
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Submittial

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	8/9/2007	SUB	15-400-01	001	Title: Sewage Ejector System Desc: Sewage Ejector System	AAN

Remarks:

8/9/2007	00362	Roofing	Western Roofing	Ted Davis	Petra Incorporated	Adam Johnson
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Submittials

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/9/2007	SUB	07-500-01	001	Title: Roofing Desc: Roofing	MCNR

Remarks:

8/9/2007	00363	Mutal Brck	TMC Inc	Michelle Waltz	Petra Incorporated	Adam Johnson
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Submittial

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	8/9/2007	SUB	04-200-05	001	Title: Mutal Brick Specifications Desc: Mutal Brick Specifications	APP

Remarks:

8/9/2007	00364	Bent Plate Sub	ECA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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Copy

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/9/2007				MCH Bent Plate Submittial, Copied set for your file.	

Remarks: Copy of the red lined set for your file. Thanks

8/9/2007	00365	Paint Submittal	ECA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	8/9/2007	SUB	09-900-01	001	Desc: Paint Submittal Package-Data Sheets and M.S.D.S.	NEW

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

8/9/2007 00366 Wallcovering ICA Architects, PA Steve Petra Incorporated Adam Johnson
Submittials Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	3	8/9/2007	SUB	09-720-01	002	Title: Textile Wallcovering Desc: Textile Wallcovering Manaram Product Sample	NEW
1	3	8/9/2007	SUB	09-720-01	004	Title: Textile Wallcovering Desc: Textile Wallcovering DeNovo Product Sample	NEW
1	7	8/9/2007	SUB	09-720-01	001	Title: Textile Wallcovering Desc: Textile Wallcovering	NEW
1	7	8/9/2007	SUB	09-720-01	003	Title: Textile Wallcovering Desc: Textile Wallcovering DeNovo Specifications	NEW

Remarks:

8/9/2007 00367 Hardware ICA Architects, PA Steve Petra Incorporated Adam Johnson
Schedule Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	8/9/2007	SUB	08-711-01	001	Title: Finish Hardware Schedule Desc: Finish Hardware Schedule	NEW

Remarks:

8/9/2007 00368 Wood Door ICA Architects, PA Steve Petra Incorporated Adam Johnson
Submittials Christensen

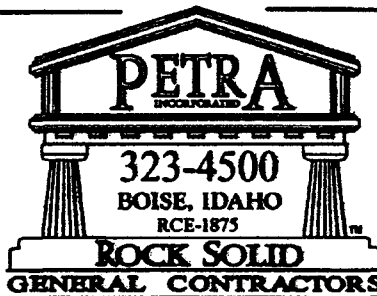
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/9/2007	SUB	08-211-01	001	Title: Wood Doors Desc: Wood Doors	NEW

Remarks:

8/9/2007 00369 Wood Door ICA Architects, PA Steve Petra Incorporated Adam Johnson
Sheets Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	8/9/2007	SUB	08-211-02	001	Title: Wood Door Cut Sheets Desc: Wood Door Cut Sheets	NEW
2	1	8/8/2007		08-211-02		Door Sample-White Maple Veneer CL02	
3	1	8/8/2007		08-211-02		Door Sample-White Maple Grassland Finish GR02	
4	1	8/8/2007		08-211-02		Door Sample - White Maple Ravine RA02	
5	1	8/8/2007		08-211-02		Door Sample - White Maple Alpine Finish AS02	
6	1	8/8/2007		08-211-02		Door Sample - White Maple Wheat Finish WH02	
7	1	8/8/2007		08-211-02		Door Sample - White Maple Timber Finish TI02	
8	1	8/8/2007		08-211-02		Door Sample - White Maple Oasis Finish OA02	
9	1	8/8/2007		08-211-02		Door Sample - Birch Savanna SA02	

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/10/2007	00370	Custom Glass, Inc. CNTP	City of Meridian	Keith Watts	Petra Incorporated	Wes Bettis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/24/2007				Fully Executed CNTP from Custom Glass Inc.	NA
2	1	8/1/2007				Custom Glass, Inc. Insurance Certificate	NA
3	1	8/9/2007				Performance Bond from Custom Glass, Inc.	NA
4	1	8/9/2007				Payment bond from Custom Glass, Inc.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/13/2007	00371	Cabinet Sink Locations	City of Meridian	Tammy de Weerd	Petra Incorporated	Wes Bettis

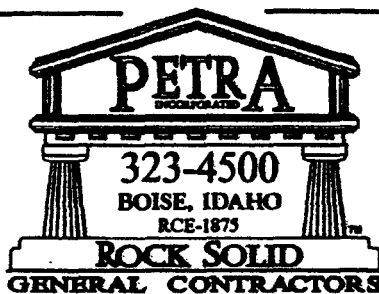
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/13/2007				Floors Plans in 11 x 17 for Basement, First Floor, Second Floor and Third Floor with Cabinet locations highlighted for your review and use.	NA

Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/15/2007	00372	Primavera	City of Meridian	Keith Watts	Petra Incorporated	Wes Bettis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/15/2007				Primavera Conference Brochure	NA
2	1	7/16/2007				Fec-Ex Bid Package from Max Carrigan, Sr at Smart Building Solutions. Actual bid envelope is delivered un-opened and is reputed to contain a bid security in the form of a cashier's check, but is not confirmed as the envelope has remained sealed.	NA
3	1	5/31/2007				Copy of unexecuted Petra internal tracking Change Order No. 1 to MJ's Backhoe for May 4-24, 2007 Force Work Account.	NA
4	1	6/27/2007				Copy of unexecuted Petra internal tracking Change Order No. 2 to MJ's Backhoe for May 25 to June 12, 2007 Force Work Account.	NA
5	1	7/26/2007				Copy of unexecuted Petra internal tracking Change Order Request for ASI-15 to MJ's Backhoe.	NA
6	1	7/31/2007				Copy of unexecuted Petra internal tracking Change Order Request No. 2 to MJ's Backhoe for May 19th and June 26-July 23, 2007 Force Account Work.	NA
7	1	8/9/2007				Copy of unexecuted Petra PCO No. 1 to MJ's Backhoe for ASI-2 and ASI-6 work in place.	NA

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date Number Re: To Attention From Signed

8/15/2007 00373 Contract for Simplex Grinnell LP Brad Petra Incorporated Was Bett

Signature Bettencourt

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007 00374 Contract for Simplex Corp DB/B&B Todd Bloom Petra Incorporated Was Bett

Signature Steel

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007 00375 Contract for American Wallcover Randy Price Petra Incorporated Was Bett

Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

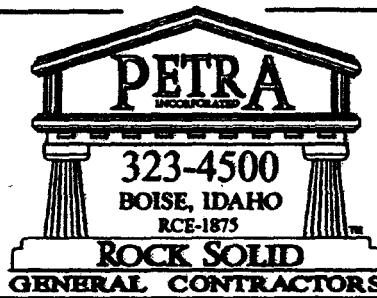
Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007 00376 Contract for Elite Custom Wall Cover Ken Stock Petra Incorporated Was Bett

Signature Products

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/15/2007	00377	Contract for	Custom Glass	David Carlson	Petra Incorporated	Wes Bettis

Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00378	Contract for	Architectural Building	Stewart Jensen	Petra Incorporated	Wes Bettis
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Signature Supply

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00379	Contract for	Crawford Door Sales of	Michael J	Petra Incorporated	Wes Bettis
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Signature Idaho Beltrami

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

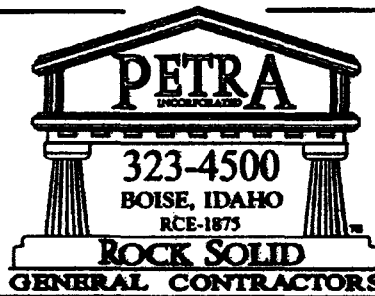
Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00380	Contract for	Schiraglio Company	Jim Gibson	Petra Incorporated	Wes Bettis
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Signature Inc

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 140 of 271

Date **Number** **Re:** **To** **Attention** **From** **Signed**

8/15/2007 00381 Contract to American Wallcover Randy Pierce Petra Incorporated Web Batts
Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007 00382 Contract to Design Floors Dan Brown Petra Incorporated Web Batts
Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007 00383 Contract to Commercial Painting Keith Martin Petra Incorporated Web Batts
Signature Contractors, Inc

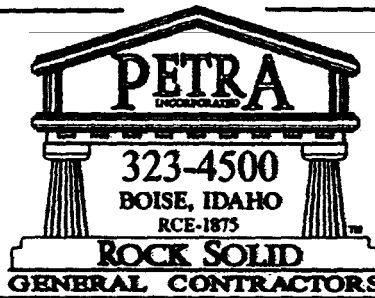
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007 00384 Contract to SB Contracting Bob Campbell Petra Incorporated Web Batts
Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall
Project No: 06-0675

Date: 9/10/2009
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Date	Number	Re:	To	Attention	From	Signed
8/15/2007	00385	Contract for	Pac West Interior	Steve Packard	Petra Incorporated	Wes Bellis

Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00386	Contract for	Integrated Interiors	Jason Lippert	Petra Incorporated	Wes Bellis
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Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00387	Contract for	Masonry Center, Inc.	Jim Hendrix	Petra Incorporated	Wes Bellis
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Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMA - 1992 Modified for review.	

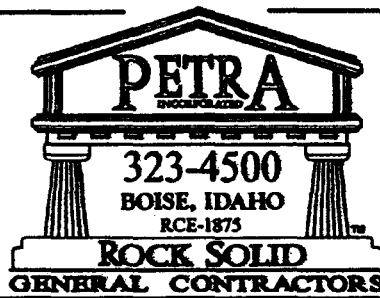
Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00388	Contract for	Busc Mechanical	John Busc	Petra Incorporated	Wes Bellis
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Signature

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007			Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007			Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/15/2007	00389	Contract for	Hobson Fabricating Corp	Keith Wirth	Petra Incorporated	Wes Bette

Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/15/2007	00390	Contract for	In State Electric	Steve Hamilton	Petra Incorporated	Wes Bette
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Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/15/2007				Sets of Original AIA A101/CMA-1992-Modified, for review and signature.	NEW
2	2	8/15/2007				Sets of Original AIA A 201/CMA - 1992 Modified for review.	

Remarks: Please note that both full sets of contracts must be signed and returned to Petra for final processing and approval by the City of Meridian before any work on site may begin. A fully executed original will be returned for your records, once the City Council has ratified the contract.

8/16/2007	00562	Submittals	In State Electric	Jay Gooden	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	8/16/2007	SUB	16-000-01	001	Title: MSB Submittals Desc: MSB Submittals	APP

Remarks:

8/17/2007	00391	COR 22	City of Meridian	Keith Wirth	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/17/2007				Change Order Request No. 2	

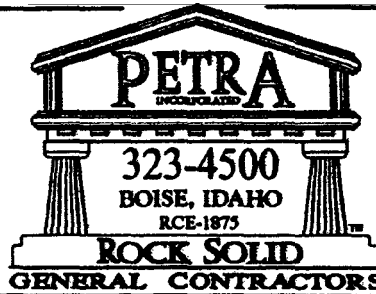
Remarks:

8/21/2007	00392	Integrated	City of Meridian	Keith Wirth	Petra Incorporated	Wes Bette
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Interiors

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/21/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992.	OPN

Remarks: Keith:
Attached are the contracts for the Acoustical Ceiling scope of work from Phase III for City Council ratification and final execution. Please return one full executed set to my attention for final copies and distribution.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/21/2007	00393	H65	City of Meridian	Keith Watts	Petra Incorporated	Wes Betts

Fabricating Corp

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/17/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992	OPN

Remarks: Keith:
Attached are the contracts for the HVAC scope of work from Phase III for City Council ratification and final execution. Please return one full executed set to my attention for final copies and distribution.

8/21/2007	00394	Steel	City of Meridian	Keith Watts	Petra Incorporated	Wes Betts
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Encounters, Inc.

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/13/2007				Notice of the right to claim a lien.	NA

Remarks: Keith:
Enclosed is a Notice of the Right to Claim a Lien from Steel Encounters, Inc., a Vendor to Rule Steel Tanks and Fabrication for the City Hall project. This is not a lien, but merely a legal formality required in many states, but not Idaho, to establish the right of a supplying party to their legal lien rights as allowed by law. This is for you files. wwb

8/21/2007	00395	Foil Faced	LCA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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Fiberboard

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	8/21/2007	SUB	07-210-02	001	Title: Foil Faced Fiberboard Insulation Desc: Foil Faced Fiberboard Insulation	NEW

Remarks:

8/22/2007	00396	Simplex-Ginnell	City of Meridian	Keith Watts	Petra Incorporated	Wes Betts
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/17/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992	OPN

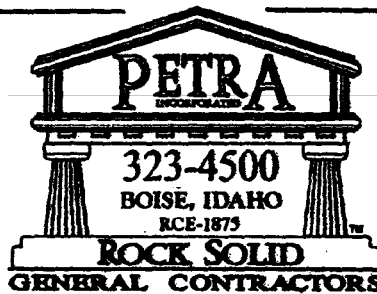
Remarks: Keith:
Attached are the contracts for the Fire Suppression System scope of work from Phase III for City Council ratification and final execution. Please return one full executed set to my attention for final copies and distribution. IN PARTICULAR, PLEASE NOTE THE REQUESTED AMENDMENTS TO THE CONTRACT LANGUAGE PER THE COVER SHEET ON EACH CONTRACT PACKAGE.

8/22/2007	00397	Electric	City of Meridian	Keith Watts	Petra Incorporated	Wes Betts
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Electric, Inc.

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/22/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992	

Remarks: Keith:
Attached are the contracts for the Fire Suppression System scope of work from Phase III for City Council ratification and final execution. Please return one fully executed set to my attention for final copies and distribution.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/22/2007	00398	Notice of Lien	City of Meridian	Keith Watts	Petra Incorporated	Wes Bennis

Rights

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/22/2007				Notice of Right to Lien for Furnishing Labor, Materials or Equipment -- ABC Steel Deck	

Remarks: Keith:

A copy of Lien Right Notice from ABC Steel Deck, a supplier to Steel Encounters, Inc., who is a supplier to Rule Steel Tanks, Inc. This notice is merely the legal step of pre-notification to preserve lien rights, as required in many states, but not in Idaho. wwb

Date	Number	Re:	To	Attention	From	Signed
8/23/2007	00399	Doors and Hardware Specs	ECA Architects, PA	Brent Pitts	Petra Incorporated	Adam Johnson

Hardware Specs

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	8/23/2007				Door and Hardware submittals for re-review.	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
8/23/2007	00400	PCO 1	City of Meridian	Keith Watts	Petra Incorporated	Wes Bennis

Sidewalks LLC

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/23/2007				PCO 1 to Sidewalks LLC for AST's 5 & 10.	NEW
2	1	8/23/2007				PCO 1 to TMC Masonry for ASI 10	NEW

Remarks: Keith:

Here are the last two PCO's for the elevation change to raise the building 4-0 to get out of the ground water. A hand written recap below show the net impact to direct job costs for this change.

Date	Number	Re:	To	Attention	From	Signed
8/24/2007	00401	Bond	City of Meridian	Keith Watts	Petra Incorporated	Wes Bennis

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/24/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992 for Commercial Painting, Inc.	OPN
2	2	8/24/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992 for SBI Contracting, Inc.	OPN
3	1	9/1/2007				AIA A312 Payment Bond ~ Hobson Fabricating Corp	OPN
4	1	9/1/2007				AIA A312 Performance Bond ~ hobson Fabricating Corp.	OPN

Remarks:

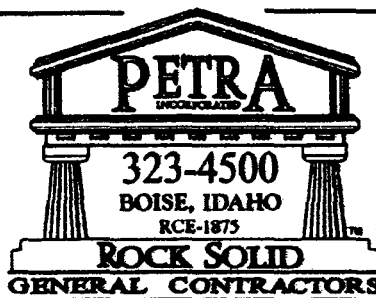
Date	Number	Re:	To	Attention	From	Signed
8/28/2007	00402	Seamache	City of Meridian	Keith Watts	Petra Incorporated	Wes Bennis

Company Inc

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/24/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992.	OPN

Remarks: Keith:

The hand noted revision is acceptable to Petra Incorporated, they will only be responsible for the normal floor prep associated with the scope of work, no additional grinding or sawcutting. This is new construction, not re-model.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
8/28/2007	00403	Per West	City of Meridian	Keith Watts	Petra Incorporated	West Bettis

Interiors

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/28/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992.	OPN

Remarks:

8/29/2007	00404	Design & Rework	City of Meridian	Keith Watts	Petra Incorporated	West Bettis
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/28/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992.	OPN

Remarks:

8/30/2007	00405	Steel Revisions	LCA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/30/2007		05500		Camber Beam Documentation.	
1	2	8/30/2007	SUB	05-500-07	001	Title: Revised 1st,2nd,3rd,4th, Framing Desc: Revised 1st,2nd,3rd,4th, Framing	NEW

Remarks:

8/31/2007	00406	Boiler	City of Meridian	Keith Watts	Petra Incorporated	West Bettis
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Mechanical Services

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	8/30/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992.	OPN

Remarks:

8/31/2007	00407	Sidewalks	City of Meridian	Keith Watts	Petra Incorporated	West Bettis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/31/2007				Sidewalks, LLC - Change Order No. 1 ~ Meridian City Hall	OPN

Remarks: Keith:

Attached is Sidewalks, LLC's Change Order No. 1 signed by Sidewalks, LLC and by Petra Incorporated for your submittal to Council for final execution.

9/1/2007	00408	Tri State Electric	City of Meridian	Keith Watts	Petra Incorporated	West Bettis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/23/2007				Set of Payment and Performance Bonds, AIA Document A312, Bond No. 58647795 from Tri State Electric.	OPN

Remarks:



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/4/2007	00409	Executed	SBI Contracting	Bob Galge	Petra Incorporated	Wes Betts

Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/28/2007				Set of original AIA A101/CMA and A201/CMA fully executed contract documents for your records.	

Remarks:

9/4/2007	00410	Executed	Fluor Daniel Interiors	Jason Lippe	Petra Incorporated	Wes Betts
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/28/2007				Set of original AIA A101/CMA and A201/CMA fully executed contract documents for your records.	OPN

Remarks:

9/4/2007	00411	Executed	Hobson Fabricating Corp.	Randy Erbsbeck	Petra Incorporated	Wes Betts
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/28/2007				Set of original AIA A101/CMA and A201/CMA fully executed contract documents for your records.	OPN

Remarks:

9/4/2007	00412	Executed	Tri-Solid Electric	Jay Good	Petra Incorporated	Wes Betts
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/28/2007				Set of original AIA A101/CMA and A201/CMA fully executed contract documents for your records.	OPN

Remarks:

9/4/2007	00413	Executed	Pro-View Interiors	Steve Pagan	Petra Incorporated	Wes Betts
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/28/2007				Set of original AIA A101/CMA and A201/CMA fully executed contract documents for your records.	OPN

Remarks:

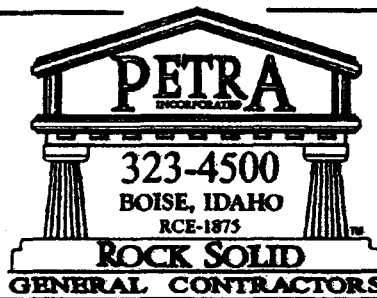
9/4/2007	00415	Submittal	Shops Christensen	Steve	Petra Incorporated	Adam Christensen
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Shops

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	9/4/2007	SUB	05-500-08	001	Title: Sunscreens and Chiller Frame Shops Desc: Sunscreens and Chiller Frame Shops	NEW

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/4/2007	00418	Glazing Shop	LCA Architects, PA	Steve	Petra Incorporated	Adam Johnson

Drawings

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	8	9/4/2007	SUB	08-800-02	001	Title: Glazing Shop Drawings Desc: Glazing Shop Drawings	NEW

Remarks:

9/5/2007	00414	Commercial Painting, Inc	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/21/2007				Set of Payment and Performance Bonds, AIA Document A312, Bond No. 739489P for Commercial Painting Contractors, Inc.	OPN

Remarks:

9/5/2007	00416	August Draw Application	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/5/2007				Meridian City Hall Application for Payment for August 2006.	OPN

Remarks:

9/5/2007	00417	Executed Contract	Schumacher & Company, Inc	Jo Gibson	Petra Incorporated	Wes Bellis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/24/2007				Set of original AIA A101/CMA and A201/CMA fully executed contract documents for your records.	OPN

Remarks:

9/6/2007	00419	American Wallcover, Inc	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/6/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992. For Bid Package 8-Drywall, Fireproofing, Acoustical Ceiling Tile Systems.	OPN
2	1	9/6/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992. For Bid Package 2 - Carpentry	

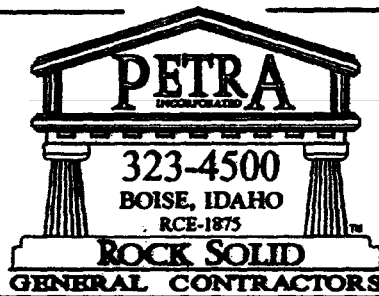
Remarks:

9/8/2007	00420	Contractual Obligations	City of Meridian	Keith Watts	Petra Incorporated	Wes Bellis
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/4/2007				TMC Change Order No. 1, Signed by Contractor and CM.	OPN
2	1	9/6/2007				August Application for Payment Revised.	OPN

Remarks: Keith:

Please note that the revised billing includes copies of all of the Subs billings. Don not toss the previous version as it includes all of the Contractors original notarized invoices for your use in processing.



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Project Name: Meridian City Hall
Project No: 06-0675

Date: 9/10/2009
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Date	Number	Re:	To	Attention	From	Signed
9/6/2007	00421	Hardener and Sealer	FCA Architects, PA	Steve Christensen	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	7	9/6/2007	SUB	03300-06	001	Title: Silicate Hardener and Sealer Desc: Silicate Hardener and Sealer	NEW

Remarks:

Date	Number	Re:	To	Attention	From	Signed
9/6/2007	00422	Finish Hardware	Architectural Building	Stewart Jensen	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	4	9/6/2007	SUB	08-711-01	001	Title: Finish Hardware Schedule Desc: Finish Hardware Schedule	MCN

Remarks: Please Note the attached ASI concerning the door hardware modifications.

Date	Number	Re:	To	Attention	From	Signed
9/6/2007	00423	Wood Doors	Architectural Building	Stewart Jensen	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	4	9/6/2007	SUB	08-211-01	001	Title: Wood Doors Desc: Wood Doors	AAN

Remarks:

Date	Number	Re:	To	Attention	From	Signed
9/6/2007	00424	Door Cut Sheets	Architectural Building	Stewart Jensen	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/6/2007	SUB	08-211-02	001	Title: Wood Door Cut Sheets Desc: Wood Door Cut Sheets	MCNR

Remarks: Wood Doors to be white birch/stain to match 'Formica' #7008-43 Acejou Mahogany. (Sample Attached)

Date	Number	Re:	To	Attention	From	Signed
9/7/2007	00425	Masonry Center	City of Meridian	Keith Watts	Petra Incorporated	Wes Betts

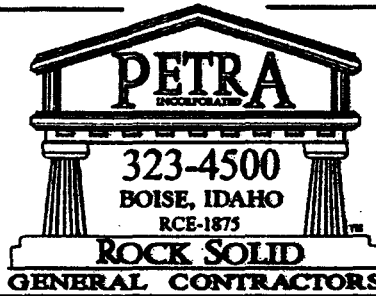
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	9/7/2007				Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992. For Bid Package 15 Operable Partitions.	OPN

Remarks:

Date	Number	Re:	To	Attention	From	Signed
9/7/2007	00426	Drain Rock	City of Meridian	Chris Aspostolou	Petra Incorporated	Adam Johnson

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	9/7/2007	SUB	02-222-01	001	Title: Drain Rock Desc: Drain Rock	APP
2	2	9/7/2007	SUB	02-222-02	001	Title: 1500 Gal Sand and Grease Interceptor Desc: 1500 Gal Sand and Grease Interceptor	APP
3	2	9/7/2007	SUB	02-222-03	001	Title: Manhole Ring Desc: Manhole Ring	APP
4	2	9/7/2007	SUB	02-222-04	001	Title: Tapping Valves, 6" Desc: Tapping Valves, 6"	APP

Remarks:



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Project Name: Meridian City Hall

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Date	Number	Re:	To	Attention	From	Signed
9/7/2007	0042	Wall Covering	Commercial Painting	Keith Martin	Petra Incorporated	Adam Johnson

Submittal Contractors, Inc

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/7/2007	SUB	09-720-01	002	Title: Textile Wallcovering Desc: Textile Wallcovering Manaram Product Sample	NEW
2	1	9/7/2007	SUB	09-720-01	004	Title: Textile Wallcovering Desc: Textile Wallcovering DeNovo Product Sample	NEW
3	3	9/7/2007	SUB	09-720-01	001	Title: Textile Wallcovering Desc: Textile Wallcovering Manaram Specificatons	NEW
4	3	9/7/2007	SUB	09-720-01	003	Title: Textile Wallcovering Desc: Textile Wallcovering DeNovo Specifications	NEW

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

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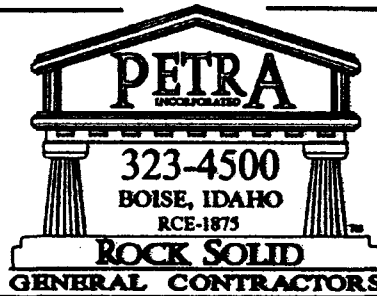
Date	Number	Re:	To	Attention	From	Signed
9/7/2007	00428	Plumbing	LCA Architects, PA	Steve	Petra Incorporated	Adam Johnson

Submittals

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
01	6	9/7/2007	SUB	15-400-02	001	Title: P-1 Water Closet Desc: P-1 Water Closet	NEW
02	6	9/7/2007	SUB	15-400-03	001	Title: P-2 Water Closet ADA Desc: P-2 Water Closet ADA	NEW
03	6	9/7/2007	SUB	15-400-04	001	Title: P-3 Urinal Desc: P-3 Urinal	NEW
04	6	9/7/2007	SUB	15-400-05	001	Title: P-4 Lavatory (ADA) (1) Desc: P-4 Lavatory (ADA) (1)	NEW
05	6	9/7/2007	SUB	15-400-06	001	Title: P-5 Lavatory (ADA) (2) Desc: P-5 Lavatory (ADA) (2)	NEW
06	6	9/7/2007	SUB	15-400-07	001	Title: P-6 Floor Drain Desc: P-6 Floor Drain	NEW
07	6	9/7/2007	SUB	15-400-08	001	Title: P-7 Shower Stall Desc: P-7 Shower Stall	NEW
08	6	9/7/2007	SUB	15-400-09	001	Title: P-8 Shower Stall Desc: P-8 Shower Stall	NEW
09	6	9/7/2007	SUB	15-400-10	001	Title: P-9 Janitor Sink Desc: P-9 Janitor Sink	NEW
10	6	9/7/2007	SUB	15-400-11	001	Title: P-10 Floor Sink Desc: P-10 Floor Sink	NEW
11	6	9/7/2007	SUB	15-400-12	001	Title: P-11 Sink Desc: P-11 Sink	NEW
12	6	9/7/2007	SUB	15-400-13	001	Title: P-12 Floor Sink (2) Desc: P-12 Floor Sink (2)	NEW
13	6	9/7/2007	SUB	15-400-14	001	Title: P-15 Water Heater Desc: P-15 Water Heater	NEW
14	6	9/7/2007	SUB	15-400-15	001	Title: P-16 Thermostatic Mixing Valve Desc: P-16 Thermostatic Mixing Valve	NEW
15	6	9/7/2007	SUB	15-400-18	001	Title: P-19 Eyewash Desc: P-19 Eyewash	NEW
16	6	9/7/2007	SUB	15-400-21	001	Title: RD - Roof Drain Desc: RD - Roof Drain	NEW
17	6	9/7/2007	SUB	15-400-16	001	Title: P-17 Water Heater (2) Desc: P-17 Water Heater (2)	NEW
18	6	9/7/2007	SUB	15-400-17	001	Title: P-18 Water Cooler Desc: P-18 Water Cooler	NEW
19	6	9/7/2007	SUB	15-400-19	001	Title: P-20 Breakroom Sink Desc: P-20 Breakroom Sink	NEW
20	6	9/7/2007	SUB	15-400-20	001	Title: DC - Downspout Covers Desc: DC - Downspout Covers	NEW
21	6	9/7/2007	SUB	15-400-22	001	Title: OFD - Overflow Drain Desc: OFD - Overflow Drain	NEW

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/7/2007	00429	Custom Glass Inc.	City of Meridian	Keith Watts	Petra Incorporated	Wes Bethis

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	9/7/2007			Sets of AIA Documents A101/CMA - 1992 and A201/CMA - 1992. For Bid Package 4 Interior Storefront and Glazing	OPN

Remarks:

9/7/2007	00467	Submittals	LCA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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Christensen

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	9/7/2007	SUB 15-082-01	003	Title: Pipe Insulation Desc: Insulation Aluminum Jacket	NEW
	0	9/7/2007	SUB 15-185-10	001	Title: Pressure Gauges Desc: Pressure Gauges	APP
	0	9/7/2007	SUB 15-082-01	002	Title: Pipe Insulation Desc: Insulation Mastic	NEW

Remarks:

9/10/2007	00430	HVAC Submittals	LCA Architects, PA	Steve	Petra Incorporated	Adam Johnson
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Set #1

Christensen

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
01	8	9/10/2007	SUB 15-075-01	001	Title: Mechanical Identification Desc: Mechanical Identification	NEW
02	8	9/10/2007	SUB 15-838-01	001	Title: Power Ventilator Desc: Power Ventilator	NEW
03	8	9/10/2007	SUB 15-855-01	001	Title: Diffusers, Registers, Grilles Desc: Diffusers, Registers, Grilles	NEW
04	8	9/10/2007	SUB 15-950-01	001	Title: Test and Balance Qualification Desc: Test and Balance Qualification	NEW
05	8	9/10/2007	SUB 15083-01	001	Title: Mechanical Insulation Desc: Mechanical Insulation	NEW
06	8	9/10/2007	SUB 15725-01	001	Title: Modular Indoor Central Air Unit Desc: Modular Indoor Central Station Air Handling Unit	NEW
07	8	9/10/2007	SUB 15734-01	001	Title: Computer Room Air Conditioning Unit Desc: Computer Room Air Conditioning Unit	NEW
08	8	9/10/2007	SUB 15738-01	001	Title: Split System Air Conditioning Units Desc: Split System Air Conditioning Units	NEW
09	8	9/10/2007	SUB 15762-01	001	Title: Unit Heaters Desc: Unit Heaters	NEW
10	8	9/10/2007	SUB 15765-01	001	Title: Access Floor Terminal Units Desc: Access Floor Terminal Units	NEW
11	8	9/10/2007	SUB 15815-01	001	Title: Metal Duct Desc: Metal Duct	NEW
12	8	9/10/2007	SUB 15820-01	001	Title: Duct Accessories Desc: Duct Accessories	NEW

Remarks:



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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/10/2007	0043	HVAC	LCA Architects, PA	Sleve	Petra Incorporated	Adam Johnson

Submittals #2 **Christensen**

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
01	8	9/10/2007	SUB	15900-01	001	Title: Controler and Panel Device Data Desc: Controler and Panel Device Data	NEW
02	8	9/10/2007	SUB	15900-02	001	Title: Field Device Data Desc: Field Device Data	NEW
03	8	9/10/2007	SUB	15900-03	001	Title: Control Valve Schedule Data Desc: Control Valve Schedule Data	NEW

Remarks:

9/10/2007	0043	Submittals	Hobson Fabricating Corp	None	Petra Incorporated	Adam Johnson
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
	0	9/10/2007	SUB	15-725-02	001	Title: Modular Indoor Cetral Air Unit Desc: Modular Indoor Cetral Station Air Handling Unit	NEW

Remarks:

9/11/2007	0043	Construction	Simplex-Grinnell, Inc	Fred	Petra Incorporated	Adam Johnson
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Set **Bettencourt**

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/11/2007				MCH Plan Sets, Specifications and Addenda.	

Remarks:

9/12/2007	0043	Simplex-Grinnell City of Meridian	Ken Walls		Petra Incorporated	Wes Bell
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Bonds

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/5/2007				Original Letter from Simplex-Grinnell withdrawing their ammendment and accepting the contract as originally published.	OPN
2	1	9/7/2007				Set of Payment and Performance Bonds, AIA Document A312, Bond No. 739553P for Buss Mechanical Services, Inc.	OPN

Remarks:

9/12/2007	0043	Hobson Fabricating Corp	Ken Walls		Petra Incorporated	Wes Bell
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Sets

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	5/29/2007				Full set of contract drawings and revisions for the Phase III-TI MEP Scope of work.	CLO

Remarks:

	Current Budget	\$/SF	Revised Budget	Delete Unfinished Area
Access Floor	\$739,518	\$ 10	\$739,518	\$138,447
Alt Access Floor Savings	\$ 739,518	\$ 5	\$ 377,165	\$70,610
Potential Plumbing Savings			\$ 362,353	

Design Clarification & Other Savings

Net Savings

Estimated Mechanical Savings Wet & Dry	\$ 400,000
Estimated Electrical Savings to Base Contract	\$ 50,000
Alternate Access Floor Supplier	\$ 362,353
Subtotal Estimated Savings	\$ 812,353

Other Savings Options

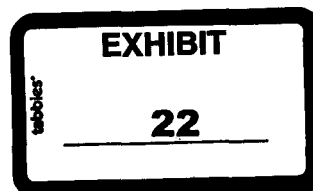
Unassigned Areas ~14,122 SF

Delete Finishes in Unassigned Areas @ \$10/SF	\$ 141,220
Delete Access Floor in Unassigned Areas @\$ 5/SF	\$ 70,610
Delete Electrical Distribution in Unassigned Areas	\$ 43,000
Subtotal	\$ 254,830

Delete Basement

Delete South Wing 4206 SF per Level

Concrete	\$ 67,992
Steel	\$ 113,571
Curtain Wall Framing	\$ 19,000
Masonry (Less Add for Main wing)	\$ 85,563
Glazing & Storefront	\$ 29,148
Access Floor	\$ 42,060
Finishes @ \$10/SF	\$ 84,120
Mechanical	\$ 239,742
Electrical	\$ 189,438
Subtotal Estimated Savings	\$ 870,634





Meridian City Hall

3rd Floor Bathroom-Savings Estimate

Item	
Fixtures-(6) Qty @ \$800.00 ea.	4,800.00
Door - 1 ea	500.00
Deleted Wall framing and sheetrock	300.00
Deleted Bathroom hardware and accessories	300.00
Deleted Bathroom Savings	<u>5,900.00</u>



Meridian City Hall



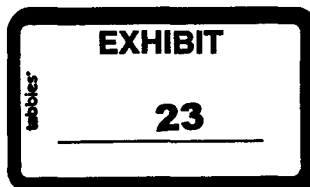
08/13/07

\$	Description
\$ 8,000	Change Lighting Controls--Could have LEED point impact.
\$ 7,000	Alternate Light Fixtures & wiring/outlets/fixtures in unassigned areas
\$ 6,000	Delete Heat Tape in Roof Drain Leaders.
\$ 14,000	Eliminate Extended HVAC Distribution in unassigned areas.--10 Units
\$ 4,000	Alternate Fixtures
	Alternate Pipe (groove-lock if approved by Mike Wisdom) Labor Savings
\$ 6,818	Delete unnecessary wall construction and finish in unassigned areas.
\$ 7,000	2x4 vs. 2x2 Ceiling Tile (LEED 2x2 @ .48/SF 60K SF+/-) v. 2x4 Tegular (T's & Labor Savings)
\$ 25,746	Delete Ceiling Grid and Tile in Unassigned Areas
\$ 2,500	Delete Fry Reglet
\$ 3,751	Alternate wood door core vs.. Specified LEED point product of Stave Lumber core doors.
\$ 20,000	Delete amount of interior windows/storefront, replace with solid walls.
\$ 230,000	Reduce Casework by 50%
\$ 20,840	Delete Operable Partition
\$ 6,000	Delete Wire Partitions in Basement
\$ 36,780	Delete Access Floor in Unassigned Areas (Labor only is \$8,873.00)
\$ 16,464	Change Access Floor Spec from 1,250 LB tiles to 1,000 LB tiles and still meet specification requirements.
\$ 5,520	Delete wall paint in Support & Storage Rooms 1-8, 12, 17, 106-109, 200-203, 300-303
\$ 1,240	Delete wall paint in Unassigned Areas
\$ 2,500	Alternate for stainless steel, radius glass guardrail and other railings.
\$ 10,000	Alternate Carpet product in similar color scheme (Est by Des Floors, not yet confirmed)
\$ 3,750	Alternate Ceramic Tile Material (Price coming from Schumacher)
\$ 750	Substitute Thin set for Mud set on Lobby Ceramic Tile
\$ 750	Change Window Blind Spec.
\$ 6,000	Telecommunications Bid to Budget Savings
\$ 56,500	Reduce the number of Telecomm drops from 1,500 to 1000 (TTE/Precom)
\$ 9,744	Audio-Visual Bid to Budget Savings
\$ 105,000	Reduce Petra LEED involvement from applying for Silver vs. Apply for LEED Certified.
\$ 3,400	Delete Lockers in Basement
\$ 15,000	Delete Fixtures and Finishes in Basement Restroom and Locker Room Core
\$ 634,302	Total Building Savings
\$ 473,658	Delete Contaminated Soils and Associated CM Fee from Construction Cost, Add to Land Cost.
\$ 1,107,960	Total Project Savings

RFP 20, Item # 1

H:\Construction\Projects\2006\Tom\Meridian City Hall\Bidding\Correspondence\Phase III - Value Engineering 08-13-07

Petra93129





Meridian City Hall



VARIABLES ENGINEERING OPTIONS

08/31/07		
\$	Description	
8,000	Change Lighting Controls--Could have LEED point impact.	
7,000	Delete Light Fixtures & wiring/outlets/fixtures in unassigned areas, except for Emergency Lighting.	
6,000	Delete Heat Tape in Roof Drain Leaders.	
\$ 10,000	Eliminate Extended HVAC Distribution in unassigned areas.--10 Units/Add back simple heaters to keep space at 50 deg (BUDGET)	
844	Standard Flushometer vs. specified	
1,233	Standard 1 Gal/flush urinals vs.. .8 Gal/flush. (LEED ?)	
3,330	Alternate manufacturer for fiberglass showers	
1,490	Fiberglass janitor's sinks in lieu of terrazzo sinks specified.	
4,000	Alternate Pipe (groove-lock if approved by Mike Wisdom) Labor Savings	
\$ 14,169	Delete unnecessary wall construction and finish in unassigned areas.	
5,800	2x4 vs. 2x2 : Ceiling Tile meeting LEED Specification in 2x4 Tegular--Second Look (T's & Labor Savings)	
9,695	Delete Ceiling Grid and Tile in Unassigned Areas	
2,500	Delete Fry Reglet	
3,751	Alternate wood door core vs.. Specified LEED point product of Stave Lumber core doors.	
20,000	Delete amount of interior windows/storefront, replace with solid walls. Could impact LEED points for natural light.	
3,622	Delete auto door hardware from door 100 A & 100 C at main entry.	
\$ 12,692	Reduce Casework	
45,470	Use P-Lam countertops vs.. Specified solid surface countertops.	
-	Possible Cabinet Hardware Options	
20,840	Delete Operable Partition	
23,550	Delete Wire Partitions in Basement	
8,873	Delete Installation of Access Floor in Unassigned Areas (Material & Labor is \$36,780)	
16,464	Change Access Floor Spec from 1,250 LB tiles to 1,000 LB tiles and still meet specification requirements.	
5,520	Delete wall paint in Support & Storage Rooms 1-6, 12, 17, 106-109, 200-203, 300-303	
2,665	Delete wall paint in Unassigned Areas	
2,500	Alternate for stainless steel, radius glass guardrail and other railings.	
9,087	Alternate Carpet Tile Material	
-	Alternate Ceramic Tile Material (Price to be confirmed from Schumacher)-Unique Tile, no match found, yet.	
8,992	Substitute Thin set for Mud set on Lobby Ceramic Tile	
760	Change Window Blind Spec.	
\$ 6,000	Telecommunications Bid to Budget Savings	
56,560	Reduce the number of Telecomm drops from 1,500 to 1000 (TTE/Precom) *HOLD*	
9,744	Audio-Visual Bid to Budget Savings	
105,000	Reduce Petra LEED involvement from applying for Silver vs. Apply for LEED Certified.	
49,000	Alternate water source for Irrigation and water features.	
60,000	Trash Management and HVAC Modeling for LEED.	
14,450	Delete Lockers in Basement	
1,700	Delete Lockerroom Bath Accessories	
15,000	Delete Plumbing Fixtures in Basement Restroom and Locker Room Core	
5,900	Delete Shower/Restrooms 3rd Floor Fire Dept, Convert to one room, unfinished.(BUDGET)	
\$ 177,468	Total Possible Building Savings	
595,237	Delete Contaminated & Unsuitable Soils and Associated CM Fee from Construction Cost, Add to Land Cost. Does not include Fill.	
\$ 772,705	Total Possible Project Savings	

RFP 20, Item 2
002926

FP 1 - ITGM #42

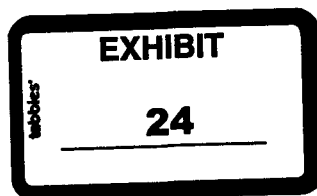
MERIDIAN CITY HALL

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CHANGE ORDER REPORT

Petra

		REASON	OWNER	CONST	DESIGN
PETRA					
Construction Mgr					
Original Contract Amount	\$ 853,812.00				
Change Order					
CO#01 Cont Soils CM Fee	\$ 52,502.00	Scope Add - Unf Cond		\$ 52,502.00	
CO#					
Subtotal CO's Submitted	\$ 52,502.00				
Current Contract Amount	\$ 906,314.00				
Change Orders Pending					
CM FEE on Scope Increase	\$ 512,427.00	Scope Addition			
Subtotal Pending Amt	\$ 512,427.00				
Projected Contract Amount	\$ 1,418,741.00				
Phase 1 - Building Demolition & Abatement					
Ideal Demolition Services - 02					
Excavation					
Original Contract Amount	\$ 390,800.00				
Change Orders					
CO#01 Abatement	\$ 35,556.30	Abatement		\$ 35,556.30	
CO#02 Contaminated Soils I	\$ 83,000.00	Unsuit & Contam		\$ 83,000.00	
CO#03 Contaminated Soils II	\$ 90,000.22	Soils CO's 2-6		\$ 90,000.22	
CO#04 Contaminated Soils III	\$ 249,000.00	\$493,590.72		\$ 249,000.00	
CO#05 Contaminated Soils IV	\$ 82,584.00			\$ 82,584.00	
CO#06 Well Head Damage Remb	\$ (10,893.50)			\$ (10,893.50)	
Subtotal CO's Submitted	\$ 529,147.02				
Current Contract Amount	\$ 919,947.02				
Change Orders Pending					
ASI & RFI	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 919,947.02				
Phase 2 - Cold Core & Shell					
Architectural Building Supply - 07					
Mtl Drs & Frames					
Original Contract Amount	\$ 7,820.00				
Change Order					
CO #01- ASI 64 Eliminate Floor Closers	\$ (897.00)	Design Issue		\$ (897.00)	
CO#02 Plaza Drs.Hrdw.RRSspec & FigP	\$ 36,220.00	Scope Addition	\$ 36,220.00		
CO#03 Plaza Medallion	\$ 10,088.00	Owner Request	\$ 10,088.00		



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CHANGE ORDER REPORT

Petra

		REASON	OWNER	CONST	DESIGN
CO#04 ASI 181 Skate Stoppers	\$ 2,340.00	Owner Request	\$ 2,340.00		
Subtotal CO's Submitted	\$ 47,751.00				
Current Contract Amount	\$ 55,571.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 55,571.00				
American Walkcover - 08	Ext Frame & Sheathing				
Original Contract Amount	\$ 363,287.00				
Change Order	\$ -				
Subtotal CO's Submitted	\$ -				
Current Contract Amount	\$ 363,287.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 363,287.00				
Custom Glass - 09	Entrances & Storefronts				
Original Contract Amount	\$ 295,321.00				
Change Order					
CO#01 ASI-64 & RFI-96	\$ 2,137.00				
ASI 64 Delete Closers, Install Auto Opr	\$ 960.00	Design Issue			\$ 960.00
RFI 96 Drip Flashing @ Windows	\$ 1,177.00	Design Issue			\$ 1,177.00
CO#02 CW Dim Revision	\$ 1,704.00	Design Issue - Tolerances			\$ 1,704.00
Subtotal CO's Submitted	\$ 3,841.00				
Current Contract Amount	\$ 299,162.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 299,162.00				
MJ's Backhoe - 03	Earthwork				
Original Contract Amount	\$ 610,314.00				
Change Order					
CO#01 ASI-10,15 Unsuit Soils & Repl	\$ 162,781.80				
CO#1 Split					
Unsult Soils - \$ 379,526		Unforeseen Conditions		\$ 379,526.00	
Bldg ASI-10 & 15 -(\$216,744.20)		Constr Issue		\$ (216,744.20)	
CO#02 - FWA OverEx South Prkng	\$ 44,753.00				
Overexcavate Unsuitable Matl	\$ 39,780.00	Unforeseen Conditions		\$ 39,780.00	
Transformer Pads	\$ 4,973.00	Construction Issue		\$ 4,973.00	
CO#03 ASI-35, Irr Box & Unsult Matl	\$ 35,204.00				
ASI-35 Loading Dock	\$ 4,231.00	Scope Addition	\$ 4,231.00		
Add Irrigation Box	\$ 2,796.00	Scope Addition	\$ 2,796.00		
South Parking Lot Unsuitable Matl	\$ 28,177.00	Unforeseen Conditions		\$ 28,177.00	

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		REASON	OWNER	CONST	DESIGN	Petra
Subtotal CO's Submitted	\$ 242,738.80					
Current Contract Amount	\$ 853,052.80					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 853,052.80					
Rule Steel - 06	Structural Steel					
Original Contract Amount	\$ 1,847,000.00					
Change Order						
CO#01 Str Steel Rev - ASI 7,8,18,18 & 23	\$ 35,766.00	Design Issues			\$ 35,766.00	
CO#02 - Design Revisions	\$ 43,719.00					
ASI 13 Elevator Rail Supports	\$ 18,883.00	Design Issue			\$ 18,883.00	
ASI 52 Elev PH Beams	\$ 3,284.00	Design Issue			\$ 3,284.00	
ASI 54 Adj Roof Elev & TS Support	\$ 1,351.00	Design Issue			\$ 1,351.00	
RFI 73 Sun Screen Attach Rev	\$ 2,894.00	Design Issue			\$ 2,894.00	
RFI 74 Angel Clips @ Slab Edge	\$ 9,094.00	Design Issue			\$ 9,094.00	
RFI 83 Relief Angle @ Stair Tower	\$ 2,939.00	Design Issue			\$ 2,939.00	
RFI 94 Chiller Support Beams	\$ 5,274.00	Design Issue			\$ 5,274.00	
CO#03 - Time Ext & Liquidated Damages	\$ (15,750.00)					
Time Ext & LD's		Construction Coord		\$ (14,000.00)		
Remedial work on Sunshade frames		Construction Issue		\$ 2,943.00		
Paint B/C		Construction Issue		\$ (4,693.00)		
Subtotal CO's Submitted	\$ 63,735.00					
Current Contract Amount	\$ 1,910,735.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 1,910,735.00					
Schindler Elevator - 11	Elevators					
Original Contract Amount	\$ 222,100.00					
Change Order						
CO#01 ASI 14 PLam Panels for Cabs	\$ 1,600.00	Owner Request	\$ 1,600.00			
CO#02 2nd Traveling Cable for Card Rdr	\$ 2,776.00	Owner Request	\$ 2,776.00			
CO#03 Freight Elev Temp Const Use	\$ 1,950.00	Construction Coord		\$ 1,950.00		
Subtotal CO's Submitted	\$ 6,326.00					
Current Contract Amount	\$ 228,426.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 228,426.00					
SealCo - 12	Joint Sealers					
Original Contract Amount	\$ 67,182.00					
Change Order						

MERIDIAN CITY HALL

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CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
CO#01 Ph III Sealing & Caulking	\$ 22,388.00	Scope Addition	\$ 22,388.00			
CO#02 ASI-35 Loading Dock	\$ 2,750.00	Scope Addition	\$ 2,750.00			
CO#03 ASI 132 Epoxy Fir @ Janitors	\$ 418.00	Field Conditions		\$ 418.00		\$ 418.00
Subtotal CO's Submitted	\$ 25,556.00					
Current Contract Amount	\$ 92,738.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 92,738.00					
Sidewalks LLC - 04	Concrete					
Original Contract Amount	\$ 655,595.35					
Change Order						
CO#01 ASI 5&10	\$ 137,108.00	Scope Addition	\$ 137,108.00			
CO#02 RFI-043	\$ 4,371.00	Design Issue			\$ 4,371.00	
CO#03 Safety, Shoring & Trench Conc	\$ 23,550.00					
Safety	\$ 3,950.00	Construction Issue		\$ 3,950.00		
Structural Shoring	\$ 5,500.00	Design Issue			\$ 5,500.00	
Relocate Old Barrel Trusses	\$ 6,700.00	City Request	\$ 6,700.00			
Safety	\$ 500.00	Construction Issue		\$ 500.00		
Safety - Protect Temp Elec	\$ 8,900.00	Construction Issue		\$ 8,900.00		
CO#04 ASI 35, RFI-83,71 & Job Conds	\$ 64,519.57					
ASI 35 Loading Dock	\$ 52,850.00	Scope Addition	\$ 52,850.00			
RFI 63 Patch utility blockouts	\$ 3,050.00	Construction Issue		\$ 3,050.00		
Job Conds - Site Dewatering	\$ 3,112.57	Construction Issue		\$ 3,112.57		
Job Conds - Bsmt Wall shoring - Deadmen	\$ 850.00	Construction Issue		\$ 850.00		
Job Conds - Remove Bsmt wall shoring	\$ 2,600.00	Construction Issue		\$ 2,600.00		
Job Conds - Protect elec service	\$ 3,375.00	Construction Issue		\$ 3,375.00		
Job Conds - B/C for Mislocated bolts	\$ (1,118.00)	Construction Issue		\$ (1,118.00)		
CO#05 ASI 111 Stairs & Walks @ Em Exits	\$ 3,800.00	Code Issue	\$ 3,800.00			
Subtotal CO's Submitted	\$ 233,348.57					
Current Contract Amount	\$ 888,943.92					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 888,943.92					
TMC - 05	Unit Masonry					
Original Contract Amount	\$ 1,584,760.00					
Change Order						
CO#01 ASI-5&10	\$ (32,348.00)	Scope Addition	\$ (32,348.00)			
CO#02 ASI-23 Epoxy	\$ 324.00	Design Issue			\$ 324.00	
CO#03 ASI 51, 54 & RFI 83	\$ 5,989.71					
ASI 51 Window Header Detail	\$ 5,051.31	Design Issues			\$ 5,051.31	
ASI 54 Adj Roof Elevation & TS Support	\$ 675.05	Design Issues			\$ 675.05	
RFI 83 Relief Angle @ Stairs	\$ 263.35	Design Issues			\$ 263.35	
Subtotal CO's Submitted	\$ (26,034.29)					
Current Contract Amount	\$ 1,558,725.71					

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CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Change Orders Pending						
Subtotal Pending Amt						
Projected Contract Amount						
Western Roofing - 10	Membrane Roofing					
Original Contract Amount	\$ 182,990.00					
Change Order						
CO#01- ASI 85 & 103R	\$ 1,380.00					
ASI 85 Lobby Flr & Roof Power Outlets			\$ 630.00			
ASI 103R Stone Ballast @ Entry Roof			\$ 750.00			
CO#02 ASI-127 Roof Pen - Tele/Data	\$ 385.00					
CO#03 Paint B/C	\$ (35.00)			\$ (35.00)		
Subtotal CO's Submitted	\$ 1,730.00					
Current Contract Amount	\$ 184,720.00					
Change Orders Pending						
Subtotal Pending Amt						
Projected Contract Amount	\$ 184,720.00					
Original Phase 2 Amount	\$ 5,836,369.35					
Approved CO's to Date - Phase 2	\$ 598,992.08					
Current Phase 2 Amt W/ App CO's	\$ 6,435,361.43					
Pending CO's - Phase 2	\$ -					
Projected Phase 2 Amt W/ Pndg CO's	\$ 6,435,361.43					
Phase 3 Tenant Improvements & MEP						
Bus Mechanical - 32	Plumbing					
Original Contract Amount	\$ 953,385.00					
Change Order						
CO#01 RFI-22 Sanitary Sewer RR	\$ 4,922.00	Construction Issue		\$ 4,922.00		
CO#02 ASI 40,41,84,85,71 & RFI 86,	\$ 12,295.00					
ASI 41 Delete Shower Rms 225 & 226	\$ (5,885.00)	City Request	\$ (5,885.00)			
RFI 64 Sink @ 3rd Flr 5-E	\$ 2,386.00	Design Issue			\$ 2,386.00	
RFI 65 2nd Flr Dimensions	\$ 587.00	Design Issue			\$ 587.00	
RFI 71 Gas Meter & Cond Unit Locations	\$ 203.00	Construction Issue		\$ 203.00		
RFI 86 Water Lines to Refrigerators	\$ 2,872.00	Design Issue			\$ 2,872.00	
RFI 40 Re-route roof drains	\$ 2,525.00	Design Issue			\$ 2,525.00	
RFI 41 Waste & vent connections	\$ 2,543.00	Design Issue			\$ 2,543.00	
HW Conv Heaters CV 1-9	\$ 7,064.00	Scope Addition	\$ 7,064.00			
CO#03 PR01, ASI 97, RFI 113,147	\$ 10,068.00					
PR 01 Mayors Suite Revisions	\$ 1,938.00	City Request	\$ 1,938.00			
ASI 97 Relocate Gas Meter per IMG	\$ 997.00	Code Issue		\$ 997.00		
RFI 113 Boiler Flue Configuration	\$ 6,739.00	Design Issue			\$ 6,739.00	
RFI 147 Relocate VAV #215	\$ 394.00	Design Issue			\$ 394.00	
CO#04 ASI 110R,121,126 & IM Boxes	\$ 5,304.00					
ASI 110R Exhaust Fan EF-2	\$ 873.00	Design Issue			\$ 873.00	

MERIDIAN CITY HALL

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CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
ASI 121 Boiler Control Modifications	\$ 2,831.00	Design Issue			\$ 2,831.00	
ASI 128 Dishwasher Relocation	\$ 639.00	Owner Request	\$ 639.00			
Wall Boxes for Refr Ice Maker	\$ 961.00	Design Issue			\$ 961.00	
CO#05	\$ 5,855.00					
ASI 116 Emer Generator Fuel Tank Relo	\$ 920.00	Owner Request	\$ 920.00			
ASI 150 Exterior Hose Bibbs	\$ 4,935.00	Owner Request	\$ 4,935.00			
CO#06	\$ 16,477.00					
ASI-121R	\$ 637.00	Design Issue			\$ 637.00	
ASI-166	\$ 13,725.00	Design Issue			\$ 13,725.00	
ASI-166R	\$ 2,423.00	Design Issue			\$ 2,423.00	
B/C Paint Damages	\$ (308.00)	Construction Issue		\$ (308.00)		
CO#07 Paint Damage B/C	\$ (1,026.00)	Construction Coord		\$ (1,026.00)		
Subtotal CO's Submitted	\$ 53,895.00					
Current Contract Amount	\$ 1,007,280.00					
Change Orders Pending						
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 1,007,280.00					
Custom Glass - 21	Interior Storefront & Glazing					
Original Contract Amount	\$ 68,678.00					
Change Order						
CO#01 ASI 27, 85 RFI 84	\$ 19,784.00					
ASI 27 Int Glass to Firelite	\$ 19,754.00	Design Issue			\$ 19,754.00	
ASI 65 Layout Rm 159&160, Change Frame	\$ 64.00	City Request	\$ 64.00			
RFI 84 Ceiling Hgt Reduction	\$ (34.00)	Design Issue			\$ (34.00)	
CO#02 PR-01, ASI 81, 100, 102 & Wall Caps	\$ 8,287.00					
PR 01 Mayors Suits Revisions	\$ 5,800.00	City Request	\$ 5,800.00			
ASI 81 Second Flr Office Revisions	\$ 219.00	City Request	\$ 219.00			
ASI 100 Door #225 & 226 Windows	\$ 85.00	City Request	\$ 85.00			
ASI 102 Sill Detail @ Drs 307 & 348	\$ 1,667.00	City Request	\$ 1,667.00			
Wall Caps @ Int Walls	\$ 718.00	Construction Issue		\$ 716.00		
Subtotal CO's Submitted	\$ 28,071.00					
Current Contract Amount	\$ 96,749.00					
Change Orders Pending						
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 96,749.00					
Crawford Doors - 23	Overhead & Coiling Doors					
Original Contract Amount	\$ 5,590.00					
Change Order						
CO#	\$ -					
Subtotal CO's Submitted	\$ -					
Current Contract Amount	\$ 5,590.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					

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CHANGE ORDER REPORT

Petra

		REASON	OWNER	CONST	DESIGN
Projected Contract Amount					\$ 5,590.00
American Walkover - 24					
Int Drywall, SPFP & Acc Cig					
Original Contract Amount					\$ 1,038,550.00
Change Order					
CO#01 RFI 43, ASI-328,36	\$ 7,665.30				
RFI 43 Framing @ 2nd Fir Guardrail	\$ 239.70	Design Issue			\$ 239.70
ASI 32 Ac Cig Tile Change	\$ 3,855.60	Design Issue			\$ 3,855.60
ASI 36 Upgrade Elev MR Framing - 2HR	\$ 3,570.00	Code Issue			\$ 3,570.00
CO#02 ASI 41, 51, 60, 68, 69 & RFI 58	\$ 1,986.60				
ASI 41 Delete Shower Rms	\$ (918.00)	City Request	\$ (918.00)		
ASI 51 Window Header Detail	\$ 71.40	Design Issue			\$ 71.40
ASI 60 Bsmt RR Storage Closets	\$ 1,081.20	City Request	\$ 1,081.20		
ASI 68 Window Add Rm 311	\$ 51.00	City Request	\$ 51.00		
ASI 69 Dr/Soffit Rev Rm 234,240	\$ 1,224.00	Design Issue			\$ 1,224.00
RFI 58 Fire Riser Rm 130 Rating	\$ 459.00	Design Issue			\$ 459.00
CO#03 PR 01, ASI 72, 81, RFI 104, 106, 107	\$ 10,866.10				
PR 01 Mayors Suite Revisions	\$ (624.00)	City Request	\$ (624.00)		
ASI 72 PW & IT Wall Revisions	\$ 3,819.90	City Request	\$ 3,819.90		
ASI 81 2nd Fir Office Revisions	\$ 3,814.80	City Request	\$ 3,814.80		
RFI 104 Beam Soffit Framing G-H/6-7	\$ 1,710.54	Design Issue			\$ 1,710.54
RFI 106 Fire Rise Rm 130 Enlargement	\$ 1,632.00	Design Issue			\$ 1,632.00
RFI 107 Bsmt RR EF Relocation	\$ 502.86	Design Issue			\$ 502.86
CO#04 ASI 93, 107, 115, RFI 142, 148, WBx	\$ 4,120.00				
ASI 93 Add Wall @ Rm 257	\$ 421.00	City Request	\$ 421.00		
ASI 107 Wall Revisions Rm 244 & 245	\$ 1,395.00	City Request	\$ 1,395.00		
ASI 115 Wall Finish @ Rm 223	\$ 462.00	City Request	\$ 462.00		
RFI 142 Soffits @ Lobbies 316 & 111	\$ 1,016.00	Construction Issue		\$ 1,016.00	
RFI 148 Floor Closures @ Cols	\$ 107.00	Design Issue			\$ 107.00
Patch Walls @ Refr Water Boxes	\$ 719.00	Design Issue			\$ 719.00
CO#05 ASI 143 Access Dr at Roof Parapet	\$ 528.00	Owner Request	\$ 528.00		
CO#06 Paint Damage B/C	\$ (1,114.00)	Construction Issue		\$ (1,114.00)	
Subtotal CO's Submitted	\$ 24,024.00				
Current Contract Amount	\$ 1,062,574.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 1,062,574.00				
Designer Floors - 25					
Flooring					
Original Contract Amount					\$ 182,354.00
Change Order					
CO#01 PR 01, ASI 81	\$ 5,597.00				
PR-01 Mayors Suite Revision	\$ 605.00	City Request	\$ 605.00		
ASI-2nd Floor Office Revisions	\$ 4,992.00	City Request	\$ 4,992.00		
CO#02 ASI 98, 107, 117	\$ 4,061.00				
ASI 98 Mailroom Fir Finishes Rev	\$ 3,778.00	Design Issue			\$ 3,778.00
ASI 107 Wall Relocation Rms 244 & 245	\$ 283.00	City Request	\$ 283.00		
Subtotal CO's Submitted	\$ 9,658.00				
Current Contract Amount	\$ 192,012.00				

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CHANGE ORDER REPORT

Petra

		REASON	OWNER	CONST	DESIGN
Change Orders Pending					
Subtotal Pending Amt					
Projected Contract Amount					
SBI - 27	Specialties				
Original Contract Amount	\$ 110,000.00				
Change Order					
CO#01 PR-01, ASI-35,36, 41	\$ 365.00				
PR 01 Mayors Suite Revisions		City Request	\$ (335.00)		
ASI 35 Loading Dock - Bumpers	\$ (335.00)	Scope Addition	\$ 985.00		
ASI 36 Elev Equip Rms - Add Fire Ext's	\$ 985.00	Code Issue		\$ 215.00	
ASI 41 Delete Shower Rms 225 & 226	\$ 215.00	City Request	\$ (500.00)		
CO#02 ASI 104 Shower Curtains Rm 021& 24	\$ (500.00)	City Request	\$ 545.00		
CO#03 Floor Mat Credit	\$ 545.00	Design Issue		\$ (5,000.00)	
CO#04 ASI 144- Drop Box	\$ (5,000.00)	City Request	\$ 1,285.00		
CO#05 ASI 157, 158	\$ 1,285.00				
ASI 157 Lockers	\$ 4,700.00	City Request	\$ 3,050.00		
ASI 158 Indoor Display Case	\$ 3,050.00	City Request	\$ 1,850.00		
CO#06 ASI 182 Outdoor Display Case	\$ 1,850.00	City Request	\$ 2,295.00		
Subtotal CO's Submitted	\$ 2,295.00				
Current Contract Amount	\$ 4,190.00				
Change Orders Pending	\$ 114,190.00				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ -				
	\$ 114,190.00				
Commercial Painting - 28	Paint & Wallcovering				
Original Contract Amount	\$ 151,275.00				
Change Order					
CO#01 RFI-043	\$ 200.00	Design Issue			\$ 200.00
CO#02 ASI 41, 44, 60, 65, 68 & 69, Ext Paint	\$ 22,185.00				
ASI 41 Delete Shower Rms 225 & 226	\$ 195.00	City Request	\$ 195.00		
ASI 44 Revise Wall from MDF to DW	\$ 57.00	Design Issue			\$ 57.00
ASI 60 Bsmt RR Storage Closets	\$ 426.00	City Request	\$ 426.00		
ASI 65 Layout Rm 159 & 160	\$ 150.00	City Request	\$ 150.00		
ASI 68 Window Addition @ Rm 311	\$ 200.00	City Request	\$ 200.00		
ASI 69 Dr/Soffit Rev Rms 234 & 240	\$ 100.00	Design Issue			\$ 100.00
Exterior Painting - Add exterior painting	\$ 21,057.00	Scope Addition	\$ 21,057.00		
CO#03 PR 01, ASI 81, 88, 93, RFI 104, 106, 107	\$ 773.00				
ASI 81 2nd Fir Office Revisions	\$ 358.00	City Request	\$ 358.00		
ASI 88 Fume Hood Braces	\$ 60.00	Design Issue			\$ 60.00
ASI 93 Add Wall at Rm 257	\$ 130.00	City Request	\$ 130.00		
RFI 104 Beam Soffit Framing G-H/6-7	\$ 200.00	Design Issue			\$ 200.00
RFI 106 Fire Rise Rm 130 Enlargement	\$ 150.00	Design Issue			\$ 150.00
RFI 107 Bsmt RR EF Relocation	\$ (125.00)	Design Issue			\$ (125.00)
CO#04 ASI 107, RFI 166 & RTAHU	\$ 2,780.00				
ASI 107 Wall Relocation Rms 244 & 245	\$ 520.00	City Request	\$ 520.00		
RFI 166 Bike Storage RM 166	\$ 335.00	City Request	\$ 335.00		
Paint RT AHU's Exposed Sides	\$ 1,925.00	City Request	\$ 1,925.00		
CO#05 ASI 115, 110R, 126, 128 & 128R	\$ 2,025.00				

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CHANGE ORDER REPORT

Petra

		REASON	OWNER	CONST	DESIGN
ASI 110R Exhaust Fan EF-2	\$ 375.00	Design Issue			\$ 375.00
ASI 126 Dishwasher Relocation	\$ 75.00	City Request	\$ 75.00		
ASI 128 & 128R Interior Paint Scheme	\$ 1,575.00	Design Issue			\$ 1,575.00
CO#08 ASI 35 Loading Dock Steel	\$ 1,100.00	Scope Addition	\$ 1,100.00		
CO#7 Stair Rail Rework - BC Rule St	\$ 2,412.00	Construction Issue		\$ 2,412.00	
Subtotal CO's Submitted	\$ 31,475.00				
Current Contract Amount	\$ 182,750.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 182,750.00				
The Masonry Center - 30	Operable Wall				
Original Contract Amount	\$ 20,840.00				
Change Order					
CO	\$ -				
Subtotal CO's Submitted	\$ -				
Current Contract Amount	\$ 20,840.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 20,840.00				
PacWest - 29	Access Flooring				
Original Contract Amount	\$ 528,800.00				
Change Order					
CO#	\$ -				
Subtotal CO's Submitted	\$ -				
Current Contract Amount	\$ 528,800.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 528,800.00				
Simplex Grinnell - 31	Fire Protection				
Original Contract Amount	\$ 412,879.00				
Change Order					
CO#01 ASI 41,60 & 65	\$ 2,917.98				
ASI 41 Delete Shower Rms - Add/Reloc	\$ 360.44	City Request	\$ 360.44		
ASI 60 Bsmt RR Storage Closets	\$ 1,335.50	City Request	\$ 1,335.50		
ASI 65 Layout Rm 159 & 180	\$ 1,222.04	City Request	\$ 1,222.04		
CO#02 ASI 72, PR01, RFI 104, 106, 107	\$ 19,499.28				
ASI 72 PW & IT Wall Revisions	\$ 1,889.39	City Request	\$ 1,889.39		
PR 01 Mayors Suite Revisions	\$ 15,804.96	City Request	\$ 15,804.96		
RFI 104 Beam Soffit Framing G-H/6-7	\$ 1,191.90	Design Issue			\$ 1,191.90
RFI 108 Fire Rise Rm 130 Enlargement	\$ 613.03	Design Issue			\$ 613.03
CO#03 ASI 81, 93, 107	\$ 2,136.26				

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
ASI 81 2nd Floor Office Revisions	\$ 997.22	City Request	\$ 997.22			
ASI 93 Add Wall to Rm 257	\$ 559.58	City Request	\$ 559.58			
ASI 107 Wall Revisions @ Rms 244 & 245	\$ 579.46	City Request	\$ 579.46			
CO#04 ASI 135 Relocate Sapphire Tank	\$ 3,735.00	City Request	\$ 3,735.00			
CO#05 Paint Damage B/C	\$ (1,026.00)	Construction Issue		\$ (1,026.00)		
Subtotal CO's Submitted	\$ 27,262.52					
Current Contract Amount	\$ 440,141.52					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 440,141.52					
Hobson Fabricating - 33	HVAC					
Original Contract Amount	\$ 2,080,000.00					
Change Order						
CO#01 ASI-29 Add'l Smoke Dampers	\$ 1,335.00	Design Issue			\$ 1,335.00	
CO#02 ASI 45,50,53,56 & RFI 58 & 70	\$ 9,941.00					
RFI 58 Fire Riser RM 130 Rating	\$ 4,748.00	Design Issue			\$ 4,748.00	
ASI 45 Ceilings at Lobby - Add'l Dampers	\$ 2,226.00	Design Issue			\$ 2,226.00	
ASI 50 RA duct & wall opening	\$ 951.00	Design Issue			\$ 951.00	
ASI 53 Delete manual dampers	\$ (552.00)	Design Issue			\$ (552.00)	
ASI 66 Rev walls & smoke dampers	\$ 1,889.00	Design Issue			\$ 1,889.00	
RFI 70 Clg/Duct conflict @ Rm 142	\$ 2,055.00	Design Issue			\$ 2,055.00	
RFI 79 Delete UF duct insulation	\$ (4,255.00)	Design Issue			\$ (4,255.00)	
RFI 44 Fire dampers - Add 3 FD's	\$ 2,879.00	Design Issue			\$ 2,879.00	
CO#03 PR-01,02, ASI-61	\$ 40,499.00					
PR 01 Mayors Suite Revisions	\$ 5,351.00	City Request	\$ 5,351.00			
PR 02 CO2 Monitoring	\$ 28,835.00	LEED	\$ 28,835.00			
ASI 81 2nd Fir Office Revisions	\$ 6,313.00	City Request	\$ 6,313.00			
CO#04 ASI 50R1,86,87,110R,118,121,163;	Revised Amt \$ 36,068.00					
RFI 101,106,107,136,147,149,154,155						
ASI 50R1 Duct Transition @ Plan Vault	\$ 1,893.00	Design Issue			\$ 1,893.00	
ASI 86 Furne Hood Braces	\$ 661.00	Construction Issue		\$ 661.00		
ASI 87 Duct Revision @ Lobby 111	\$ 1,234.00	Design Issue			\$ 1,234.00	
ASI 110R Exhaust Fan EF-2 Revisions	\$ 6,157.00	Design Issue			\$ 6,157.00	
ASI 116 Emergency Generator Hgt Revision	\$ 1,871.00	City Request	\$ 1,871.00			
ASI 121 Boiler Controls Mods	\$ 4,928.00	Design Issue			\$ 4,928.00	
ASI 163 CO2 Sensors	\$ 5,045.00	City Request	\$ 5,045.00			
RFI 101 Wall Louver @ Penthouse	\$ 1,043.00	Design Issue			\$ 1,043.00	
RFI 106 Fire Riser Rm Enlargement	\$ 289.00	Design Issue			\$ 289.00	
RFI 107 Basement RR 018 Ceiling Access	\$ 190.00	Design Issue			\$ 190.00	
RFI 138 Restroom Air Supply	\$ 3,137.00	Design Issue			\$ 3,137.00	
RFI 147 Relocate VAV#215	\$ 2,215.00	Design Issue			\$ 2,215.00	
RFI 149 Duct Conflict in Rm#346	\$ 289.00	Design Issue			\$ 289.00	
RFI 155 Mayors Suite RA Plenum	\$ 541.00	Design Issue			\$ 541.00	
RFI 113 Boiler Flue Configuration Rev	\$ 2,693.00	Design & Construction			\$ 2,693.00	
Builders Risk Claim - UH	\$ 1,800.00	City Issue	\$ 1,800.00			
Add 4 Return Air Grilles w/Hoods	\$ 839.00	Design Issue			\$ 839.00	
R&R 12 Air Grilles	\$ 468.00	City Request	\$ 468.00			
Relocate 22 Grilles for SD spacing	\$ 775.00	Design Issue			\$ 775.00	
CO#05 ASI 166,166R & BC	\$ 2,725.00					
ASI-166 & 166R Heating Loop Glycol & Contrls	\$ 2,760.00	Design Issue			\$ 2,760.00	

MERIDIAN CITY HALL

08/10/09

CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Paint B/C	\$ (35.00)	Construction Issue		\$ (35.00)		
CO#06 Paint B/C	\$ (1,061.00)	Construction Issue		\$ (1,061.00)		
Subtotal CO's Submitted	\$ 89,507.00					
Current Contract Amount	\$ 2,149,507.00					
Change Orders Pending						
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 2,149,507.00					
Tri-State Electric - 34	Electrical, Low Voltage & Fire Alarm					
Original Contract Amount	\$ 2,749,895.00					
Change Order						
CO#01 ASI-25,36,37 & 43	\$ (6,064.76)					
ASI 25&37	\$ (12,471.60)	Design Issue			\$ (12,471.60)	
Temp Power & Lighting	\$ 6,406.84	Construction Issue		\$ 6,406.84		
CO#02 - ASI 38,41,72; RFI 66,83,85,90	\$ 12,059.26					
ASI 38 Security/Card Reader Add	\$ 1,394.41	City Request	\$ 1,394.41			
ASI 41 Delete Shower Rms 226 & 225	\$ (675.16)	City Request	\$ (675.16)			
ASI 72 IT Area Wall Revisions	\$ 2,357.52	City Request	\$ 2,357.52			
RFI 66 Fire Alarm Smoke Detectors Add 3ea	\$ 1,047.00	Design Issue			\$ 1,047.00	
RFI 83 T-Stat Conduit Upsize - Connectors	\$ 7,293.33	Design Issue			\$ 7,293.33	
RFI 85 Ext Light Fixtures - Add fixture	\$ 1,890.34	Design Issue			\$ 1,890.34	
RFI 90 Floodlight & Clock Rough-in	\$ (1,248.18)	Design Issue			\$ (1,248.18)	
CO#03 PR 01,02, ASI 74,81,85,94,99,106 107, RFI 91,102,107 & 117	\$ 72,723.24					
PR 01 Mayors Suite Revisions	\$ 6,156.87	City Request	\$ 6,156.87			
PR 02 CO2 Monitoring - Add boxes&conduit	\$ 5,420.13	City Request	\$ 5,420.13			
ASI 74 Access Fir Grounding	\$ 4,201.13	Design Issue			\$ 4,201.13	
ASI 812nd Fir Office revisions	\$ 20,700.55	City Request	\$ 20,700.55			
ASI 85 Lobby Fir & Ext Power Outlets	\$ 15,663.00	City Request	\$ 15,663.00			
ASI 94 Reader Brd Conduits	\$ 1,750.78	City Request	\$ 1,750.78			
ASI 99 Heat Tape @ Barrel Vault Gutters	\$ 7,035.19	Design Issue			\$ 7,035.19	
ASI 106 Light Fixture @ Hall 349	\$ (382.11)	Design Issue			\$ (382.11)	
ASI 107 Wall Rev @ Rms 244 & 245	\$ 154.29	City Request	\$ 154.29			
RFI 91Power Shutdown Rm 311	\$ 11,721.78	City Request	\$ 11,721.78			
RFI 102 Tele Com Riser Rm Mods	\$ (1,502.18)	Design Issue			\$ (1,502.18)	
RFI 107 Bamt Rm 019 FCU Relocation	\$ 541.71	Design Issue			\$ 541.71	
RFI 117 Cable TV Service Conduit	\$ 1,262.10	City Request	\$ 1,262.10			
CO#04	\$ 25,971.00					
ASI 108 TVSS Devices on Switchgear	\$ 11,983.00	Design Issue			\$ 11,983.00	
ASI 122 Site & Breakroom Power	\$ 976.00	City Request	\$ 976.00			
ASI 127 Roof Penetrations Tele/Data	\$ 1,006.00	City Request	\$ 1,006.00			
ASI 129 Light Fixtures Council Chambers	\$ 615.00	Design Issue			\$ 615.00	
RFI 190 Electrical Adds for Conf Rm 245	\$ 3,556.00	City Request	\$ 3,556.00			
ASI 146 Council Chambers Pwr.Data,Sec	\$ 416.00	City Request	\$ 416.00			
Elevator Card Reader Boxes	\$ 657.00	Construction Issue	\$ 657.00			
Council Chambers Raceways	\$ 3,363.00	Construction Issue	\$ 3,363.00			
A/V Assisted Listening RI	\$ 1,084.00	Design Issue			\$ 1,084.00	
Power for DDC Controllers	\$ 2,015.00	Design Issue			\$ 2,015.00	
CO#05 ASI 165R Emer Power for Tele/Data	\$ 37,514.00	City Request	\$ 37,514.00			
CO#06 Paint Damage B/C	\$ (1,026.00)	Construction Issue		\$ (1,026.00)		
Subtotal CO's Submitted	\$ 140,876.74					

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Current Contract Amount	\$ 2,890,771.74					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 2,890,771.74					
Suncrest dba B&B Steel - 17	Handrail & Misc Metal					
Original Contract Amount	\$ 73,265.00					
Change Order						
CO#01 RFI-043 Radius Guardrail Rev	\$ 267.75	Design Issue			\$ 267.75	
CO#02 RFI 63 Wall Reinforcement @ Elec Rm	\$ 2,677.38	Construction Issue		\$ 2,677.38		
CO#03 ASI 35 Loading Dock	\$ 17,085.05	Scope Addition	\$ 17,085.05			
CO#04 ASI 76 Folding Partition Support	\$ 2,685.00	Design Issue			\$ 2,685.00	
Subtotal CO's Submitted	\$ 22,715.18					
Current Contract Amount	\$ 95,980.18					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 95,980.18					
American Wallcovering - 18	Rough Carpentry					
Original Contract Amount	\$ 112,000.00					
Change Order						
CO#	\$ -					
Subtotal CO's Submitted	\$ -					
Current Contract Amount	\$ 112,000.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 112,000.00					
Idaho Custom Woodwork - 19	Millwork & Cabinetry					
Original Contract Amount	\$ 464,000.00					
Change Order						
CO#01 ASI-33 Delete Upper Cabinets	\$ (5,479.66)	City Request/Design Issue	\$ (2,739.83)		\$ (2,739.83)	
CO#02 ASI 41,42,44,46, RFI-43	\$ 5,541.66					
RFI 43 Radius Guard Rail Adj - 2nd Flr	\$ 1,573.34	Design Issue			\$ 1,573.34	
ASI 42 Millwork Rev Mayors Suite	\$ 3,881.66	City Request	\$ 3,881.66			
ASI 48 Casework Rev Rm 322	\$ 286.86	City Request	\$ 286.86			
CO#03 ASI 96 & 109	\$ 495.00					
ASI 96 Cabinet @ Mailroom 128 & 129	\$ 400.00	City Request	\$ 400.00			
ASI 109 Teller Counter 151	\$ 95.00	City Request	\$ 95.00			
CO#04 ASI 120,126, 130, Lobby Sills & Ctr	\$ 4,185.00					
ASI 120 Millwork Deletion in Rm 309	\$ 135.00	City Request	\$ 135.00			
ASI 126 Dishwasher Relocation	\$ 1,315.00	City Request	\$ 1,315.00			
ASI 130 Teller Counter Hgt	\$ 424.00	City Request	\$ 424.00			
Wood Sills in Main Lobby	\$ 1,791.00	City Request	\$ 1,791.00			
Countertop Mods @ U/C Refr	\$ 520.00	Design Issue			\$ 520.00	
CO#05 Paint Damage B/C	\$ (1,090.00)	Construction Issue		\$ (1,090.00)		

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Subtotal CO's Submitted	\$ 3,652.20					
Current Contract Amount	\$ 467,652.20					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 467,652.20					
Schumacher & Co. - 26	Ceramic Tile					
Original Contract Amount	\$ 110,953.00					
Change Order						
CO#01 ASI 79 & PR 01	\$ 6,039.00					
ASI 79 Ceramic Tile Bullnose	\$ 7,874.00	Design Issue			\$ 7,874.00	
RR 01 Mayors Suite Revisions	\$ (1,835.00)	City Request	\$ (1,835.00)			
Subtotal CO's Submitted	\$ 6,039.00					
Current Contract Amount	\$ 116,992.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 116,992.00					
Architectural Building Supply - 22	Doors, Frames & Hardware					
Original Contract Amount	\$ 277,230.00					
Change Order						
CO#01 ASI 21 & 26 Add Card Readers	\$ 7,952.00	City Request	\$ 7,952.00			
CO#02 ASI 38 Security Bid Opt	\$ 5,420.00	City Request	\$ 5,420.00			
CO#03 ASI 36,60,65,62,66,69& 70, RFI 64	\$ 6,122.00					
ASI 36 Elev Eqmpt Rm Code Rev	\$ 227.00	Code Issue			\$ 227.00	
ASI 60 Bamt RR Storage Closets	\$ 2,167.00	City Request	\$ 2,167.00			
ASI 65 Layout Rms 159 & 180 - Redo HM	\$ 650.00	City Request	\$ 650.00			
ASI 62 Wall/Dr Layout Drs 124A & 351	\$ 735.00	Design Issue			\$ 735.00	
ASI 68 Window Addition @ Rm 311	\$ 991.00	City Request	\$ 991.00			
ASI 69 Dr/Soffit Rev Rms 234 & 240	\$ 367.00	Design Issue			\$ 367.00	
ASI 70 Window Type Rev Rms 155 & 161	\$ 702.00	Design Issue			\$ 702.00	
RFI 84 Lower Clg Hgts - Cutdown HM Frs	\$ 283.00	Design Issue			\$ 283.00	
CO#04 PR 01, ASI 81,82	\$ 5,303.00					
PR 01 Mayors Suite Revisions	\$ 843.00	City Request	\$ 843.00			
ASI 81 2nd Flr Office Revisions	\$ 2,081.00	City Request	\$ 2,081.00			
ASI 82 Reverse HM Dr & Frame RM 103	\$ 2,379.00	Design Issue			\$ 2,379.00	
CO#05 ASI 100 Window @ Drs 225 & 226	\$ 1,281.00	City Request	\$ 1,281.00			
CO#06	\$ 1,603.00					
ASI 134	\$ 1,281.00	City Request	\$ 1,281.00			
ASI 144	\$ 322.00	City Request	\$ 322.00			
CO#07	\$ 1,429.00					
ASI 152 Add Door Closers	\$ 1,080.00	City Request	\$ 1,080.00			
Dr Lock #348A	\$ 349.00	City Request	\$ 349.00			
CO#08 Push/Pull Dr #137	\$ 280.00	Design Issue			\$ 280.00	
CO#09 Server Rm Window B/C	\$ (365.00)	Construction Issue		\$ (365.00)		
CO#10 Paint Damage B/C	\$ (1,026.00)	Construction Issue		\$ (1,026.00)		
Subtotal CO's Submitted	\$ 27,999.00					

MERIDIAN CITY HALL

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CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Current Contract Amount	\$ 305,229.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 305,229.00					
Integrated Interiors - 35	Window Treatments					
Original Contract Amount	\$ 11,900.00					
Change Order						
CO#01 ASI 73 & PR 01	\$ 10,700.00					
ASI 73 Blackout Shades @ 133,343,346	\$ 11,300.00	City Request	\$ 11,300.00			
PR 01 Mayors Suite Revisions	\$ (600.00)	City Request	\$ (600.00)			
Subtotal CO's Submitted	\$ 10,700.00					
Current Contract Amount	\$ 22,600.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 22,600.00					
PRECOM - 36	Telecommunications - FF&E					
Original Contract Amount	\$ 219,000.00					
Change Order						
CO#01 ASI 75,RFI 62 & PR 01	\$ (29,687.37)					
ASI 75 Add'l Data Drops	\$ 11,040.00	City Request	\$ 11,040.00			
RFI 62 Reduce Data Cable Qty	\$ (40,727.37)	Design Issue			\$ (40,727.37)	
CO#02 ASI 81 2nd Fir Office Revisions	\$ 3,470.96	City Request	\$ 3,470.96			
CO#03 ASI 114 Cabling Wireless Internet	\$ 6,630.00	City Request	\$ 6,630.00			
CO#04 ASI 146	\$ 263.00	City Request	\$ 263.00			
CO#05 Tele/Data Reloc	\$ 3,396.00	City Request	\$ 3,396.00			
CO#06 Paint Damage B/C	\$ (1,026.00)	Construction Issue		\$ (1,026.00)		
Subtotal CO's Submitted	\$ (16,953.41)					
Current Contract Amount	\$ 202,046.59					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 202,046.59					
Aatronics - 37	Audio-Visual FF&E					
Original Contract Amount	\$ 204,378.72					
Change Order						
CO#01 TW Intercom & PR-01	\$ 4,527.86					
TW Aiphone System	\$ 5,142.69	Scope Addition	\$ 5,142.69			
PR 01 Mayors Suite Revisions	\$ (614.83)	City Request	\$ (614.83)			
CO#02 Intercom @ Purchasing	\$ 608.00	City Request	\$ 608.00			
CO#03 Council Cham AV & Monitors	\$ 3,018.00	City Request	\$ 3,018.00			
CO#04 Wiring for Lobby TV	\$ 809.00	City Request	\$ 809.00			
CO#05 Install OF TVs	\$ 750.00	City Request	\$ 750.00			
CO#06 Paint Damage B/C	\$ (1,026.00)	Construction Issue		\$ (1,026.00)		

MERIDIAN CITY HALL

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CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Subtotal CO's Submitted	\$ 8,686.86					
Current Contract Amount	\$ 213,065.58					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 213,065.58					
Apex Integrated Security Solutions - 38	Security Systems - FFE					
Original Contract Amount	\$ 84,695.00					
Change Order						
CO#01 Prox Card Reader	\$ 7,120.00	City Request	\$ 7,120.00			
CO#02 ID Badge Camera	\$ 3,545.00	City Request	\$ 3,545.00			
CO#03 ASI 134,146 & IntrPnl	\$ 3,746.00	City Request	\$ 3,746.00			
CO#04 Glass Damage B/C	\$ (415.00)	Construction Issue		\$ (415.00)		
CO#05 Paint Damage B/C	\$ (1,026.00)	Construction Issue		\$ (1,026.00)		
Subtotal CO's Submitted	\$ 12,970.00					
Current Contract Amount	\$ 97,665.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 97,665.00					
Advanced Signs (MR Priest dba) - 55	Interior Signage					
Original Contract Amount	\$ 42,954.29					
Change Order						
CO#01	\$ 4,542.00					
ASI 139 Interior Sign Rev & Reloc	\$ 866.00	Owner Request	\$ 866.00			
ASI 148 Interior Sign Revisions	\$ 3,303.00	Owner Request	\$ 3,303.00			
Bsmt Storage Signs	\$ 373.00	Owner Request	\$ 373.00			
CO#02 ASI 159	\$ 5,127.00	Owner Request	\$ 5,127.00			
CO#03 Owner Req'd Signs	\$ 4,172.00	Owner Request	\$ 4,172.00			
Subtotal CO's Submitted	\$ 13,841.00					
Current Contract Amount	\$ 56,795.29					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 56,795.29					
ABM Janitorial - 51	Final Clean					
Original Contract Amount	\$ 13,900.00					
Change Order						
CO#01 Exterior Washing	\$ 1,538.00	Construction Issue		\$ 1,538.00		
Subtotal CO's Submitted	\$ 1,538.00					
Current Contract Amount	\$ 15,438.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					

MERIDIAN CITY HALL

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CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Projected Contract Amount						
	\$ 15,438.00					
Original Phase 3 Amount						
	\$ 9,896,622.01					
Approved Change Orders - Phase 3						
	\$ 600,147.09					
Current Phase 3 Amt W/ App CO's						
	\$ 10,396,869.10					
Pending Change Orders - Phase 3						
	\$ -					
Projected Phase 3 Amt W/ Pndg CO's						
	\$ 10,396,869.10					
Phase 4 - Community Plaza & Site Improvements						
Terra West - 39		Site Work				
Original Contract Amount						
	\$ 338,000.00					
Change Order						
CO#1		\$ 61,220.00				
RFP#01 Plaza Redesign & Coord with EPL	\$ 22,847.00	Owner Request	\$ 22,847.00			
ASI 89R South Parking Lot Rev	\$ 1,585.00	Owner Request	\$ 1,585.00			
ASI 111 Exit Stairs & Walk	\$ 2,328.00	Code Issue			\$ 2,328.00	
ASI 112 Plaza Civil ACHD Comments	\$ 6,450.00	ACHD Comments			\$ 6,450.00	
Lower Irrigation Box - Match Grades	\$ 1,250.00	Construction Issue		\$ 1,250.00		
ASI 124 Motorcycle Parking	\$ 188.00	Owner Request	\$ 188.00			
ASI 138 Plaza Clock Relocation	\$ 3,706.00	Owner Request	\$ 3,706.00			
ASI 145 South Parking Lot LEED Markings	\$ 971.00	LEED Design Issue			\$ 971.00	
ASI 147 Precast Parking Bumpers	\$ 1,382.00	Owner Request	\$ 1,382.00			
RFI 212 ZamZows Yard Drainage	\$ 9,099.00	Owner Request	\$ 9,099.00			
Haul-in Topsoil, Construction Issue	\$ 1,740.00	Construction Issue		\$ 1,740.00		
Figs At Entry Pools & Canel Features	\$ 2,400.00	Construction Issue		\$ 2,400.00		
Cleaned & Bladed UPRR ROW	\$ 1,787.00	Owner Request	\$ 1,787.00			
Formwork Resetting B/C	\$ (360.00)	Construction Issue		\$ (360.00)		
Install OF Drain for Waterworks Tank	\$ 6,724.00	Const & Design	\$ 3,362.00	\$ 3,362.00		
Rough Grade for Sunshine On EPL Islands	\$ (547.00)	Construction Issue		\$ (547.00)		
Paving Replacement B/C	\$ (308.00)	Construction Issue		\$ (308.00)		
Subtotal CO's Submitted	\$ 61,220.00					
Current Contract Amount	\$ 399,220.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 399,220.00					
Sunshine Landscaping - 40		Landscape				
Original Contract Amount						
	\$ 199,878.75					
Change Order						
CO#01 Plz RFP01, ASI 89R,111,112,124,125		\$ 665.00				
RFP-01 Plaza ReBid Per 2/22/08 Drwgs	\$ (6,187.00)	Scope Revision	\$ (6,187.00)			
ASI 89R Revise Parking Lot Layout	\$ 7,533.00	City Request	\$ 7,533.00			
ASI 124 Motorcycle Parking	\$ (239.00)	City Request	\$ (239.00)			
ASI 125 Relocate Plaza Clock	\$ (442.00)	City Request	\$ (442.00)			
CO#2 ASI 111,112,RFI 212, Topsoil & Rock	\$ 32,610.00					
ASI 111 Exit Stairs & Walk	\$ 2,197.00	Code Issue			\$ 2,197.00	
RFI 212 ZamZows Yard Drainage	\$ 16,306.00	Owner Request	\$ 16,306.00			

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Landscape Rock on West Side	\$ 965.00	Owner Request	\$ 965.00			
Furnish Topsoil	\$ 2,255.00	Construction Issue		\$ 2,255.00		
ASI 112 Plaza Civil ACHD Comments	\$ 10,887.00	ACHD Comments			\$ 10,887.00	
CO#3 Topsoil & Sidewalk B/C	\$ 2,346.00					
Furnish Topsoil	\$ 2,721.00	Construction Issue		\$ 2,721.00		
Replace Sidewalk Panel B/C	\$ (375.00)	Construction Issue		\$ (375.00)		
Subtotal CO's Submitted	\$ 35,821.00					
Current Contract Amount	\$ 235,299.75					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 235,299.75					
Alpha Masonry - 41	Masonry & Stone					
Original Contract Amount	\$ 194,585.00					
Change Order						
CO#01 ASI-92 & TW Flashing	\$ 6,398.00					
ASI 92 Plaza Brick Revision	\$ 5,218.00	City Request	\$ 5,218.00			
Thru Wall Flashing @ Heritage Bldg	\$ 1,180.00	Design Issue			\$ 1,180.00	
CO#02 ASI 158 & Misc Extras	\$ 5,198.00					
ASI 158 Water Feature Weir Adj	\$ 2,812.00	Owner Request	\$ 2,812.00			
Infill Brick at Main Entry Canopy	\$ 600.00	Design Issue			\$ 600.00	
RFI 193 Solid Capstone on Water Feature	\$ 260.00	Design Issue			\$ 260.00	
Brick on endwall of Canal per Larch	\$ 1,526.00	Design Issue			\$ 1,526.00	
CO#03 ASI 184 Irrigation Box Wainscot	\$ 520.00	Owner Request	\$ 520.00			
Subtotal CO's Submitted	\$ 12,116.00					
Current Contract Amount	\$ 206,701.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 206,701.00					
KB Fabrication & Welding - 44	Metal Fabrications & Railings					
Original Contract Amount	\$ 130,450.00					
Change Order						
CO#01	\$ (44,764.00)					
RFP-01 Plaza ReBid Per 2/22/08 Drwgs	\$ (48,350.00)	Scope Revision	\$ (48,350.00)			
RFI 146 Steel Filler @ Curtainwall	\$ 638.00	Design Issue - Code			\$ 638.00	
ASI 111 Concrete Stairs & Walk	\$ 2,950.00	Design Issue - Code			\$ 2,950.00	
CO#2 - ASI 188 Handrail Pnl Code Issue	\$ 4,197.00	Design Issue - Code			\$ 4,197.00	
Subtotal CO's Submitted	\$ (40,567.00)					
Current Contract Amount	\$ 89,883.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 89,883.00					

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra	
Paige Mechanical Group - 42		Mechanical					
Original Contract Amount	\$ 29,064.00						
Change Order							
CO#01 Hose Bibbs & Red Pressure Device	\$ 2,132.00	Owner Reqat & Plbg Insp	\$ 2,132.00				
Subtotal CO's Submitted	\$ 2,132.00						
Current Contract Amount	\$ 31,196.00						
Change Orders Pending	\$ -						
Subtotal Pending Amt	\$ -						
Projected Contract Amount	\$ 31,196.00						
Tri-State Electric - 43		Electrical					
Original Contract Amount	\$ 344,090.00						
Change Order							
CO#01 Misc Plaza Revisions	\$ 54,311.00						
RFP-01 Plaza ReBid Per 2/22/08 Drwgs	\$ 29,095.00	Owner Request	\$ 29,095.00				
ASI 105 Plaza SI-1 Light Fixture Rev	\$ 14,357.00	Design Issue			\$ 14,357.00		
ASI 122 Site Outlets @ Treewells in SPL	\$ 3,807.00	Owner Request	\$ 3,807.00				
ASI 142 Power @ Meridian Rd Tree Wells	\$ 6,507.00	Owner Request	\$ 6,507.00				
ASI 149 Plaza Luminaire Removal	\$ (12,500.00)	Owner Request	\$ (12,500.00)				
RFI 196 Light Bollards per MDC	\$ 9,732.00	Owner Request	\$ 9,732.00				
RFI 200 Heat Tape Hert Bldg Drains	\$ 3,313.00	Design Issue			\$ 3,313.00		
Subtotal CO's Approved	\$ 54,311.00						
Current Contract Amount	\$ 398,401.00						
Change Orders Pending	\$ -						
Subtotal Pending Amt	\$ -						
Projected Contract Amount	\$ 398,401.00						
M.R. Miller - 49		Water Feature					
Original Contract Amount	\$ 216,775.00						
Change Order							
CO#01 ASI-88 & Drain Valves	\$ 23,015.00						
ASI 88 Water Feature Equipment Mods	\$ 16,910.00	Design Issue			\$ 16,910.00		
Drain Valves for Pools & Stream Feature	\$ 6,105.00	City Request	\$ 6,105.00				
CO#02	\$ (7,250.00)						
Tamoseal in lieu of Copper	\$ (4,850.00)	Construction Issue		\$ (4,850.00)			
Excavation Credit for Work Done by TW	\$ (2,400.00)	Construction Issue		\$ (2,400.00)			
Subtotal CO's Approved	\$ 15,765.00						
Current Contract Amount	\$ 232,540.00						
Change Orders Pending	\$ -						
Subtotal Pending Amt	\$ -						
Projected Contract Amount	\$ 232,540.00						

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
American Wallcovering - 45						
	Carp/GWB/Insul					
Original Contract Amount	\$ 8,400.00					
Change Order						
CO#	\$ -					
Subtotal CO's Approved	\$ -					
Current Contract Amount	\$ 8,400.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 8,400.00					
Pro-Tec Roofing -						
	Roofing/Flashing					
Original Contract Amount	\$ 10,495.00					
Change Order						
CO	\$ -					
Subtotal CO's Approved	\$ -					
Current Contract Amount	\$ 10,495.00					
Change Orders Pending	\$ -					
AST x	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 10,495.00					
SealCo - 47						
	Moist Prot/WP					
Original Contract Amount	\$ 3,028.00					
Change Order						
CO#	\$ -					
Subtotal CO's Approved	\$ -					
Current Contract Amount	\$ 3,028.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 3,028.00					
Commercial Painting - 50						
	Painting					
Original Contract Amount	\$ 11,400.00					
Change Order						
CO#	\$ -					
Subtotal CO's Approved	\$ -					
Current Contract Amount	\$ 11,400.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 11,400.00					
Axelsen Concrete - 48						
	Concrete					

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

		REASON	OWNER	CONST	DESIGN	Petra
Original Contract Amount	\$ 296,200.00					
Change Order						
CO#01 Weir Walls, Sand Fin, Brick Ledger	\$ 12,298.00					
Weir Wall @ Stream	\$ 855.00	Construction Issue		\$ 855.00		
Sand Finish on Ext Bldg Walls	\$ 3,475.00	Owner Request	\$ 3,475.00			
Add Concrete section to plith on westside	\$ 1,895.00	Design Issue			\$ 1,895.00	
Brick Ledger @ Canal Feature	\$ 1,345.00	Design Issue			\$ 1,345.00	
Weir Walls @ Canal Feature	\$ 3,060.00	Design Issue			\$ 3,060.00	
RFI 132 Amphitheatre Wall Coordination	\$ 1,668.00	Construction Issue		\$ 1,668.00		
CO#02 ASI 138, 144, RFI 195, 180	\$ 8,897.00					
ASI 138 Plaza Clock Relocation	\$ 1,820.00	Owner Request	\$ 1,820.00			
RFI 195 Canal Water Wall Section	\$ 4,474.00	Design Issue			\$ 4,474.00	
RFI 195 Canal Water Brick Ledge	\$ 840.00	Design Issue			\$ 840.00	
RFI 180 Brick Ledges at Water Feature	\$ 1,838.00	Design Issue			\$ 1,838.00	
ASI 144 Payment Drop Box	\$ 125.00	Owner Request	\$ 125.00			
CO#03 ASI 125, 137, 156, FP Figs, Misc	\$ 3,127.00					
ASI 125 Plaza Clock Pedestal	\$ 218.00	Owner Request	\$ 218.00			
ASI 137 Curb & Sidewalk Elevations	\$ 90.00	Design Issue			\$ 90.00	
ASI 156 Water Feature Adjustments	\$ 766.00	Design Issue			\$ 766.00	
Flagpole Base Figs	\$ 750.00	Construction Issue		\$ 750.00		
Add Sacking on Frndn Wall due to Grade Rev	\$ 220.00	Owner Request	\$ 220.00			
Sack Light Pole Bases	\$ 400.00	Construction Issue		\$ 400.00		
Replace Damaged Sidewalk @ SE Corner	\$ 375.00	Construction Issue		\$ 375.00		
Replace Damaged Plaza paving	\$ 308.00	Construction Issue		\$ 308.00		
Subtotal CO's Approved	\$ 24,322.00					
Current Contract Amount	\$ 320,522.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 320,522.00					
Cobblestones - 56	Unit Pavers					
Original Contract Amount	\$ 75,462.00					
Change Order						
CO#01	\$ 9,668.00					
ASI 112 Plaza ACHD Rev - Light Poles	\$ 1,000.00	ACHD Comments			\$ 1,000.00	
ASI 138 Pavers @ Flag Poles	\$ 8,668.00	City Request	\$ 8,668.00			
CO#02 ASI 149 Pavers @ Light Pole Removal	\$ 2,175.00	City Request	\$ 2,175.00			
Subtotal CO's Approved	\$ 11,843.00					
Current Contract Amount	\$ 87,305.00					
Change Orders Pending	\$ -					
Subtotal Pending Amt	\$ -					
Projected Contract Amount	\$ 87,305.00					
Anvil Fence Co - 57	UPRR Fence					
Original Contract Amount	\$ 18,934.00					
Change Orders						
CO#	\$ -					
Subtotal CO's Approved	\$ -					

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

Petra

		REASON	OWNER	CONST	DESIGN
Current Contract Amount	\$ 18,934.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 18,934.00				
Original Phase 4 Amount	\$ 1,876,561.75				
Approved Change Orders - Ph 4	\$ 176,763.00				
Current Phase 4 Amt W/ App CO's	\$ 2,053,324.75				
Pending Change Orders - Ph 4	\$ -				
Projected Phase 4 Amt W/ Pndg CO's	\$ 2,053,324.75				
Phase 5 - East Parking Lot					
Terra-West -59 Sitework					
Original Contract Amount	\$ 127,900.00				
Change Order					
CO#01	\$ 19,364.00				
ASI 140 Contaminated Soil Removal	\$ 4,337.00	Owner Request	\$ 4,337.00		
ASI 141 Monitoring Well Detail	\$ 1,100.00	Owner Request	\$ 1,100.00		
ASI 136 East Parking Lot Rev - ACHD	\$ 3,978.00	Design Issue			\$ 3,978.00
ASI 147 PreCast Parking Bumpers	\$ 951.00	Owner Request	\$ 951.00		
ASI 155 RR Track Paver Walkway	\$ 927.00	Owner Request	\$ 927.00		
ASI 164 Irrigation Box & Manhole	\$ 8,071.00	Owner Request	\$ 8,071.00		
Subtotal CO's Approved	\$ 19,364.00				
Current Contract Amount	\$ 147,264.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 147,264.00				
Axelsen Concrete - 54 Concrete					
Original Contract Amount	\$ 28,720.00				
Change Order					
CO#01 ASI 136, 155 & 164	\$ 6,680.00				
ASI 136 East Parking Lot Rev - ACHD	\$ 2,755.00	Design Issue - ACHD			\$ 2,755.00
ASI 155 RR Track Paver Walk	\$ 4,125.00	Owner Request	\$ 4,125.00		
CO#02 Wire Mesh RR Track SW	\$ 275.00	Construction Issue		\$ 275.00	
Subtotal CO's Approved	\$ 7,155.00				
Current Contract Amount	\$ 35,875.00				
Change Orders Pending	\$ -				
Subtotal Pending Amt	\$ -				
Projected Contract Amount	\$ 35,875.00				
Sunshine Landscape - 58 Landscape					
Original Contract Amount	\$ 57,317.37				
Change Order					
CO#01 ASI 155 RR Track Paver Walk	\$ 7,797.00	Owner Request	\$ 7,797.00		
CO#02 Tree Add - Planning Dept	\$ 750.00	Owner Request - Code	\$ 750.00		

MERIDIAN CITY HALL

09/10/09

CHANGE ORDER REPORT

				REASON	OWNER	CONST	DESIGN	Petra
Subtotal CO's Approved	\$	8,547.00						
Current Contract Amount	\$	65,864.37						
Change Orders Pending								
ASI x								
Subtotal Pending Amt	\$	-						
Projected Contract Amount	\$	65,864.37						
Tri-State Electric - 63	Electrical							
Original Contract Amount	\$	67,540.00						
Change Order								
CO#01 Light Bollard Del & Tree Well Pwr	\$	2,343.00						
Delete Light Bollards at Meridian & Broadway	\$	(1,835.00)	Owner Request	\$	(1,835.00)			
Power Outlets in Tree Wells	\$	4,176.00	Owner Request	\$	4,176.00			
Subtotal CO's Approved	\$	2,343.00						
Current Contract Amount	\$	69,883.00						
Change Orders Pending	\$	-						
Subtotal Pending Amt	\$	-						
Projected Contract Amount	\$	69,883.00						
Original Phase 5 Amount	\$	281,477.37						
Approved Change Orders - Ph 5	\$	37,409.00						
Current Phase 5 Amt W/ App CO's	\$	318,886.37						
Pending Change Orders - Ph 5	\$	-						
Projected Phase 5 Amt W/ Pndg CO's	\$	318,886.37						
TOTAL - ALL PHASES								
ORIGINAL CONTRACT AMOUNT	\$	18,854,065.11						
APPROVED CHANGE ORDERS	\$	1,894,960.19						
CURRENT CONTRACT AMOUNT	\$	20,711,616.30						
PENDING CHANGE ORDERS	\$	512,427.00						
PROJECTED CONTRACT AMOUNT	\$	21,224,043.30			\$ 741,578.32	\$ 860,681.61	\$ 302,700.26	
								\$ 1,894,960.19

CHANGE ORDERS BY PHASE

CM Change Orders	\$	52,502.00	\$	512,427.00
Phase 1 - Demo & Abatement	\$	529,147.02	\$	-
Phase 2 - Cold Core & Shell	\$	598,992.08	\$	-
Phase 3 - Tenant Improvements & MEP	\$	500,147.09	\$	-
Phase 4 - Plaza	\$	176,783.00	\$	-
Phase 5 - East Parking Lot				
Approved CO's to Date	\$	1,894,960.19		
Pending CO's - Currently			\$	512,427.00
Deduct - Demo & Abatement				
IDS CO#01 - 06	\$	(529,147.02)		
MJ'S Backhoe - CO#01 Partial for Contaminated soil removal & replacement	\$	(379,526.00)		
CM Fee on Demo & Abatement	\$	(52,502.00)		

MERIDIAN CITY HALL

CHANGE ORDER REPORT

09/14/09

	REASON	OWNER	CONST	DESIGN	Petra
CO Amt to be deducted from Contingency					
\$	933,785.17				

CO Status Summary

Pending Action As of 9/30/08

CO Pending - City Action	21	ComPai#4, SBI#2, PreCom#3, Alpha#1, DesFir#2, SchElv#2, CusGI-2#2, ABS-3#5, MRM#01, Apex#01, Apex#02, IDCWP#03, SunLand#01, ABS-2#02, Buss#04, ComPai#05, SBI#03, AxeConc#01, Wroof#1, AWC-3#04, AAttr#2
CO Pending - Contractor Action	1	Rule #2.
CO Pending - LCA	7	IDCWP#04, SimGrin#4, KBW#01, Sdwk#05, Cobstr#01, B&BST#04, MRM#2
	29	
CO's Approved in Aug 08	1	Buss#03
CO's Approved in Sept 08		

From: Steve Simmons [ssimmons1@lcarch.com]
Sent: Tuesday, March 20, 2007 5:14 PM
To: Wesley Bettis Jr.
Cc: warren@elkmtn.cc; Steve Christiansen
Subject: Re: Information for City Council re Basement / Dewatering

Ok thanks

Sent from my BlackBerry Wireless Handheld

----- Original Message -----

From: Wesley Bettis Jr. <wbettis@petrainc.net>
To: Steve Simmons
Cc: Steve Christiansen
Sent: Tue Mar 20 17:12:06 2007
Subject: RE: Information for City Council re Basement / Dewatering

That is correct. I think Warren is at a standstill until he provides his summary to Christiansen and LCA presents the impacts to schedule for getting the dewatering program approved (Petra can provide some associated estimated costs) vs. the schedule and cost impact to the project from the design side to re-design and re-allocate space use based on eliminating the basement. That was the end result of Monday afternoon's production meeting with Brad Watson. This info needs to be ready to be presented next Monday morning to the Mayor's Committee. ww

From: Steve Simmons [mailto:ssimmons1@lcarch.com]
Sent: Tuesday, March 20, 2007 5:06 PM
To: Wesley Bettis Jr.
Subject: Re: Information for City Council re Basement / Dewatering

Wes
According to an email from Ted this morning they are not sure about giving Warren the go ahead
I think he proceeded per the verbal last week

Sent from my BlackBerry Wireless Handheld

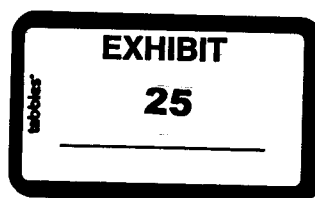
----- Original Message -----

From: Wesley Bettis Jr. <wbettis@petrainc.net>
To: Ted Baird <bairdt@meridiancity.org>; Bill Nary <naryb@meridiancity.org>; Will Berg <bergw@meridiancity.org>
Cc: Steve Simmons; Steve Christiansen; Gene Bennett <gbennett@petrainc.net>
Sent: Tue Mar 20 16:45:12 2007
Subject: RE: Information for City Council re Basement / Dewatering

03-20-07

Ted:

In follow-up to my phone call to you this afternoon, Petra, Inc. will not be providing any information regarding the schedule impacts of including the de-watering system or deleting the basement for tonight's Council meeting. This topic with all of the ramifications was presented by the design team in the weekly production meeting Monday afternoon. LCA will provide an update of this information at next Monday



002950
Petra82261

morning's Mayor's Bldg Committee meeting.

I also confirmed with you that the bid date has been extended to April 3rd at 2:00 PM and that Addendum B will be published and released to the street tomorrow, Wednesday March 21, 2007. wwv

From: Ted Baird [<mailto:bairdt@meridiancity.org>]
Sent: Tuesday, March 20, 2007 4:13 PM
To: Gene Bennett; Wesley Bettis Jr.
Cc: Bill Nary; Will Berg
Subject: Information for City Council re Basement / Dewatering

Bill Nary will be the attorney handling the meeting this evening. If you have materials for the Council, please submit them to Bill, or City Clerk Will Berg.

From: Gary Christensen [Gary@tenthandbannock.com]

Sent: Monday, February 12, 2007 6:06 PM

To: Josh Hilderbrand

Cc: Ross Elder; Wesley Bettis Jr.

Subject: RE: Meridian City Hall Access Floor System

Can you break down your bid for me with better specifics for freight and labor? I know what we can do labor wise here and what we paid for freight last time, so maybe the final cost will be much closer than what is perceived. We're also making plans for our next project which will go to bid this summer and begin construction 3rd quarter. We will also need about 75,000 s.f..

Could you also clarify your comment about these being smaller projects, and hence higher/s.f. costs? 75-80,000 s.f. is smaller than the Banner Bank Building, and probably smaller than your typical project in Seattle, but it is still a big building in Idaho. And if we're going to transform the market into greener construction, we have to have steady sources for basic materials, like raised floor, for even smaller projects – one truck load at a time. Fortunately, there are enough suppliers to make the environment competitive, but I'd like to know where you guys stand with this market.

Thanks.

Gary F. Christensen

From: Josh Hilderbrand [mailto:JoshH@bdap.com]

Sent: Monday, February 12, 2007 4:23 PM

To: Gary Christensen

Subject: FW: Meridian City Hall Access Floor System

Mr. Christiansen,

Since the last time we have done business; Haworth material has gone up 4%, Labor for Installation(in Washington) is higher than Idaho's, The project is smaller and this will raise the price per square foot, and the freight to get material to Idaho is almost double that of FOB Washington. Please contact me if you have any other questions, my phone number is 425-368-2020.

Thank you,

Josh Hilderbrand

From: Ross Elder [mailto:Ross.Elder@Haworth.com]

Sent: Monday, February 12, 2007 2:30 PM

To: Josh Hilderbrand

Subject: FW: Meridian City Hall Access Floor System

Josh,

Can you respond to Gary on this?

Thanks

Ross Elder

NW Territory Manager - Flooring & Technology

Haworth Inc.

C 616-835-1792

F 425-379-0314

From: Gary Christensen [mailto:Gary@tenthandbannock.com]

Sent: Monday, February 12, 2007 2:14 PM

To: Ross Elder

Subject: Meridian City Hall Access Floor System

Ross:

What do you know about this? \$8.25 is impossible to justify. The \$6.50 installed would be 50% more for your materials than we paid. Have your raw costs really gone up this much, or is there something down the supply chain getting in the way? I'd like to help these guys get a greener building, and I'd like to see you guys get the business.

Gary

From: Wesley Bettis Jr. [mailto:wbettis@petrainc.net]
Sent: Monday, February 12, 2007 2:55 PM
To: Gary Christensen
Subject: Meridian City Hall Access Floor System

02-12-07

Gary:

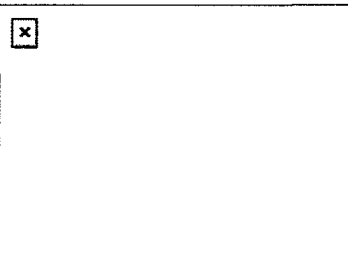
Greetings. We are working through the design for the Meridian City Hall and are looking at a bid date of the end of March. Right now the facility is designed with the Haworth Access Floor system, but our preliminary costs are more in the range of \$8.25/SF vs. the \$6.50 +/- you had indicated for the Banner Bank Building. Granted, the economy of scale is not as great for the 80,000 SF City Hall, but it has created some swift intakes of air from some of the Mayor's Building Committee.

Do you have the names of two or three Building Owners or Tenants of other buildings that are constructed with the same access floor and HVAC system as Banner Bank that we could use for references with the City of Meridian to answer some of their long term ownership and maintenance questions? They can be in Salt Lake City, Portland, Seattle, Sacramento, etc, I would just like some other names of buildings that have been in operation for a couple of years so we can address some of the concerns the City is raising.

Congratulations on the new building in downtown Boise "the rescue mission block" and on the new partnership with the City of Caldwell along Indian Creek for the public private joint venture for Caldwell's new City Hall. Being a resident of Caldwell's impact area, I will be watching those developments closely.

Thank you again for your time, and as always, if I can be of any assistance or provide you with additional information, please contact me at your convenience. wwv

*Wesley W Bettis, Jr.
Sr. Project Manager
PETRA, INC
9056 W. Blackeagle Dr.
Boise, ID 83709
Phone: 208.323.4500
Fax: 208.323.4507
E-Mail: wbettis@petrainc.net*



From: Gary Christensen [Gary@tenthandbannock.com]
Sent: Monday, February 19, 2007 3:08 PM
To: Wesley Bettis Jr.
Subject: RE: Meridian City Hall Access Floor System
Wes:

I've been negotiating on your behalf (and my behalf as well) with Chris Ervin of Tate Floors. He just quoted me over the phone \$3.10/s.f. for material, and around \$.75/s.f. for freight (perhaps as low as \$.65 – maybe \$.85 if oil spikes again when the product ships). I'd suggest calling Don Willis at DMSI who did our installation ((208) 375-8848 dmsicabinets@cableone.net) Our job got a little out of control with the delays our general caused us. You should be able to schedule a smoother installation and get the work done for somewhere around \$1.00/s.f. So the final cost should be a little bit either way of \$5.00/s.f. not the \$8.50 or even the \$6.50/s.f..]

Chris has pitched the architect, and I think he has called on someone at Petra before. He's a good guy, and Tate is probably the recognized leader in the field. He may be sending information directly to you. I'll forward what I get from him as well.

Hope this keeps the raised floor in the job. It really is key to a lot of things. The modular wiring that CII (Communications Integrated ?) does is a realy time and money saver. Romar did our work, but I think again with a little better organization than I provided this time around, you could do the majority of it with your own skilled labor rather than paying journeyman rates for the TI side.

Let me know if I can help any more.

Gary

From: Wesley Bettis Jr. [mailto:wbettis@petrainc.net]
Sent: Monday, February 12, 2007 2:55 PM
To: Gary Christensen
Subject: Meridian City Hall Access Floor System

02-12-07

Gary:

Greetings. We are working through the design for the Meridian City Hall and are looking at a bid date of the end of March. Right now the facility is designed with the Haworth Access Floor system, but our preliminary costs are more in the range of \$8.25/SF vs. the \$6.50 +/- you had indicated for the Banner Bank Building. Granted, the economy of scale is not as great for the 80,000 SF City Hall, but it has created some swift intakes of air from some of the Mayor's Building Committee.

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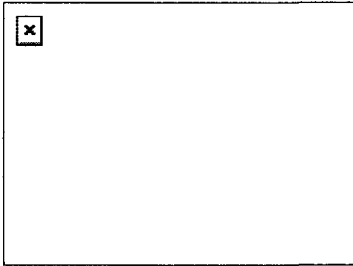
Congratulations on the new building in downtown Boise "the rescue mission block" and on the new partnership with the City of Caldwell along Indian Creek for the public private joint venture for Caldwell's new City Hall. Being a resident of Caldwell's impact area, I will be watching those developments closely.

Thank you again for your time, and as always, if I can be of any assistance or provide you with additional information, please contact me at your convenience. wwb

Wesley W Bettis, Jr.
Sr. Project Manager
PETRA, INC

002954
Petra82271

9056 W. Blackeagle Dr.
Boise, ID 83709
Phone: 208.323.4500
Fax: 208.323.4507
E-Mail: wbettis@petrainc.net



	Current Budget	\$/SF	Revised Budget	Delete Unfinished Area
Access Floor	\$739,518	\$ 10	\$739,518	\$138,447
Alt Access Floor	\$739,518	\$ 5	\$ 377,165	\$70,610
Savings			\$ 362,353	
Potential Plumbing Savings				

Design Clarification & Other Savings

Net Savings

Estimated Mechanical Savings Wet & Dry	\$ 400,000
Estimated Electrical Savings to Base Contract	\$ 50,000
Alternate Access Floor Supplier	\$ 362,353
Subtotal Estimated Savings	\$812,353

Other Savings Options

Unassigned Areas ~14,122 SF

Delete Finishes in Unassigned Areas @ \$10/SF	\$ 141,220
Delete Access Floor in Unassigned Areas @\$ 5/SF	\$ 70,610
Delete Electrical Distribution in Unassigned Areas	\$ 43,000
Subtotal	\$254,830

Delete Basement

Delete South Wing 4206 SF per Level

Concrete	\$ 67,992
Steel	\$113,571
Curtain Wall Framing	\$ 19,000
Masonry (Less Add for Main wing)	\$ 85,563
Glazing & Storefront	\$ 29,148
Access Floor	\$ 42,060
Finishes @ \$10/SF	\$ 84,120
Mechanical	\$239,742
Electrical	\$189,438
Subtotal Estimated Savings	\$ 870,634

Bldg Options 04-03-07.doc

- The agency approval for permanent de-watering discharge will still be required, but the volume of water will be greatly reduced, but the potential of a filtering system should be addressed once the volume is determined.
 - **Net savings** of ~\$300,000 based on reduced excavation, increased structural fill requirements, no temporary de-watering and adding back in a more generic permanent de-watering system.
4. Add a fourth level between the second and third levels to create a 4-story building and delete the basement.
- Re-design could add 90 days to the schedule on the front end of the project which would translate into 45-60 days on the move-in date to November 1, 2008.
 - Cost for this work to match the interior and exterior of the building to be between **\$1.7 and \$2.0 Million in additional cost.**



9056 W. BLACKEAGLE DR. • BOISE, ID 83709 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

E-MAIL MEMO

DATE: April 3, 2007
TO: Steve Simmons
LCA
FROM: Wesley Bettis
RE: Meridian City Hall

Steve:

Corresponding to your letter of April 1, 2007, Petra Incorporated has reviewed the options available to the City regarding the building design and developed the following input regarding cost and schedule impact on the City Hall project.

1. Leave project as designed

- Wait on agency approvals for de-watering discharge after de-watering design is complete.
- 60 to 75 days delay in starting the project, if agency approval is given.
- Mid October 2008 move-in date vs. planned August 1, 2008 occupancy.
- Cost impact will include additional winter heat and tent costs for masonry work and inflation associated with the construction pricing between now and the actual start dates.

2. Delete the basement, re-design structure and re-distribute floor space.

- 30 to 45 day delay before structural design is re-calculated, but only a two week delay to the occupancy date from August 1, 2008 to August 15, 2008.
- **Net savings** of \$1.1 Million to \$1.3 Million off the budget depending on the amount of files and other load distribution moved to the upper floors.

3. Raise the building finished floor elevation by approximately 4-0 and keep the basement.

- 25 to 35 day delay in re-design to the structural fill and back-up de-watering system. Adds approximately two weeks to the move-in date from August 1, 2008 to August 15, 2008.

3) Time impact to delete the basement in design time and construction time:

Re-design complete	04-27-07
Masonry would require additional tent and heat costs starting 09-17-07	ending 12-07-07
Completion of roof installation and "dry-in" of building	11-12-07
Move-In by the City gets pushed back two weeks to	08-15-07

- 4) A temporary or permanent irrigation line will be installed by April 13, 2007. Petra, Inc. has solicited bids and the City will issue a Purchase Order to Blue Rock in a unit cost, not to exceed \$24,000 to set up to four lift boxes and the appropriate buried piping to carry the user ditch water to the Meridian Rd. crossing. It does not appear, per confirmation in the later afternoon of exploratory excavation, that the contaminated soils will extend all the way to the brick pile. So the limits of the excavation area have been established to all four compass points. This will allow the installation of the permanent irrigation solution prior to the water being turned into the ditch on April 16, 2007.
- 5) The brick pile needs to be moved. Several suggestions have been put forward, including having the bricks loaded into end dumps and delivered to a site within the City. Petra, Inc has also solicited bids for a rented yard in Nampa. Another suggestion was to find two or three dumpsters or sturdy shipping bins that 2,000 to 3,000 brick could be loaded into, and then the bins could be stored behind the City Police facility, or other appropriate location and get them off the and out of harms way.



9056 W. BLACKEAGLE DR. • BOISE, ID 83709 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

E-MAIL MEMO

Meridian City Hall Project

Date: March 26, 2007

To: Mr. Brad Watson
watsonb@meridiacity.org

RE: Weekly Production Meeting Recap

Brad:

Subsequent to the meeting minutes being issued and distributed from Monday's meetings, this memo is to recap the most critical items that were discussed for clarification.

- 1) Dewatering costs and time frame. The costs associated with dewatering the basement excavation area for the new City Hall building footprint include:

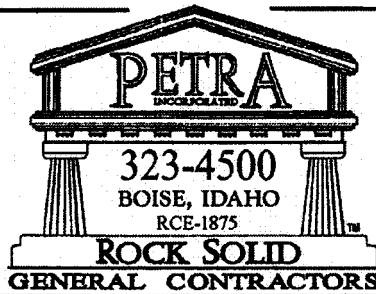
Temporary De-watering delivery system to 9-Mile Creek.....	\$ 85,000.00
Permanent Dewatering system under building.....	\$ 75,000.00
Bentonite Grout to seal-off contamination under Meridian Rd.....	\$100,000.00
Waterproofing Basement	<u>\$ 70,000.00</u>
Total Construction Cost to de-water and waterproof basement.....	\$330,000.00

Total Estimated Cost for Basement with dewatering.....\$1,330,000.00

Estimated annual cost to run dewatering system with quarterly water quality tests\$ 5,000.00

- 2) Time impact on project schedule related to de-watering issue:

Waiting to start excavation on basement until Agency approvals are in place	6-22-07
Masonry will then require additional tent and heat costs starting	10-29-07 ending 1-28-08
Completion of roof installation and "dry-in" of building	12-24-07
Move-in by the City gets pushed back to	10-17-08



TRANSMITTAL
No. 00038

9056 W. BLACKEAGLE DR. • BOISE, ID 83709 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

PROJECT: Meridian City Hall
TO: City of Meridian
660 E Watertower
Ste 200
Meridian, ID 83642
ATTN: Brad Watson

DATE: 2/20/2007
REF: Meridian City Hall
PHONE: 898.5500
FAX: 898.9551
CELL: 631.6469

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input checked="" type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input checked="" type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input type="checkbox"/> Plans		<input type="checkbox"/> Submit
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned
<input type="checkbox"/> Specifications	<input type="checkbox"/> Attached	<input type="checkbox"/> Returned for Corrections
<input checked="" type="checkbox"/> Other: Contract Forms	<input checked="" type="checkbox"/> Separate Cover Via: Previous Hand Delivery	<input type="checkbox"/> Due Date:

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	2/16/2007			Electrical Engineering Plan Review for Value Meeting Minutes	NA
2	1	2/19/2007			Mechanical Engineering Plan Review for Value Meeting Minutes	NA
3	1				Draft AIA Document A101/CMa-1992 Agreement Between Owner and Contractor	NA
4	1				Draft AIA Document A201/CMa - 1992 General Conditions of the Contract for Construction.	NA

Remarks: Brad:

Items 1 & 2 are for your records regarding meetings Petra has held with the Electrical and Mechanical Engineers for the Meridian City Hall project to review design and look at cost per value options that may be available to the City.

Items 3 & 4 are for your transmittal to Ted Baird to be passed along to Frank Lee as standard contract forms that Petra has and is utilizing on Public Works Construction Management projects for school district work, as requested by Mr. Lee.

CC: File

Signed: 

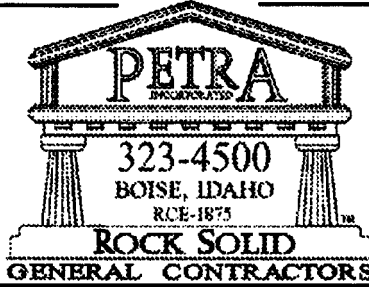
Wes Bettis

Expedition®

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002962

PETRA88795



MEETING MINUTES
No. 00014

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

PROJECT TITLE: Meridian City Hall
LOCATION: LCA Office

MEETING DATE: 3/14/2007
SUBJECT: Meeting with Elk Mountain Engineering

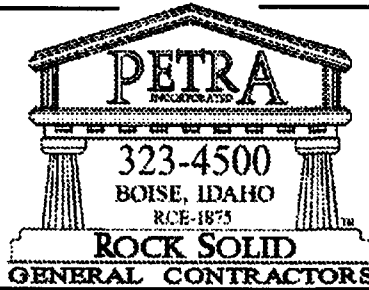
ITEM	STATUS	STARTED	DUE	BALL IN COURT
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00001	NEW			
Overview: Building dewatering, construction duration, and long term. Solutions for removal, ACHD storm drain, 9 Mile Creek.				

Prepared By: Petra Incorporated

Dated: 5/26/2009

Expedition 6



MEETING MINUTES

No. 00007

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

PROJECT TITLE: Meridian City Hall

MEETING DATE: 2/19/2007

LOCATION: Engineering, Inc.

SUBJECT: Mechanical Engineering Review

ATTENDED	INITIALS	ATTENDEE NAME	COMPANY NAME
Y	GB	Gene Bennett	Petra Incorporated
Y	GM	Greg Marshall	DeBest Plumbing
Y	MW	Mike Wisdom	Engineering Inc
N	RL	Randy LaMott	TML LLC
Y	TML	Tim Landers	Heery International, Inc.
Y	WB	Wes Bettis	Petra Incorporated

ITEM	STATUS	STARTED	DUE	BALL IN COURT
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00001	NEW	2/19/2007		DEBPLU G M
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Greg Marshall noted that copper piping was scheduled to increase in price today and stainless steel is expecting an increase very soon as well.

00002	NEW	2/19/2007		DEBPLU G M
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Greg Marshall asked if grooved piping would be acceptable to straight pipe, where anything 2" and above O.D. would need to be welded. Mike Wisdom noted his concern with failures with the fittings in the past. Greg noted a potential savings in the neighborhood of \$250 to \$400 Thousand depending on the final design and LF of pipe.

00003	NEW	2/19/2007		PETRA GB
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Discussion with Mike, Greg, Gene noted that the plumbing budget was approximately ~\$12.80/SF with total Mech budget by Engineer's Estimate of \$31.00 SF

00004	NEW	2/19/2007		TMLINC. RL
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Randy LaMott at TML, Inc joined the conversation via conference call and reviewed the design updates on the drawings and the system assumptions. He noted that based on similar projects he would expect to be around \$21,50/SF with controls.

00005	NEW	2/19/2007		PETRA GB
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Gene Bennett asked if based on the design of other buildings a savings of \$300,000 was attainable on this project at a minimum.

00006	NEW	2/19/2007		ENGINC MW
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Additional discussion took place on the costs relative to the basement system, the control systems and required number of modules.

00007	NEW	2/19/2007		HEERY TML
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Tim Landers noted that Victaulic & Grinnel are going to 10 year warranties on Labor & Material because of the past issues with the Grooved Pipe. In general comment he also noted that the key to the underfloor air movement system is in sealing the bulkhead penetrations to allow the "plenum" to operate at peak efficiency.

00008	NEW	2/19/2007		ENGINC MW
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Mike has a value engineering solution to go to three or four roof top package units vs. the box cars and chiller units. It would also eliminate the chilled water piping and insulation. Cost in the system would be \$4/CFM.

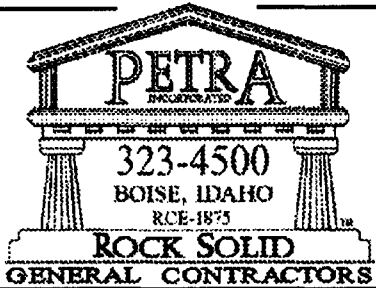
00009	NEW	2/19/2007		PETRA GB
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Gene Bennett closed with looking at a potential savings of \$400,000 to \$500,000 off the current budget. Options to the City can include eliminating the basement and/or eliminating the south wing. Further discussions and review will occur over the next few days leading into next Monday's meeting with the Mayor's Building Committee.

Prepared By: Petra Incorporated

Dated: 5/26/2009

Expedition ④



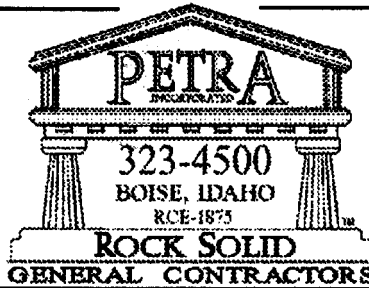
1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

ITEM	STATUS	STARTED	DUE	BALL IN COURT
00012	NEW	2/15/2009	EIDAM	GJ
Geoff offered that there are at least three viable under floor electrical distribution systems on the market that will meet with his scrutiny and Kevin confirmed that this will help the costs through competitive bidding.				
00013	NEW	2/15/2009	EIDAM	GJ
The fire alarm system will be specified as a Silent Knight addressable system or approved equal so that there will be no proprietary spec concerns, however, the fire alarm system wiring will be required to be in metal raceways.				
00014	NEW	2/15/2009	EIDAM	GJ
There will be an Audio-Visual component to the design that is not yet defined and may become part of an Owner FF&E bid package. The extent and estimated cost of this component is not yet known.				

Prepared By: Petra Incorporated

Dated: 5/26/2009

Expedition 3



MEETING MINUTES
No. 00006

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

PROJECT TITLE: Meridian City Hall

MEETING DATE: 2/16/2007

LOCATION: Petra Office

SUBJECT: Electrical Design Review with EE

ATTENDED	INITIALS	ATTENDEE NAME	COMPANY NAME
Y	AS	Arthur J. Stevens	Petra Incorporated
N	GB	Gene Bennett	Petra Incorporated
Y	GJ	Geoff Johnson	Eidam & Associates
Y	DOR	Kevin Perez	Mountain Power Electrical Contr.
N	STS	Steve Simmons	LCA Architects, PA
Y	WB	Wes Bettis	Petra Incorporated

ITEM	STATUS	STARTED	DUE	BALL IN COURT
00001	NEW	2/15/2007		PETRA WB
Purpose of the meeting is to review the 30% TI design with Electrical Engineer				
00002	NEW	2/15/2007		EIDAM GJ
Geoff noted that the under floor electrical development in the unassigned areas is now pulled out of the plans which will have the effect of lowering the overall bid/cost to the project.				
00003	NEW	2/15/2007		MOUPOW KP
Kevin started with the "red flag" items in his plan review with the site/plaza lighting. He noted that the specific bollard light specified is an expensive model and an alternate may provide some cost savings.				
00004	NEW	2/15/2007		MOUPOW KP
The next plaza lighting item addressed were the sidewalk lights. Geoff noted that they may be a costly fixture but are necessary to the safety and function of the plaza use.				
00005	NEW	2/15/2007		MOUPOW KP
Kevin asked if the LED lights in the "faux water feature" could be listed as an alternate. He also suggested that the convenience lights in the amphitheater be shown on the steps, but listed as an add alternate for the seating area. Geoff agreed that this was a reasonable idea.				
00006	NEW	2/15/2007		EIDAM GJ
This led to additional discussion about breaking the plaza electrical out of the base building budget. Kevin noted and Geoff agreed that this was probably a \$250,000 to \$300,000 line item, but he had not included the lighting to this extent. It would be best to break the plaza electrical away from the building to allow the City to focus on the building budget and still have an understanding of how the plaza is developing.				
00007	NEW	2/15/2007		EIDAM GJ
Geoff emphasized that if the access floor system is now eliminated, the biggest impact will be the schedule for the delivery of design and there could be some increase in costs to the electrical distribution system within the building				
00008	NEW	2/15/2007		MOUPOW KP
Other items reviewed by Kevin included confirming the size of the emergency generator which is to be a 100 KW so no cost savings there.				
00009	NEW	2/15/2007		MOUPOW KP
Interior and Exterior lighting could result in some savings, perhaps as much as \$10,000 depending on the final quantity and selected fixture				
00010	NEW	2/15/2007		MOUPOW KP
There could be savings in the range of \$15,000 if the secondary power feeds were in Aluminum vs. copper. Geoff noted that he was not keen on the idea, but would entertain it as an option.				
00011	NEW	2/15/2007		MOUPOW KP
MC cable behind the wall and above the ceilings back to the main j-boxes with home runs to the panel in hard pipe might result in savings up to \$35,000. Geoff noted that the 60% specs & drawings addressed that since the under floor was already in MC cable it made a whole lot of sense.				



Project: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 271 of 271

Date	Number	Re:	To	Attention	From	Signed

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	7/1/2009				Cement sam.ple	

Remarks: Please see the attached sample

8/4/2009 01004 Punchlist Sign Off City of Meridian Tom Johnson Petra Incorporated Barb Crawford

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	8/4/2009				Punchlist Sign Off Sheet	

Remarks: Please see attached punchlist sign off sheet for your signature. Please return to Petra, Inc.

Thank you!

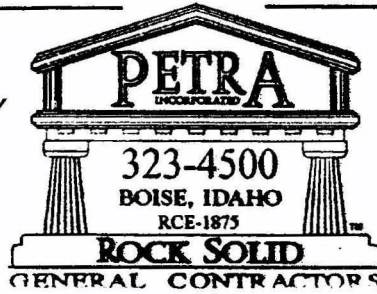
Barb

8/25/2009 01005 ID Airship Photos City of Meridian Keith Watts Petra Incorporated Barb Crawford

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	8/25/2009				Photo disk of all archived Idaho Airship Photos.	

Remarks:

POOR COPY



Project Name: Meridian City Hall

Date: 6/10/2009

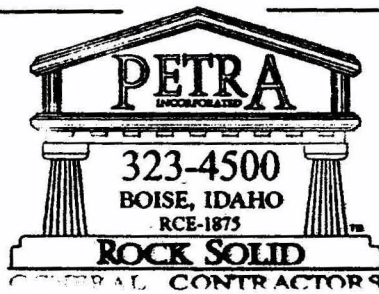
Project No: 06-0675

Page: 270 of 271

Date Number Re: To Attention From Signed

ITEM NO.	QUANTITY	DATE	FROM	NUMBER	ATTN NO.	DESCRIPTION	STATUS
			Exhibitor			Tracker	
01	1	6/1/2009		Exhibit A		Item #3 Project Budgets	
02	1	6/1/2009		Exhibit A		Item #4 Project Schedules	
03	1	6/1/2009		Exhibit A		Item #5 Meeting Minutes - Mayors Bldg Committee	
04	1	6/1/2009		Exhibit A		Item #6 Meeting Minutes - Progress	
05	1	6/1/2009		Exhibit A		Item #7 Meeting Minutes - Other	
06	1	6/1/2009		Exhibit A		Item #9 MCH Daily Reports 2007	
07	1	6/1/2009		Exhibit A		Item #10 MCH Daily Reports 2008	
08	1	6/1/2009		Exhibit A		Item #15 Contaminated Soils and Ground Water	
09	1	6/1/2009		Exhibit A		Item #17 Force Account	
10	1	6/1/2009		Exhibit A		Item #21 MCH Budget Core	
11	1	6/1/2009		Exhibit A		Item #22 MCH Budget Shell	
12	1	6/1/2009		Exhibit A		Item #26 Value Engineering	
13	1	6/1/2009		Exhibit A		Item #29 Change Orders 3 Binders	
14	1	6/3/2009		Exhibit B		Item #30 Response to Completion of Development Strategies	
15	1	6/3/2009		Exhibit B		Item #31 At Completion of Site	
16	1	6/3/2009		Exhibit B		Item #33 At Preliminary Desing Phase .4.1 documents	
17	1	6/3/2009		Exhibit B		Item #33a Written plan for management	
18	1	6/3/2009		Exhibit B		Item #33b Project Schedule defined 4.4.1b	
19	1	6/3/2009		Exhibit B		Item #35 Copies and all Communications.....	
20	1	6/3/2009		Exhibit B		Item #36b Value Eng. Using Communications	
21	1	6/3/2009		Exhibit B		Item #38 Monthly Reports & So.1 MCH CO Report	
22	1	6/3/2009		Exhibit B		Item #40 Pay Applications	
23	1	6/3/2009		Exhibit B		Item #41c Personnel Resumes	
24	1	6/3/2009		Exhibit B		Item #44 Weekly Schedules	
25	1	6/3/2009		Exhibit B		Item #47 Photographs	
26	1	6/3/2009		Exhibit B		Item #48 Emails	
27	1	6/3/2009		Exhibit B		Item #49 Written Communication Petra and City Petra and General Contractors Petra and DEQ Petra and Others	
28	1	6/5/2009		Exhibit B		Item #51 LEED Info & Data	

Remarks: Note - Items 1-24 & 26 - 28 on flash drive #1. Item #25 Photos on flash drive #2.



1097 N. BROAD STREET • MERIDIAN, IDAHO • 83428

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 269 of 271

Date	Number	Re:	To	Attention	From	Signed
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Christensen

001	1	5/6/2009			Pay Application NO. 30 dated 4-30-09	
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Remarks:

~~5/12/2009 00997 Pay App #30 City of Meridian Keith Watts Petra Incorporated Tom Coughlin~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	5/12/2009			April 2009 Pay APP #30. Meridian City Hall	

Remarks:

~~5/20/2009 00998 CO#04 Apex City of Meridian Keith Watts Petra Incorporated Tom Coughlin~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	5/20/2009			Change Order NO., 004 Apex Integrated Security Solutions for Window Repair. NOTE: Change Order NO. 005 is to be VOIDED per Agreement between City of Meridian and Apex	

Remarks:

~~5/26/2009 00999 Submittal LCA Architects PA Steve Simmons Petra Incorporated Tom Coughlin~~
03-450-01

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
001	6	5/26/2009	SUB 03-450-01	001	Desc: Precast Concrete Coping Pieces - Mix Design & Sample	NEW

Remarks: Mix Design for precast concrete coping pieces to replace cast stone received from Alpha Masonry & Custom Foam & Product. Copy given to Keith Watts for review and approval.

~~5/29/2009 01000 Change Order All Subs To whom it may concern Petra Incorporated Barb Crawford~~
copies

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	5/29/2009			Your copy of Meridian City Hall fully executed change order.	

Remarks: I recently received the attached change order copy (s). Please find attached a copy of your fully executed change order for Meridian City Hall for your records.

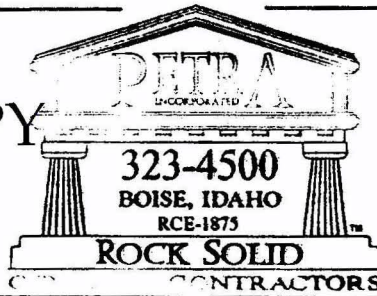
~~6/5/2009 01002 Submittal Alpha Masonry Steve Simmons Petra Incorporated Tom Coughlin~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
	2	6/5/2009	SUB 03-450-01	6001	Title: Precast Conc Coping - Water Feature Desc: Precast Concrete Coping Pieces - Mix Design & Smp	AAN

Remarks: Approved to reduce strength to 3500 psi.

cc:
City of Meridian- Keith Watts

POOR COPY



1107 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE (208) 323-4500 • FAX (208) 323-4501

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0075

Page: 268 of 271

Date	Number	Re: To	Att: From	File	By
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Surety

Retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00990 Consent of Paige Mechanical Group, Joe Paige Petra Incorporated Gene Bennett
Surety/WH5 Inc.

Remarks: Petra, Inc has not received your Consent of Surety and the Idaho State Tax Commission has not received your WH5 for Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00991 Consent of Pro-Tech Roofing Scott Lottman Petra Incorporated Gene Bennett
Surety

Remarks: Petra, Inc has not received your Consent of Surety for Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00992 Consent of Axelsen Concrete Paul Axelsen Petra Incorporated Gene Bennett
Surety Construction, LLC

Remarks: Petra, Inc has not received your Consent of Surety for Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00993 Consent of Coborn Construction, Inc. Petra Incorporated Gene Bennett
Surety

Remarks: Petra, Inc has not received your Consent of Surety for Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/8/2009 00994 Bond Status Allied Bonding Petra Incorporated Barb Crawford

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
001	1	4/8/2009			Bond Status Paige Mechanical Group	
002	1	4/8/2009			Bond Status Idaho Custom Wood Products.	

Remarks:

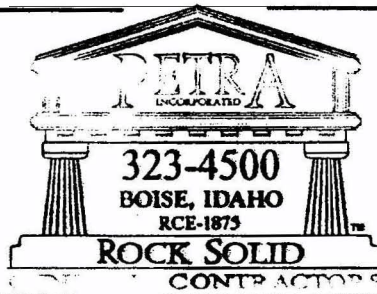
4/15/2009 00995 Submit C City of Meridian Petra Incorporated Tom Scudliffe

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	4/15/2009			Copy of Job Submittals	

Remarks:

POOR COPY

Transmittal Log



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-1070

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 09-0675

Page: 257 of 271

Date	Number	Re:	To	Attention	From
		Surety		Gettencourt	

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00983 Consent of Buss Mechanical John Buss Petra Incorporated Gene Bennett
 Surety

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00984 Consent of Hobson Fabricating Corp. Pat Clover Petra Incorporated Gene Bennett
 Surety

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00985 Consent of Tri-State Electric Jay Gooden Petra Incorporated Gene Bennett
 Surety

Remarks: Petra, Inc has not received your Consent of Surety for Phase III AND Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00986 Consent of TTE-PreCom Mid Astleford Petra Incorporated Gene Bennett
 Surety

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00987 Consent of Advanced Sign Jim Neman Petra Incorporated Gene Bennett
 Surety

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009 00988 Consent of ABL Contracting Tom Darnall Petra Incorporated Gene Bennett
 Surety

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

POOR COPY

Transaction Log



1007 N. MERIDIAN STREET • MERIDIAN, IDAHO 83402

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0075

Page: 266 of 271

Date	Number	Re:	To	Attention	From	By
4/6/2009	00975	Consent of Surety	Designated Surety	Keith Martin	Petra Incorporated	Gene Bennett

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00976	Consent of Surety	Commercial Painting Contractors, Inc	Keith Martin	Petra Incorporated	Gene Bennett
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Remarks: Petra, Inc has not received your Consent of Surety for Phase III AND Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00977	Consent of Surety	Commercial Painting Contractors, Inc	Keith Martin	Petra Incorporated	Gene Bennett
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Remarks: Petra, Inc has not received your Consent of Surety for Phase III AND Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00978	Consent of Surety/WH5	Apex Integrated Security Solutions	Bill Atkinson	Petra Incorporated	Gene Bennett
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Remarks: Petra, Inc has not received your Consent of Surety and the Idaho State Tax Commission has not received your WH5 for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00979	Consent of Surety	Pac-West Interiors	Steve Packard	Petra Incorporated	Gene Bennett
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Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00980	Consent of Surety	Intermed Interiors	Jason Tibboe	Petra Incorporated	Gene Bennett
----------	-------	-------------------	--------------------	--------------	--------------------	--------------

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00981	Consent of Surety	Intermed Interiors	Jason Tibboe	Petra Incorporated	Gene Bennett
----------	-------	-------------------	--------------------	--------------	--------------------	--------------

Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

POOR COPY



1097 N. BROADWAY STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 265 of 271

Date	Number	Re:	To	Attention	From
4/6/2009	00969	WH5 Notice	Seal Co.	Mike Devaney	Petra Incorporated

Remarks: The Idaho State Tax Commission has not received your WH5 for Phase II AND Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00970	Consent of Surety	Starwalks LLC	Ben Bardot	Petra Incorporated
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Remarks: Petra, Inc has not received your WH5 for Phase II AND Phase IV for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00971	Consent of Surety	Architectural Building Supply	Stewart Jensen	Petra Incorporated
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Remarks: Petra, Inc has not received your Consent of Surety for Phase II for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00972	Consent of Surety	Idaho Custom Wood Products	Ken Shockey	Petra Incorporated
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Remarks: Petra, Inc has not received your Consent of Surety for Phase II AND Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00973	Consent of Surety	Idaho Beltrami	Michael	Petra Incorporated
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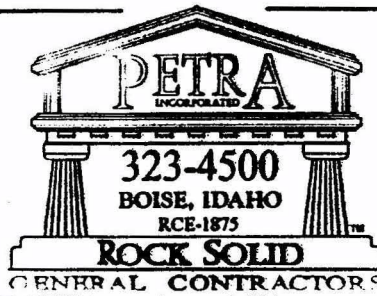
Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00974	Consent of Surety	American Walcott	Brendy Perez	Petra Incorporated
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Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.

4/6/2009	00975	Consent of Surety	American Walcott	Brendy Perez	Petra Incorporated
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Remarks: Petra, Inc has not received your Consent of Surety for Phase III for the Meridian City Hall project. All paperwork must be complete before retention will be released. Please process necessary paperwork immediately. Your prompt attention is appreciated.



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 264 of 271

Date: 3/26/2009 Number: 00973 Re: JCA's To: City of Meridian Attention: Keith Watts From: Petra Incorporated By: Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/26/2009				Budgeted Contract Amendment for Western Roofing NO. 003 (Phase 2) - For Signature	
0002	1	3/26/2009				Budgeted Contract Amendment for Aarchitectural Building Supply NO. 010 (Phase 3) - For Signature	
0003	1	3/26/2009				Budgeted Contract Amendment for TTE-PreCom NO. 006 (Phase 3) - For Signature	
0004	1	3/26/2009				Budgeted Contract Amendment for Idaho Custom Wood Products NO. 005 (Phase 3) - For Signature	

Remarks:

3/27/2009 00965 NOT City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/27/2009				Notice of Termination of Coverage Under an NPDES General Permit for Stormwater Discharge Associated with Construction Activity.	

Remarks:

4/3/2009 00966 Bond Status Allied Bonding Jen Petra Incorporated Barb Crawford

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
001	1	4/3/2009				Bond Status Alpha Masonry	
002	1	4/3/2009				Bond Status Commercial Painting Contractors-Phase IV	
003	1	4/2/2009				Bond Status Buss Mechanical	
004	1	4/3/2009				Bond Status Apex Integrated Security Solutions	
005	1	4/3/2009				Bond Status Cobblestone Construction	
006	1	4/3/2009				Bond Status Axelsen Concrete Construction-East Parking	
007	1	4/3/2009				Bond Status Axelsen Concrete Construction Phase IV	
008	1	4/3/2009				Commercial Painting	

Remarks:

4/6/2009 00967 Bond Status Allied Bonding Jen Petra Incorporated Barb Crawford

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
001	1	4/6/2009				Bond Status Sidewalk LLC	
002	1	4/6/2009				Bond Status MR Priest dba Advanced Signs	
003	1	4/2/2009				Bond Status Integrated Interiors	

Remarks:

POOR COPY



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 263 of 271

Date	Number	Re:	To	Attention	From	Signed
3/17/2009	00959	Pay App. #28	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/17/2009				February 2009 Pay APP #28. Meridian City Hall	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
3/19/2009	00960	BGA	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/19/2009				Budgeted Contract Amendment for Commercial Painting NO. 007 (Phase 3) - For Signature	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
3/19/2009	00961	BGA	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/19/2009				Budgeted Contract Amendment for Simplex Grinnell NO. 005 (Phase 3) - For Signature	
0002	1	3/19/2009				Budgeted Contract Amendment for Buss Mechanical NO. 007 (Phase 3) - For Signature	
0003	1	3/19/2009				Budgeted Contract Amendment for Architectural Building Supply NO. 009 (Phase 3) - For Signature	
0004	1	3/19/2009				Budgeted Contract Amendment for Tri State Electric INC. 006 (Phase 3) - For Signature	
0005	1	3/19/2009				Budgeted Contract Amendment for Rule Steel NO. 002 (Phase 2) - For Signature	
0006	1	3/19/2009				Budgeted Contract Amendment for Rule Steel NO. 003 - For Signature	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
3/24/2009	00962	BGA	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/24/2009				Budgeted Contract Amendment for Hobson Fabricating NO. 006 (Phase 3) - For Signature	
0002	1	3/24/2009				Budgeted Contract Amendment for American Wallcover NO. 006 (Phase 3) - For Signature	

Remarks:

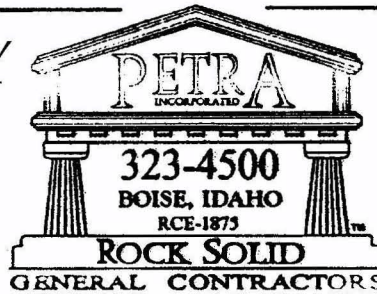
Date	Number	Re:	To	Attention	From	Signed
3/24/2009	00963	BGA	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/24/2009				Budgeted Contract Amendment for AATronics NO. 006 (Phase 3) - For Signature	

Remarks:

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Transmittal Log



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 3/16/2009

Project No: 06-0675

Page: 262 of 271

Date: 3/5/2009 Number: 1 Rev: 1 To: City of Meridian Attention: Keith Watts From: Petra Incorporated File: 06-0675-001

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/5/2009			Budgeted Contract Amendment for Sunshine Landscape NO. 002 (East Parking Lot) - For Signature	
0002	1	3/5/2009			Budgeted Contract Amendment for Sunshine Landscape NO. 003 (Plaza) - For Signature	

Remarks:

~~3/11/2009 00954 Training Videos City of Meridian Eric Jenson Petra Incorporated Nick Ploetz~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/11/2009			Grago External Hard Drive w/ Training Videos	

Remarks:

~~3/12/2009 00955 Misc CO's LCA Architects, PA Steve Christensen Petra Incorporated Tom Coughlin~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
001	1	3/12/2009			Change Order NO. 003 with backup for Rule Steel.	
002	1	3/12/2009			Change Order NO. 007 with backup for Commercial Painting	

Remarks: Please see the attached for:
CO#007 - Commercial Painting
CO#003 - Rule Steel

~~3/12/2009 00956 BCA City of Meridian Keith Watts Petra Incorporated Tom Coughlin~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/12/2009			Budgeted Contract Amendment for Advanced Sign NO. 003 (Phase 3) - For Signature	

Remarks:

~~3/16/2009 00957 Pay App #6 City of Meridian Keith Watts Petra Incorporated Tom Coughlin~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/16/2009			Feb. 2009 Pay Request #6 - East Parking Lot. LCA signed cover sheet only. Pay application delivered previously.	

Remarks:

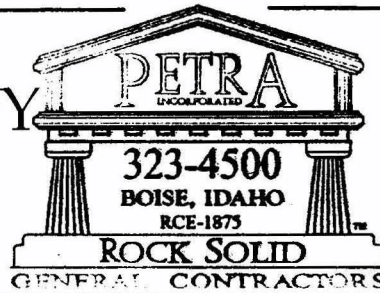
~~3/16/2009 00958 Pay App #27 City of Meridian Keith Watts Petra Incorporated Tom Coughlin~~

27

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	3/16/2009			Jan. 2009 Pay Request #27. Meridian City Hall building and plaza.	
0002	1	3/16/2009			Jan 2009 Pay Request #5 - East Parking Lot.	

Remarks:

POOR COPY



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 00942

Page: 261 of 271

Date: 2/25/2009 Number: 00942 Rev: 1 To: City of Meridian Attention: Ed Ankenman From: Petra Incorporated Project: Meridian City Hall
Maintenance Docu

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1				Misc. Key list and Related Keys for Maint. Purposes	
0002	1				User guide manual for SimplexGrinnell Fire Monitoring Panel	
0003	4				Programming manuals for the Lighting Control Panels	
0004	1				Elevator Maintenance Log Book For Elevator 1 & 2	
0005	1				Elevator Maintenance Log Book For Elevator 3	

Remarks: This will complete all Misc. Turn over documents for Building operations.

3/2/2009 00942 Change Order All Meridian City Hall All Contractors Petra Incorporated Tom Coughlin Contractors

Remarks: The City of Meridian has decided to back charge all Contractors working in the building for paint due to trade damage. Please sign both documents and return a copy with ORIGINAL signature to the Petra office. In order to closeout retentions I felt this was the best way to proceed. If this is not acceptable please call me at the office. Thanks, Tom Coughlin

3/4/2009 00951 As Build City of Meridian Ed Ankenman Petra Incorporated Jack Vaughan documents

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	2		1 page		As Build Drawing for Phase IV - Terra West	
0002	2		1 page		As Build Drawing for Phase IV - MR Miller	

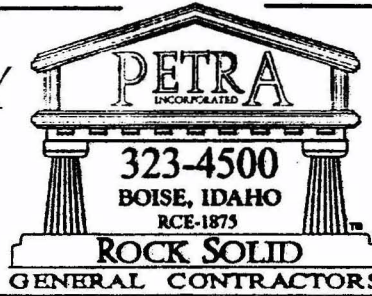
Remarks:

3/4/2009 00952 As Build City of Meridian Ed Ankenman Petra Incorporated Jack Vaughan documents

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1				Grand Master Key	
0002	1				Park Department master Key - Heritage Building	
0003	1				MCH security access badge - Jack Vaughan	
0004	1				MCH security access badge - Justin Boggs	

Remarks:

POOR COPY



Transmittal Log

1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Plaza Date: 2/18/2009
 Project No: 00943 Page: 001 of 071

Date: 2/18/2009 Number: 00943 Re: Meridian City Plaza Attention: Keith Watts From: Petra Incorporated
 Off

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	2/18/2009				6 pages - Punch list for interior of building Signed off by Ed Ankenman	

Remarks:

2/19/2009 00946 Sealer Samples - City of Meridian Keith Watts Petra Incorporated Jack Vaughan
 Water F

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1					Original - unfinished Sandstone block	
0002	1					Sandstone block w/ specified sealer	
0003	1					Sandstone block w/ epoxy sealer	

Remarks: Samples of sealer on Sandstone block at water features of the plaza. Please provide comments/acceptance by March 2, 2009.

2/20/2009 00947 Consent of City of Meridian Keith Watts Petra Incorporated Barb Crawford
 Surety

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	2/20/2009				Consent of Surety to Final Payment - Simplex Grinnell	

Remarks: Samples of sealer on Sandstone block at water features of the plaza. Please provide comments/acceptance by March 2, 2009.

2/25/2009 00948 Signed Punch City of Meridian Keith Watts Petra Incorporated Jack Vaughan
 lists

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	2/18/2009		2 pages		Final signed Punch list for Site & Plaza	
0002	1	2/24/2009		1 page		Final signed Punch list for East Parking Lot	

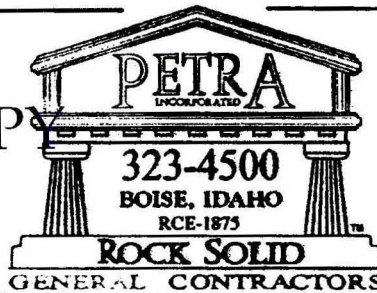
Remarks:

2/26/2009 00949 Consent of City of Meridian Keith Watts Petra Incorporated Barb Crawford
 Surety

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	2/26/2009				Consent of Surety for Pac-West Interiors attached.	

Remarks:

POOR COPY



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

From: Meridian City Hall Date: 01/10/2009

Date: 01/26/09 Number: 00943 Re: Change Order To: All Subs Attention: To whom it may concern From: Gene Bennett Subject: Change Order copies

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	2/9/2009				Your copy of Meridian City Hall fully executed change order.	

Remarks: I recently received the attached change order copy (s). Please find attached a copy of your fully executed change order for Meridian City Hall for your records.

2/9/2009 00941 Punch List Items Buss Mechanical John Buss Petra Incorporated Gene Bennett

Remarks: John...

Attached is the original punch list recently given to me by the City...please give me a call to discuss....bx, gb

2/12/2009 00943 BCAs City of Meridian Keith Watts Petra Incorporated Gene Bennett

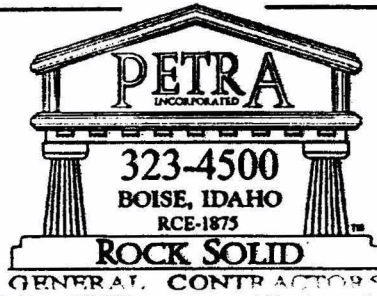
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	2/12/2009				Budgeted Contract Amendment for Terra West #01 (Plaza) - For Signature	
0002	1	2/12/2009				Budgeted Contract Amendment for Architectural Building Supply #03 (Phase 3) - For Signature	
0003	1	2/12/2009				Budgeted Contract Amendment for Hobson Fabricating #05 (Phase 3) - For Signature	

Remarks:

2/17/2009 00944 As-Build documents City of Meridian Eric Jenson Petra Incorporated Jack Vaughan

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	2					As Build Drawings for Phase II - Core & Shell	
0002	2					As Build Drawings for Phase III - TI Finish & MEP's	
0003	2					As Build Drawings for Phase IV - Site Work & Plaza	
0004	2					As Build Drawings for Phase V - East Parking Lot	
0005	2					As Build Drawings for Phase VI - Interior Signage	
0006	2					RFI Books (2 sets of 1 thru 230)	
0007	4					ASI Books (2 sets of 1 thru 168)	
0008	2			34 pages		As Build Drawings From Buss Mechanical - Plumbing	
0009	2			39 pages		As Build Drawings from Hobson - HVAC	
0010	2			14 pages		As Build Drawings from Simplex Grinnell - Fire Sprinkler	
0011	2			52 pages		As build Drawings from Tri-State - Building Electrical	
0012	2			37 pages		As build Drawings from Tri-State - Plaza/Site Electrical	

Remarks:



1097 N. PARKWAY STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 2/10/2009

Project No: 08-0975

Page: 18 of 271

Date	Number	Re:	To	Applicant	From	
2/5/2009	00935	Punch List Items	Idano Custom Wood Products	Ken Snockey	Petra Incorporated	Gene Bennett

Remarks: Ken...

The City of Meridian has given me this list of punch list items...please give me a call to discuss how we will handle this..

Tx, Gene Bennett 860.7507

2/5/2009	00936	Punch List Items	Custom Glass	Julie Warwick	Petra Incorporated	Gene Bennett
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Remarks: Julie...

The City of Meridian has given me this list of punch list items...please give me a call to discuss how we will handle this..

Tx, Gene Bennett 860.7507

2/5/2009	00937	Punch List Items	Commercial Painting Contractors, Inc	Keith Martin	Petra Incorporated	Gene Bennett
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Remarks: Keith...

The City of Meridian has given me this list of itemscall me to discuss....Tx, Gene B. 860.7507

2/5/2009	00938	Punch List Items	American Wallcover	Randy Pierce	Petra Incorporated	Gene Bennett
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Remarks: Randy...

The City of Meridian has given me htis list of items...call me to discuss...Tx, Gene B. 860.7507

2/6/2009	00939	BCA	City of Meridian	Keith Watts	Petra Incorporated	Gene Bennett
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ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	2/7/2009				Budgeted Contract Amendment for Tri-State Electric #05 (Phase 3) - For Signature	
0002	1	2/7/2009				Budgeted Contract Amendment for Axelsen Concrete Construction (Phase 5) - For Signature	
0003	1	2/7/2009				Budgeted Contract Amendment for Buss Mechanical #06 (Phase 3) - For Signature	
						Budgeted Contract Amendment for KB Fabrication & Welding #02 (Phase 4) - For Signature	

Remarks: Please see the attached BCA
 #02 - Axelsen Concrete Construction
 #06 - Buss Mechanical
 #02 - KB Fabrication & Welding
 #05 - Tri-State Electric

POOR COPY



107 N. BOGARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 875-4500 • FAX: (208) 875-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 09-0575

Page: 257 of 271

Date	Number	Re:	To	Attention	From	Signed
1/28/2009	00930	Buss CO	LCA Architects, P.A	Steve Christensen	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
128-0	1	1/27/2009				Misc. Change Order- For Signature for Buss Mechanical	

Remarks: Please see the attached for CO#006 - Buss Mechanical

2/5/2009	00931	Punch List Items	Architectural Building Supply	Stewart Jensen	Petra Incorporated	Gene Bennett
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Remarks: Stewart...

The City of Meridian has given me this list of punch list items....please give me a call to discuss how we will handle this..
Tx, Gene Bennett 860.7507

2/5/2009	00932	Punch List Items	Tri State Electric	Jay Gooden	Petra Incorporated	Gene Bennett
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Remarks: Jay....

The City of Meridian has given me this list of punch list items....please give me a call to discuss how we will handle this..
Tx, Gene Bennett 860.7507

2/5/2009	00933	Punch List Items	SBI Contracting	Steve Schafer	Petra Incorporated	Gene Bennett
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Remarks: Steve....

The City of Meridian has given me this list of punch list items....please give me a call to discuss how we will handle this..
Tx, Gene Bennett 860.7507

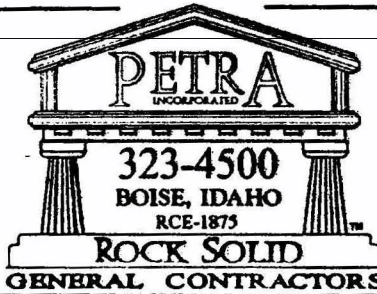
2/5/2009	00934	Punch List Items	Inspired Interiors	Jason Lippert	Petra Incorporated	Gene Bennett
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Remarks: Jason...

The City of Meridian has given me this list of punch list items....please give me a call to discuss how we will handle this..
Tx, Gene Bennett 860.7507

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Transmittal Log



Project Name: City of Meridian
 Project No: 05-0975
 Date: 01/19/2009
 Page: 256 of 271

Date: 1/12/2009
 Number: 00926
 Re: BCAs
 To: City of Meridian
 Attention: Keith Watts
 From: Petra Incorporated
 By: Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	1/12/2009			Budgeted Contract Amendment for Sunshine Landscape #01 (Phase 5) - For Signature	
0002	1	1/12/2009			Budgeted Contract Amendment for Tri-State Electric #01 (Phase 5) - For Signature	
0003	1	1/12/2009			Budgeted Contract Amendment for Terra West #01 (Phase 5) - For Signature	

Remarks: Please see the attached BCA - Phase V East Parking Lot
 #01 - Sunshine Landscape
 #01 - Tri-State Electric
 #01 - Terra West, Inc.

~~1/16/2009 00927 BCAs City of Meridian Keith Watts Petra Incorporated Tom Coughlin~~

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	1/16/2009			Budgeted Contract Amendment for Alpha Masonry #03 (Phase 4) - For Signature	
0002	1	1/16/2009			Budgeted Contract Amendment for Hobson Fabricating #04 (Phase 3) - For Signature	

Remarks: Please see the attached BCA
 #03 - Alpha Masonry
 #04 - Hobson Fabricating

~~1/19/2009 00928 Misc Change ICA Architects, PA Steve Christensen Petra Incorporated Tom Coughlin~~

Orders Christensen

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	1/19/2009			Misc. Change Order- For Signature for Buss Mechanical	
2	1	1/19/2009			Misc. Change Order- For Signature for KB Fabrication	
3	1	1/19/2009			Misc. Change Order- For Signature for ABS	

Remarks: Please see the attached for
 CO#6 - Buss Mechanical
 CO#2 - KB Fabrication & Welding
 CO#8 - ABS

~~1/27/2009 00929 Misc Change ICA Architects, PA Steve Christensen Petra Incorporated Tom Coughlin~~

Orders Christensen

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
001	1	1/27/2009			Misc. Change Order- For Signature for Terra-West	
002	1	1/27/2009			Misc. Change Order- For Signature for Tri-State Electric	
003	1	1/27/2009			Misc. Change Order- For Signature for Hobson Fabricating	
004	1	1/27/2009			Misc. Change Order- For Signature for Axelsen	

Remarks: Please see the attached for
 CO#001 - Terra-West
 CO#005 - Tri-State Electric
 CO#005 - Hobson Fabricating
 CO#002 - Axelsen Concrete



100 N. ROSARIO STREET, MERIDIAN, IDAHO 83446 • PHONE: (208) 323-4500 • FAX: (208) 323-1875

Project: Meridian City Hall

Date: 6/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Sign:
12/31/200	00922	Misc. Change Orders	LCA Architects, PA	Steve Christensen	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
001	1	12/31/2008			Misc. Change Order- For Signature for Terra-West	
002	1	12/31/2008			Misc. Change Order- For Signature for Axelsen	
003	1	12/31/2008			Misc. Change Order- For Signature for Tri-State	
004	1	12/31/2008			Misc. Change Order- For Signature for Alpha Masonry	
005	1	12/31/2008			Misc. Change Order- For Signature for Sunshine Landscape	

Remarks: Please see the attached for
 CO # 001 - Terra-West Phase V
 CO #001 - Axelsen Concrete - Phase V
 CO #001 - Tri-State - Phase V
 CO #003 - Alpha Masonry - Phave IV
 CO #001 - Sunshine Landscape - Phase V

1/6/2009 00923 BCA Sunshine Landscape City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	1/6/2009			Budgeted Contract Amendment for Sunshine Landscape #02 - For Signature	

Remarks: Please see the attached BCA - Phase V Plaza and Site Improvement #02 - Sunshine Landscape

1/6/2009 00924 BCA Apex City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	1/6/2009			Budgeted Contract Amendment for Apex Integrated Security Systems #03 - For Signature	

Remarks: Please see the attached BCA - Phase III Tenant Improvements #03 - Apex Integrated Security Systems

1/6/2009 00925 BCA Axelsen Concrete City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	1/6/2009			Budgeted Contract Amendment for Axelsen Concrete #01 - For Signature	

Remarks: Please see the attached BCA - Phase V East Parking Lot #01 - Axelsen Concrete

POOR COPY



Project No: 06-0075 Date: 12/18/2009
 Project No: 06-0075 Date: 254 of 271

Date	Number	Re:	To	Attention	From	Project
12/18/200	00918	CO Request for Fee	Cosho Humphrey, LLP	Thomas G. Walker	Petra Incorporated	Tom Coughlin

Remarks: Mr. Walker,

Petra has requested a change order for additional fee on the Meridian City Hall Project because the project has increase significantly in size. Meridian City Hall has responded in their May 29th letter that Petra is not entitled to additional fee. I would appreciate your opinion.

Thank You,
Tom Coughlin

cc:
Gene B.
Field

Attachments:
Negotiation Proposal and Notes
Contract
Change Order Request
Meridian Letter

Date	Number	Re:	To	Attention	From	Project
12/31/200	00919	Irrigation Box Submittal	ECA Architects, PA	Steve Christensen	Petra Incorporated	Nick Ploetz

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	12/31/2008	SUB	02-222-07	001	Title: Plaza Irrigation Box Desc: Plaza Irrigation Box	NEW

Remarks:

Date	Number	Re:	To	Attention	From	Project
12/31/200	00920	Display Case Keys	City of Meridian	Keith Watts	Petra Incorporated	Jack Vaughan

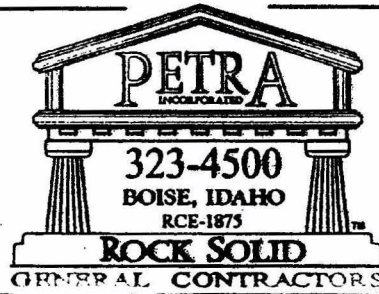
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
00001	2					Keys to outer frame of Interior display case.	
00002	2					Keys to inner frame of interior display case.	
00003	2					Keys to exterior display case.	

Remarks: Keys to display cases per your request. Please forward one of each key to Bill Nary so he can put into the building lock box.

Date	Number	Re:	To	Attention	From	Project
12/31/200	00921	Utility Drop Box keys	City of Meridian	Keith Watts	Petra Incorporated	Jack Vaughan

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
00001	2					Keys to back door of box	
00002	3					Keys to front door of box	

Remarks: Keys to display cases per your request. Please forward one of each key to Bill Nary so he can put into the building lock box.



1007 N. ROSA... MERIDIAN, ID... PHON...

Project Name: Meridian City Hall

Date: 12/10/2008

Project No: 05-0675

Page: 253 of 271

Date	Number	Re:	To	Attention	From	Signed
12/10/2008	00914	BCA-ABS	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	12/10/2008				Budgeted Contract Amendment for Architectural Building Supply #04 - For Signature	

Remarks: Please see the attached BCA #04 - Architectural Building Supply

Date	Number	Re:	To	Attention	From	Signed
12/12/2008	00915	BCA-AATronics	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	12/12/2008				Budgeted Contract Amendment for AATronics #05 - For Signature	

Remarks: Please see the attached BCA #05 - AATronics

Date	Number	Re:	To	Attention	From	Signed
12/12/2008	00916	Payment apps	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	12/12/2008				Payment Application No. 003	
0002	1	12/12/2008				Payment Application No. 025	

Remarks: Please see the attached Payment applications for processing.

Date	Number	Re:	To	Attention	From	Signed
12/15/2008	00917	Insurance Certificates	DWES	JAMAL O	Petra Incorporated	Barb Crawford

Remarks: Please find attached the insurance certificates for the subcontractor responsible for the damage listed on Invoice No. A104585. If you need any further information please feel free to contact me.

Thank you!

POOR COPY

Transmittal Log



1047 N. ROYAL STREET • MERIDIAN, IDAHO 83402 • PHONE: 323-4500 • FAX: 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06.0675

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Date	Number	Re:	To	Attention	From	Signed
12/2/2008	00909	AA Tronics Ext. Equip.	City of Meridian	Keith Watts	Petra Incorporated	Nick Ploetz

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1					Sony RM-EV100 Remote	
0002	1					Tascam RC-A500 Remote	
0003	1					Toshiba SE-R0262 Remote	
0004	1					Denon RC-963 Remote	
0005	3					Sanyo XT-21-Projector Remote	
0006	10					LG 60", 50", and 32" Remotes	
0007	2					EIMO RCW-532 Remote	
0008	1					All Luxury Extra Cables	

Remarks:

Date	Number	Re:	To	Attention	From	Signed
12/4/2008	00910	CO-Sunshine	LCA Architects, PA	Steve Christensen	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/24/2008				Change Order- For Signature for Sunshine Landscape	

Remarks: Please see the attached for Change Order for your review and signature for Sunshine Landscape CO#02

Date	Number	Re:	To	Attention	From	Signed
12/9/2008	00911	CO-Hobson	LCA Architects, PA	Steve Christensen	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	12/9/2008				Change Order- For Signature for Hobson Fabricating Corporation	

Remarks: Please see the attached for Change Order for your review and signature for Hobson Fabricating Coporation #004

Date	Number	Re:	To	Attention	From	Signed
12/9/2008	00912	BCA-Schindler/A	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

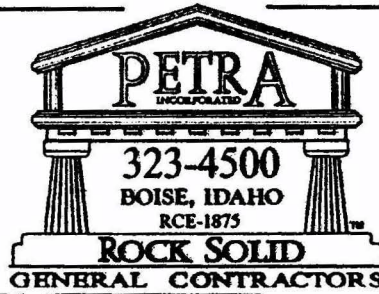
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	12/9/2008				Budgeted Contract Amendment for Schindler Elevator #03 - For Signature	
0002	1	12/9/2008				Budgeted Contract Amendment for Advanced Sign #02 - For Signature	

Remarks: Please see the attached BCAs #03 - Schindler Elevator #02 - Advanced Sign

Date	Number	Re:	To	Attention	From	Signed
12/10/2008	00913	BCA-PreCom	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	12/10/2008				Budgeted Contract Amendment for TTE PreCom #05 - For Signature	

Remarks: Please see the attached BCA #05 - TTE PreCom



1007 N. F. ... MERIDIAN, ID 83642 ...

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
11/21/2008	00905	Misc. Change	LCA Architects, PA	Steve Christensen	Petra Incorporated	Tom Coughlin

Orders

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/21/2008				Misc. Change Order- For Signature for PreCom	
1	1	11/21/2008				Misc. Change Order- For Signature for ABS	

Remarks: Please see the attached for
CO#4 - ABS - Phase III
CO#5 - TTE-PreCom

Date	Number	Re:	To	Attention	From	Signed
11/21/2008	00906	BCA# SBI	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

Contracting

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/21/2008				Budgeted Contract Amendment for SBI Contracting - For Signature	

Remarks: Please see the attached BCA#6 - SBI Contracting

Date	Number	Re:	To	Attention	From	Signed
11/24/2008	00907	Misc. Change	LCA Architects, PA	Steve Christensen	Petra Incorporated	Tom Coughlin

Orders

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/24/2008				Misc. Change Order- For Signature for Schindler	
2	1	11/24/2008				Misc. Change Order- For Signature for AATronics	
3	1	11/24/2008				Misc. Change Order- For Signature for Advanced Signs	

Remarks: Please see the attached for
CO#5 - AATronics
CO#4 - Schindler Elevator
CO#2 - Advanced Sign

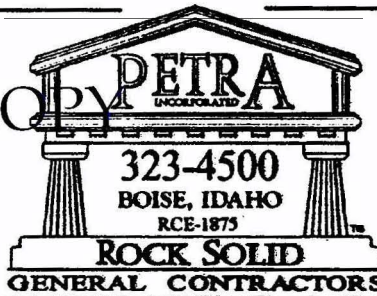
Date	Number	Re:	To	Attention	From	Signed
12/1/2008	00908	BCA# Western	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

Roofing

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	12/1/2008				Budgeted Contract Amendment for Western Roofing - For Signature	

Remarks: Please see the attached BCA#2 - Western Roofing

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17 N. ROSARIO STREET • BOISE, IDAHO 83702 • PHONE: 323-4500

Project Name: Meridian City Hall Date: 9/10/2009

Project No: 06-0675 Page: 250 of 271

Date	Number	Re:	To	Attention	From	Signed
11/12/200	00900	Misc. Change Orders	LCA Architects, PA	Steve Christensen	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/13/2008				Misc. Change Orders- For Signature	

Remarks: Please see the attached for CO#3- Axelsen Concrete- Phase IV

11/17/200 00901 Misc. BCA's City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/17/2008				Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for BCA#5- American Wallcover- Phase III
BCA#4- TTE-PreCom- Phase III

11/18/200 00902 BCA's AATronic City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/18/2008				Budgeted Contract Amendment for AATronic - For Signature	

Remarks: Please see the attached for BCA#4- AATronics

11/19/200 00903 BCA's City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/19/2008				Budgeted Contract Amendment for Axelsen - For Signature	
1	1	11/19/2008				Budgeted Contract Amendment for Cobblestone - For Signature	
1	1	11/19/2008				Budgeted Contract Amendment for ABS - For Signature	

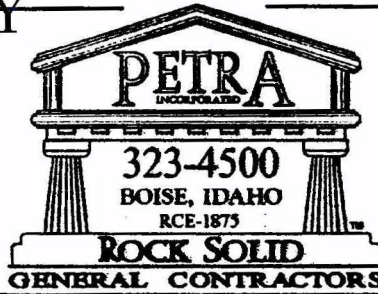
Remarks: Please see the attached for signature:
BCA#7- Architectural Building Supply
BCA#3 - Axelsen
BCA#2 - Cobblestone Construction

11/21/200 00904 BCA's Alpha City of Meridian Keith Watts Petra Incorporated Tom Coughlin

Masonry

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/21/2008				Budgeted Contract Amendment for Alpha Masonry - For Signature	

Remarks: Please see the attached BCA#2- Alpha Masonry



Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Report
11/10/200	00895	O&M Revisions	All Subs	To whom it may concern	Petra Incorporated	Nick Ploetz

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1					Arch/Eng Review Comments	

Remarks: Please review the attached comments. These will need to be completed and brought with your team for training. We will also need 2 additional copies of the O&M's for distribution. Please furnish (3) complete sets of O&M's along with the updated as-built drawings. Let me know if you have any questions.
Thanks,
Nick

- CC.
- Hobson's
- Simplex Grinnell
- Yamas
- Buss Mechanical
- AA Tronics
- Apex
- Tri State Electric

11/10/200 00896 Misc Change - CA Architects, PA - Steve - Petra Incorporated - Tom Coughlin
Orders - Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/11/2008				Misc. Change Orders- For Signature	

Remarks: Please see the attached for CO#7- ABS- Phase III

11/17/200 00897 Misc BCA - City of Meridian - Keith Watts - Petra Incorporated - Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/11/2008				Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for
BCA#3- Seal Co.- Phase II
BCA#5- SBI Contracting- Phase III
BCA#1- Paige Mechanical- Phase IV
BCA#1- ABM Janitorial- Phase III

11/17/200 00898 Misc Change - CA Architects, PA - Steve - Petra Incorporated - Tom Coughlin
Orders - Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/12/2008				Misc. Change Orders- For Signature	

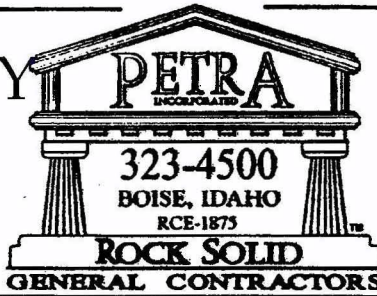
Remarks: Please see the attached for
CO#2- Alpha Masonry- Phase IV
CO#2- Cobbleston Construction- Phase IV

11/17/200 00899 Misc BCA - City of Meridian - Keith Watts - Petra Incorporated - Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/13/2008				Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for
BCA#1- Advanced Sign

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Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 248 of 271

Date	Number	Re:	To	Attention	From	Signed
11/3/2008	00890	Training Schedule Final	All Subs	To whom it may concern	Petra Incorporated	Nick Ploetz

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
						Training Schedule	

Remarks: Attached are the Changes for the training schedules. This will be the final revision and we will start shooting on Wednesday. Please be prepared with agendas and personnel. If you have any questions please feel free to contact me.

Thanks,

- Hobson's, Nov. 12th
- Yamas, Nov. 13th - 14th
- Simplex Grinnell, Nov. 17th
- Buss Mechanical, Nov. 18th
- Apex Security, Nov. 19th-20th
- AA Tronics, Nov. 24th
- Tristate Electric, Morning of Nov. 25th
- Schindler Elevator, Afternoon of Nov. 25th

Date	Number	Re:	To	Attention	From	Signed
11/3/2008	00891	Misc Change	LCA Architects, PA	Steve	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/4/2008				Misc. Change Orders- For Signature	

Remarks: Please see the attached for

- CO#1- ABM Janitorial- Phase III
- CO#2- Western Roofing- Phase II
- CO#3- Seal Co.- Phase II
- CO#4- AATronics- Phase III
- CO#1- Advanced Sign- Phase III
- CO#3- Apex Security Solutions- Phase III

Date	Number	Re:	To	Attention	From	Signed
11/4/2008	00892	Fully Executed	Apex Integrated Security	Bill Atkinson	Petra Incorporated	Sandy Okronick

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/4/2008				Set of AIA A101 & A201 CMA-1992 Contract, fully executed for your records.	APP

Remarks:

Date	Number	Re:	To	Attention	From	Signed
11/7/2008	00893	Misc Change	LCA Architects, PA	Steve	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/7/2008				Misc. Change Orders- For Signature	

Remarks: Please see the attached for

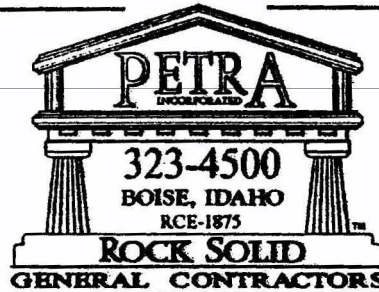
- CO#6- SBI Contracting

Date	Number	Re:	To	Attention	From	Signed
11/7/2008	00894	Fully Executed	Apex Integrated Security	Bill Atkinson	Petra Incorporated	Sandy Okronick

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	11/7/2008				Set of original AIA A101/CMA and A201/CMA fully executed contract documents for your records.	APP

Remarks:

POOR COPY



1000 W. GARDEN STREET • MERIDIAN, ID 83402 • PHONE (208) 323-4500 • FAX (208) 323-4501

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 247 of 271

Date	Number	Re:	To	Attention	From	Shipped
10/29/2008	00385	Anvil Fence paperwork	City of Meridian	Keith Watts	Petra Incorporated	Barb Crawford

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	2	10/29/2008			AIA Contract 101/201 for Anvil Fence	
0002	1	10/29/2008			Payment and Performance Bond for Anvil Fence	
0003	1	10/29/2008			Insurance certificate for Anvil Fence	

Remarks: Please sign both copies of attached contract. One copy is for your records. Please return the other copy to Petra, Inc.

If you have any questions, please feel free to call.

Thank you!
Barb

10/29/2008 00386 Misc. BCA City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/29/2008			Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for BCA#3- AA Tronics- Phase III

10/30/2008 00387 Training All Subs To whom it may concern Petra Incorporated Nick Ploetz

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
					Training Schedule	

Remarks: Below are the tentative scheduling dates for your portion of the training at Meridian City Hall. This training will be the formal facility training for your specified system. Please confirm that you will have the proper personal available on these days. We are going to run 4 hour sessions starting at 8:00 am on the specified dates. These training sessions will be filmed and documented for the City of Meridian. If you have any further questions or need to reschedule a specified date feel free to contact me at any time.
Thanks,

- Yamas, Nov. 5th - 6th
- Hobson's, Nov. 7th
- Simplex Grinnell, Nov. 10th
- Buss Mechanical, Nov. 11th
- Apex Security, Nov. 12th-13th
- AA Tronics, Nov. 17th
- Tristate Electric, Nov. 18th
- Schindler Elevator, Nov. 19th

10/30/2008 00388 Misc. BCA City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/31/2008			Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for BCA#5- Buss Mechanical- Phase III

10/31/2008 00389 Bid set & Construction, LLC To whom it may concern Petra Incorporated Sandy Okonick

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
	1	10/31/2008			East Parking lot bid set & addendum #1	

Remarks: For your review...



1057 N. BROADWAY STREET • MERIDIAN, IDAHO 83402 • PHONE: (208) 323-4500 • FAX: (208) 323-4501

Project Name: Meridian City Hall Date: 9/10/2009
 Project No: 06-0675 Page: 246 of 271

Date	Number	Re:	To	Attention	From	Signed
10/22/2008	00979	Fully Executed Contract	Cobblestone Construction, Inc.	Norm Zachary	Petra Incorporated	Sandy Okronik

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/22/2008			Set of AIA A101 & A201 CMA-1992 Contract, fully executed for your records.	APP

Remarks:

10/24/2008 00880 Misc. Change Orders LCA Architects, PA Steve Christensen Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/24/2008			Misc. Change Orders- For Signature	

Remarks: Please see the attached for
 CO#5- American Wallcover- Phase III
 CO#5- SBI Contracting- Phase III
 CO#4- TTE-Precom- Phase III
 CO#1- Paige Mechanical- Phase IV

10/24/2008 00881 Trane Chiller LCA Architects, PA Steve Simmons Petra Incorporated Gene Bennett

Remarks: Attached is Trane's plan of action for the Chiller....gb

cc:
 Engineering Inc.
 Field

10/24/2008 00882 Misc. BCA City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/27/2008			Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for
 BCA#1- Tri State- Phase IV
 BCA#4- Tri State- Phase III
 BCA#4- SBI Contracting- Phase III
 BCA#2- Axelsen Concrete- Phase IV

10/27/2008 00883 MEP O&M LCA Architects, PA Steve Simmons Petra Incorporated Nick Floetz

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1				As-Built Drawings	
0001	1				Mechanical and Electrical Operation and Maintenance Manuals	

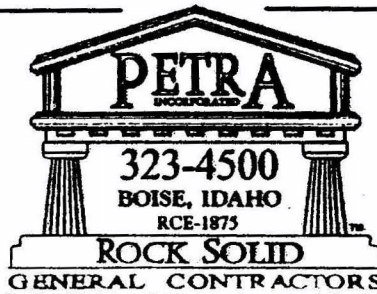
Remarks: Please review the MEP O&M's for approval. I need to get these approved before I can schedule the training on the facility. Please advise. Thanks,

10/28/2008 00884 Misc. BCAs City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/28/2008			Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for
 BCA#6- Commercial Painting- Phase III
 BCA#6- ABS- Phase III

POOR COPY



117 S. TORAN STREET • MERIDIAN, ID 83642 • 208-333-4500 • FAX: 208-333-4501

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 245 of 271

Date	Number	Re:	To	Attention	From	Signed
10/16/2008	00875	Misc. Change Orders	LCA Architects, PA	Steve Christensen	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/16/2008				Misc. Change Orders- For Signature	

Remarks: Please see the attached for
CO#1- Tri State Electric- Phase IV
CO#4- Tri State Electric- Phase III

Date	Number	Re:	To	Attention	From	Signed
10/20/2008	00876	BCA#1- KB	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/20/2008				BCA#1- KB Fabrication- For Signature	

Remarks: Please see the attached for
BCA#1- KB Fabrication- Phase IV

Date	Number	Re:	To	Attention	From	Signed
10/21/2008	00877	Chiller Air Mounts	Buss Mechanical	Lenny Buss	Petra Incorporated	Gene Bennett

Remarks: Lenny...

Here is the unit pricing for the air mounts (10 required) from Qontrol. Please let me know what position Mike at Trane is going to take on the vibration problem .

Gene Bennett

cc:
Field
LCA
Engineering Inc.

Date	Number	Re:	To	Attention	From	Signed
10/22/2008	00878	Trane Chiller	Buss Mechanical	Lenny Buss	Petra Incorporated	Gene Bennett

Remarks: John...

Confirming our meeting with Trane last week (and contrary to the statement in George's letter of Sept 5th stating the "sound associated with the condenser fans was eliminated" which is not correct), we will wait to hear on Trane's response and plan of action for the chiller...

Tx, Gene B

cc:
Field
LCA
Engineering Inc.

POOR COPY



1097 N. ROSARIO STREET • 111 • 10017 • 323-4500 • FAX 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 244 of 271

Date	Number	Re:	To	Attention	From	Signed
10/14/2008	00371	O&M Review	All Subs	To whom it may concern	Petra Incorporated	Nick Ploetz

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001					O&M Updates	

Remarks: Please review the comments that are attached. These changes need to be included and sent back to me no later than Friday the 17th. I only need one copy that will be sent to the Arch/Eng for approval. These comments will be sent back to you for further adjustments if any. In order for our training sessions to commence we will need these items approved by the Arch/Eng. If you have any questions please feel free to contact me at any time.

Thanks,
Nick Ploetz
cell: 919-4339

- CC.
Yamas Controls
TriState Electric
Apex Security
Hobson Fabrication
AA Tronics
Simplex Grinnell
Buss Mechanical

10/14/2008 00677 Contract Cobble City of Meridian Keith Watts Petra Incorporated Barb Crawford

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	2	10/14/2008			AIA Contract for Cobblestone Construction.	

Remarks: Please sign both copies of the attached contract. Please return one signed copy to Petra, Inc. The other copy is for your records.

Thank you!

10/15/2008 00670 Misc BCA's City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/15/2008			Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for
BCA#2- MR Miller- Phase IV
BCA#1- Cobblestone Construction- Phase IV
BCA#4- Simplex Grinnell- Phase III
BCA#4- B&B Steel- Phase III

10/15/2008 00672 Misc Change Orders Architects/A Steve Christensen Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/15/2008			Misc. Change Orders- For Signature	

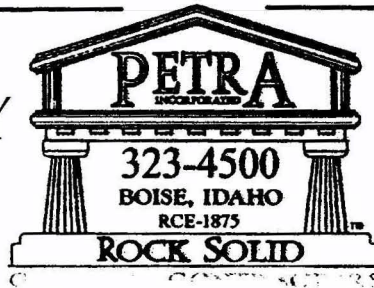
Remarks: Please see the attached for
CO#5- Buss Mechanical- Phase III
CO#2- Axelsen Concrete- Phase IV

10/16/2008 00672 Misc BCA's City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/16/2008			Misc. Budgeted Contract Amendments- For Signature	

Remarks: Please see the attached for
BCA#5- Sidewalks, LLC- Phase II

POOR COPY



1117 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE (208) 323-4500 • FAX (208) 323-4501

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 243 of 271

Date	Number	Re:	To	Attention	From	Signed
10/8/2008	00865	ASI#144 signed proposal	GBI Contracting	Bob Gaige	Petra Incorporated	Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/8/2008			ASI#144- Drop Box NTP signed proposal	
2	1	10/8/2008			Sample attached for custom color match	

Remarks: Please see the attached signed proposal and sample for the custom color match. If you have any questions, please call me.

Date	Number	Re:	To	Attention	From	Signed
10/10/2008	00866	Outstanding	All Subs	To whom it may concern	Petra Incorporated	Nick Ploetz

Remarks: We have the following outstanding items.
 - Buss Mechanical: Training Agenda
 - York: Training Agenda
 - Hobson's: Emergency Procedures
 - Schindler Elevator: Training Agenda

Please have these items available no later than Tuesday the 13th.

CC.
 Pete Skow - Schindler 208-577-5525
 Ted Jr. - Hobson's
 John Buss - Buss Mech.
 Brad - York

Date	Number	Re:	To	Attention	From	Signed
10/13/2008	00867	BCA#4	Idaho	Keith Walt	Petra Incorporated	Tom Coughlin

Custom Wood

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/13/2008			BCA#4- Idaho Custom Wood- For Signature	

Remarks: Please see the attached for BCA#4- Idaho Custom Wood- Phase III

Date	Number	Re:	To	Attention	From	Signed
10/13/2008	00868	Outstanding	All Subs	To whom it may concern	Petra Incorporated	Nick Ploetz

LEED Info

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	8/25/2008			LEED Information Request	

Remarks: The attached documentation needs to be filled out and returned no later than Wednesday the 15th. These items need to be completely filled out and returned with the proper material cost and back up documentation. These items were requested from you back in August. Please confirm that you received this and you will have everything available by Wednesday. You can fax all of your items to 493-2757.

Thanks,
 Nick Ploetz

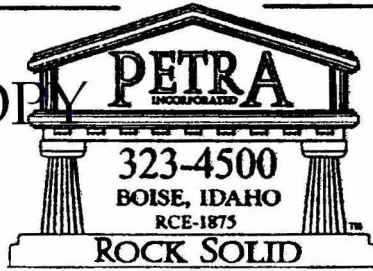
Date	Number	Re:	To	Attention	From	Signed
10/13/2008	00869	Full	Executed	Signature	Landscaping	USP

Contract

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/13/2008			Set of AIA A101 & A201 CMA-1992 Contract, fully executed for your records.	APP

Remarks:

POOR COPY



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4307

Project Name: Meridian City Hall **Date:** 9/10/2009
Project No: 06-0675 **Page:** 242 of 271

Date	Number	Re:	To	Attention	From	Signed
9/30/2008	00350	Contract	Anvil Fence	Mike Thompson	Petra Incorporated	Barb Crawford

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	2	9/30/2008			AIA A101 & A201 Contract	

Remarks: Please find enclosed 2 copies each of the AIA contract. Please sign both copie and return to Petra, A fully executed copy will be returned for your records.

Please sign and return as soon as possible. Please forward Payment and Performance Bonds and Insurnace information to Petra as soon as possible.

Thank you!

10/1/2008 00861 CO#1- Sunshine City of Meridian Landscape Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/1/2008			CO#1- Sunshine Landscape- For Signature	

Remarks: Please see the attached for CO#1- Sunshine Landscape- Phase IV

10/6/2008 00862 Chiller Bus Mechanical Lenny Buss Petra Incorporated Gene Bennett

Remarks: Lenny...

Please have George Taylor at Trane verify their chiller complies or will comply with the following spec requirements:

- 1) Sound Reduction Package around compressors 15626/2.1/D/5a
- 2) Reduced Speed fans with acoustical treatment 15626/2.1/D/5b
- 3) Vibration Control - test compressors to be free of noticable vibration 15626/2.1/1/1

tx, gb

10/7/2008 00863 Misc CO#6- ABS/renitech PA Steve Christensen Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	10/7/2008			Misc. Change Orders for Signature	

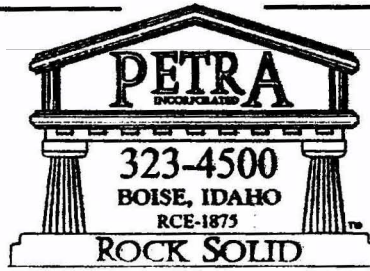
Remarks: Please see the attached for
 CO#6- ABS- Phase III
 CO#6- Commercial Painting- Phase III
 CO#3- AATronics- Phase III
 CO#4- SBI Contracting- Phase III

10/7/2008 00864 Mandatory Meeting 10-8 Tom Coughlin Petra Incorporated Jack Vaughan

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
1					Mandatory Meeting on Friday October 10. Item of discussion is incomplete punchlist items and how they will be resolved.	

Remarks:

POOR COPY



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-1507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

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Date	Number	Re:	To	Attention	From	Signed
9/19/2008	00854	Fully Executed	ABM Janitorial	Dan Abbott	Petra Incorporated	Sandy Okronick

Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/22/2008				Set of AIA A101 & A201 CMA-1992 Contract, fully executed for your records.	APP

Remarks:

9/19/2008	00855	Fully Executed	IT State Electric	Jay Gooden	Petra Incorporated	Sandy Okronick
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Contract

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/22/2008				Set of AIA A101 & A201 CMA-1992 Contract, fully executed for your records.	APP

Remarks:

9/24/2008	00856	Misc CO's for	ECA Architects PA	Steve Christensen	Petra Incorporated	Tom Coughlin
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Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/24/2008				Misc. Change Orders for Signature	

Remarks: Please see the attached for
 CO#4- Idaho Custom Wood Products- Phase III
 CO#4- Simplex Grinnell- Phase III
 CO#1- KB Welding

9/25/2008	00857	Misc Change	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin
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Orders

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/26/2008				Misc. Change Orders- For Signature	

Remarks: Please see the attached for
 CO#1- Western Roofing- Phase II
 CO#4- American Walkover- Phase III

9/29/2008	00858	Misc CO's for	City of Meridian	Keith Watts	Petra Incorporated	Tom Coughlin
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Tronics

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/29/2008				CO#2- AA Tronics- For Signature	

Remarks: Please see the attached for
 CO#2- AA Tronics- phase III

9/30/2008	00859	Misc CO's for	ECA Architects PA	Steve Christensen	Petra Incorporated	Tom Coughlin
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Signature

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/30/2008				Misc. Change Orders for Signature	

Remarks: Please see the attached for
 CO#5- Sidewalks LLC- Phase II
 CO#1- Cobblestone Const.- Phase IV
 CO#4- B&B Steel- Phase III
 CO#2- MR Miller- Phase IV

POOR COPY



1007 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 240 of 271

Date	Number	Re:	To	Attention	From	Signed
9/17/2008	00850	PROJECT COMPLETION	All Subs	To whom it may concern	Petra Incorporated	Gene Bennett

Remarks: GENTLEMEN....

THE COMPLETION OF THE BUILDING IS DRAWING TO A CLOSE. MASTER SCHEDULE FOR COMPLETION OF THE BUILDING INTERIOR IS AS FOLLOWS:

- All interior punch list items need to be completed by close of business on Friday Sept 26th.
- All inspector signatures need to be completed by end of business on Tuesday Sept 30th.
- Building will be vacated on Wed Oct 1 and we will start the air flush for LEED.

If you see a problem with this, please notify JC Murray at 860.7510 so that we can come up with a solution. Failure to meet these dates is not an option, and would result in contract default for all of us. Thankyou for your cooperation and dedication to complete this monumental building

Sincerely, Gene Bennett

9/17/2008 00851 Commissioning Req. All Subs To whom it may concern Petra Incorporated Nick Ploetz

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	1	9/18/2008				Commissioning Requirements CD	

- Remarks: cc:
- Schindler Elevator
 - Tri-State Electric
 - AA Tronics
 - Hobson Fabrication
 - Apex Integrated
 - Re-Bar Techn. Services
 - Pre-Com
 - Simplex Grinnell
 - Yamas Controls
 - Felts House Engineering
 - Buss Mechanical

Please sign below as receipt of this C/D of Commissioning Requirements. Due Date: 9/30/08

Subcontractor's Signature

9/18/2008 00852 CO#1- Axelsen Concrete- For Signature Meridian Kelli Wall Petra Incorporated Tom Coulter

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/18/2008				CO#1- Axelsen Concrete- For Signature	

Remarks: Please see the attached for CO#1- Axelsen Concrete- Phase IV

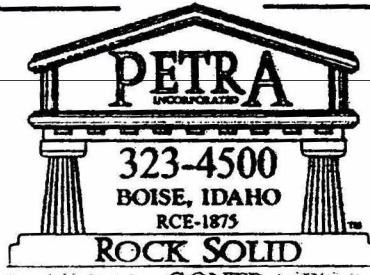
9/22/2008 00853 SET OF AIA A101 & A201 CONTRACT, FULLY EXECUTED FOR YOUR RECORDS. Meridian Paul A. Olson Petra Incorporated Sandy O'Connell

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/22/2008				Set of AIA A101 & A201 CMA-1992 Contract, fully executed for your records.	APP

Remarks:

POOR COPY

Transmittal Log



1117 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall

Date: 9/10/2009

Project No: 06-0675

Page: 239 of 271

Date	Number	Re:	To	Attention	From	Signed
9/10/2008	00845	Project Completion	Apex Integrated Security Solutions	Cal Ledbaiter	Petra Incorporated	Gene Bennett

Remarks: Cal...

Confirming conversations with field personnel...all work needs to be completed by Friday Sept 19th in order to avoid contract default and liquidated damages. Please advise JC Murray, General Supt. at 860.7510 if this date cannot be met.

Gene Bennett

cc:
Keith Watts
Field

9/10/2008 00846 Contract/Bond in City of Meridian Keith Watts Petra Incorporated Barb Crawford

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	2	9/10/2008				AIA 101/201 Contract for Tri-State Electric, Inc.	
0002	1	9/10/2008				Tri-State Electric, Inc. Payment/Performance Bond	
0003	1	9/10/2008				General/Workman's Comp/Automobile Insurance Policy	

Remarks: Please find attached 2 copies of Tri-State Electric, Inc. contract for Phase V East Parking Lot. Please sign both copies and return one copy to Petra. The other copy is for your records. Also attached is Tri-State Payment and Performance Bond and all insurance.

Thank you!

9/10/2008 00847 Plaza Medallion Architectural Building Stewart Jensen Petra Incorporated Justin Bogo

Submit Supply

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	2	9/10/2008				Approved Plaza Medallion submittals	

Remarks:

9/15/2008 00848 Contract FULLY Executed West Eric Howard Petra Incorporated Sandy Okronik

executed

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/15/2008				Contract- fully executed.	

Remarks: Please see the attached for your fully executed contract for Meridian City Hall. Also, the payment package was sent back to us but this is for your use.

Thank you.

9/16/2008 00849 Initial punch list AU Sub Tom Coughlin Petra Incorporated Jack Vaughan

concern

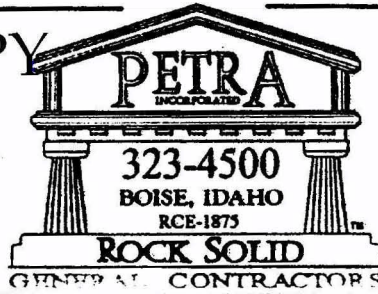
ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/16/2009				Initial punch list	

Remarks: Enclosed is the initial punch list. All items to be completed by the 9-26-2008. Revised punch lists may follow as items are added and/or completed. All items will be verified by Jack Vaughan. All disputed items will go through Jack Vaughan.

Some items on this list may be change order items. Do them and send pricing info to Tom Coughlin before the 09-26-2008

POOR COPY

Transmittal Log



1097 N. ROSARIO STREET • MERIDIAN, ID 83642 • PHONE: (208) 323-4500 • FAX: (208) 323-4507

Project Name: Meridian City Hall Date: 9/10/2009
 Project No: 06-0675 Page: 238 of 271

Date Number Re: To Attention From Signed
 9/5/2008 00840 Misc. Change City of Meridian Keith Watts Petra Incorporated Tom Coughlin

Orders-

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/5/2008				Misc. Change orders for signature	

Remarks: Please see the attached for
 CO#4- Buss Mechanical- Phase III
 CO#3- SBI Contracting- Phase III
 CO#5- Commercial Painting- Phase III

9/8/2008 00841 Contract/Bond/In City of Meridian Keith Watts Petra Incorporated Barb Crawford

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
0001	2					AIA 101/201 Contract for Axelsen Concrete Construction LLC	
0002	1					Axelsen Concrete Construction Payment/Performance Bond	
0003	1					General/Workman's Comp/Automobile Insurance Policy	

Remarks: Please find attached 2 copies of Axelsen Concrete Construction contract for Phase V East Parking Lot. Please sign both copies and return one copy to Petra. The other copy is for your records. Also attached is Axelsen Payment and Performance Bond and all insurance.

Thank you!

9/8/2008 00842 CO#3- ABS City of Meridian Keith Watts Petra Incorporated Tom Coughlin

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
1	1	9/8/2008				CO#3- ABS- For Signature	

Remarks: Please see the attached for
 CO#3- ABS- Phase II

9/9/2008 00843 Plaza Medallion City of Meridian Keith Watts Petra Incorporated Adam Johnson

submit

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
		9/9/2008	SUB	10-431-1	001	Title: Plaza Medallion	NEW

Remarks:

9/9/2008 00844 Plaza Medallion TCA Architects PA Steve Christensen Petra Incorporated Adam Johnson

submit

Christensen

ITEM NO.	COPIES	DATE	ITEM	NUMBER	REV. NO.	DESCRIPTION	STATUS
		9/9/2008	SUB	10-431-1	001	Title: Plaza Medallion	NEW

Remarks: